



AGENDA
REGULAR ARCHITECTURAL REVIEW BOARD MEETING
Public Meeting Room, Village Hall
Tuesday, April 21, 2015
7:00 p.m.

Reasonable accommodations or auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need any special services or accommodations.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Architectural Review Board Meeting held on Tuesday, March 17, 2015.

3.0 ITEMS OF GENERAL BUSINESS

3.1 CONTINUED Consideration and Discussion regarding text amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Village Code to revise and update the Village's landscaping requirements (Village of Lincolnshire).

3.2 Consideration and Discussion regarding concepts and objectives for the Update to the Lincolnshire Design Guidelines (Village of Lincolnshire).

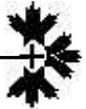
4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

6.0 CITIZEN COMMENTS

7.0 ADJOURNMENT

The Architectural Review Board will not proceed past 10:30 p.m. unless a motion is made and approved by a majority of the Architectural Review Board members to extend the meeting one-half hour to 11:00 p.m. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Architectural Review Board Meeting.



UNAPPROVED Minutes of the **ARCHITECTURAL REVIEW BOARD** held on Tuesday, March 17, 2015, in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chairman Grover, Members Gulatee, Hardnock, and Kennerley

ALSO PRESENT: Steve McNellis, Community & Economic Development Director and Tonya Zozulya, Economic Development Coordinator

CALL TO ORDER: Chairman Grover called the meeting to order at 7:02 p.m.

1.0 ROLL CALL

The roll was called by Community & Economic Development Director McNellis and **Chairman Grover** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Architectural Review Board held Tuesday, February 17, 2015.

Member Hardnock moved and **Member Kennerley** seconded the motion to approve the minutes of the regular meeting of the Architectural Review Board held on February 17, 2015, as presented. The motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS:

3.1 Consideration and Discussion of a Minor Amendment to existing Special Ordinance No. 05-1954-18 which granted approval of a Planned Unit Development (PUD) for a mixed-use retail development to permit a canopy addition and wall signage for Lot H of Lincolnshire Commons (CFNX Linshire, LLC).

Steve McNellis, Director of Community and Economic Development summarized a staff memo dated March 17, 2015. He stated the ARB informally reviewed a canopy rendering for Northshore University HealthSystem under "New Business" at the February 17, 2015 meeting. He said the current request includes a canopy addition and new wall signage. The previous rendering showed a canopy-mounted sign which has since been eliminated from the request. **Director McNellis** stated the ARB has final approval of minor PUD amendments. Staff will provide the Village Board with an update of the ARB's recommendation for informational purposes.

Angelo Roncone, Integrated Facilities Solutions, introduced the project team representing Northshore University HealthSystem. **William Lampkin**, Eckenhoff Saunders Architects, stated they propose minor revisions to the existing Barnes & Noble canopy. The proposed canopy is similar to existing. The canopy depth has been expanded to allow for extra patron protection in inclement weather. Two new



cultured stone columns would match the building. The width of the canopy has been shortened. The existing wall will be patched.

Member Gulatee inquired about the canopy material. He stated the previous rendering called for a copper material. **Mr. Lampkin** stated the canopy would be painted steel with an aluminum top.

Member Gulatee stated the base of the columns should be increased with which **Mr. Lampkin** concurred.

Member Kennerley inquired about the depth of the two columns. **Mr. Lampkin** said the depth is estimated to be 5-6'.

Michael Kinsella, Poblocki Signs, stated new LED (halo lit) illuminated wall signs are proposed on the south, north and east building elevations. The proposed aluminum letter faces are 1" thick. The proposed logo is 1" acrylic which is Northshore Medical's standard logo design. The letters will have blue and black translucent faces. **Mr. Kinsella** stated he believes the halo illumination will produce a more elegant appearance than channel illumination.

Chairman Grover inquired about the size of the letters relative to other Lincolnshire Commons wall signs. **Director McNellis** said staff does not have concerns about the proposed letter size but has two recommendations. The first one is a request to increase the depth of the letters. Both Kona Grill and LensCrafter's Optique wall signs appear to have deeper letters. The second recommendation is regarding the sign back. Staff believes it should be light grey to match the building rather than silver, as shown in the rendering.

Mr. Kinsella produced a color material sample showing a grey color. He stated the color is more grey than silver. **Mr. Kinsella** stated the Kona and LensCrafter's Optique wall signs have channel letters.

Member Kennerley inquired whether the sign back is big enough to cover the damaged wall area after the removal of the current Barnes & Noble sign. **Mr. Kinsella** responded affirmatively.

Member Kennerley inquired what impact increased sign depth would have on wall sign readability. **Mr. Kinsella** responded the signs would be better read with push-thru halo letters than channel letters. It was the consensus of the ARB to leave the letter depth as proposed.

Member Gulatee moved and **Member Hardnock** seconded a motion to approve *Minor Amendments to Ordinance No. 05-1954-18 which granted approval of a Planned Unit Development for a mixed-use retail development known as Lincolnshire Commons to permit a canopy addition and wall signage for Lot H subject to presentation plans, dated March 9, 2015, and subject to the wall sign lettering color being flat grey.*

The motion passed unanimously by voice vote.



- 3.2 Consideration and discussion of a Minor Amendment to existing Special use Ordinance No.14-3339-66 which granted an Amendment to the original Special Use for the Tri-State International Office Center to permit the addition of a three-story connector corridor between 25 and 75 Tri-State International (CDW).

Director McNellis presented the Staff report and recommendations

Architect Ted Garnett of Garnett Architects presented the Petitioner's presentation, explaining the proposed additions to the building. He noted the bridge connector will be obscured along the Tollway elevation by the approved new parking deck. The intent is to make the connector transparent. He further noted they are interested in highlighting the main entry to the building with the new red canopy, which is in CDW's corporate colors. There are two schemes in the packet, with simple variations, one being more transparent and the other sacrificing some transparency to emphasize the connection with the existing buildings. Both the Architects and the client agree Scheme 1 is their preferred option.

Member Hardnock stated he preferred the more transparent look. **Member Kennerley** noted it seems as though there is one design concept for the existing buildings, another for the new parking deck and now a third for this connector, which she stated seems a little like a mish-mosh. She further noted with regard to the canopy the red is too prevalent, so the Petitioner may want to bring in the neighbors to see the proposal.

Architect Garnett stated that if they were to try to make the connector match the building, it would be too monolithic. He further noted with regard to the canopy the client has a strong desire to create branding and a sense of entry there. **Member Kennerley** reiterated her concerns about getting neighbor feedback. **Director McNellis** responded that based on the distance between this building and the nearest home he didn't believe the canopy will be very visible to the neighbors, especially with the mature landscaping added in. **Architect Garnett** agreed the nearest residential building is quite far away.

Chairman Grover noted he prefers Scheme 1, because it adds more transparency. **Member Gulatee** believes its important to keep the buildings distinct from the connector. He felt it is not important to read the bands from the building through the connector. In fact, he believes it is best to disconnect the connector from the top of the building and the edges and offset it, so it appears the structure is being inserted.

Architect Garnett stated they can decrease the connector width slightly and reduce the height at the parapet. **Member Gulatee** stated if you try to match the buildings, you'll never succeed. **Architect Garnett** also stated the transparency will look very good at night. **Chairman Grover** stated he agrees with reducing the parapet height on Scheme 1, to which **Member Hardnock** concurred.

Architect Davin Pirkola of Garnett Architects stated that where the expansion happens between the connector bridge and the existing towers it could be pinched in. Regarding the canopy, he noted there would be uplighting on it and that its



setback from the surface parking lot is such that it's not as obvious as you might think.

Director McNellis confirmed with the ARB it seemed as though Scheme 1 is preferred with the idea of dropping the parapet height, recessing the connector in slightly, and maintaining the canopy as presented. There was general consensus and no other comments.

Member Hardnock moved and **Member Gulatee** seconded a motion to approve a three-story building connector with corridors and new entrance canopy at 25/75 Tri-State International Office Center, as a Minor Amendment to the existing Special Use for a PUD, authorized by Ordinance No. 14-3339-66, as presented in Scheme 1 in a presentation packet, with cover letter from CBRE, dated March 9, 2015, subject to 1) reducing the height of the parapet on the connector, 2) recessing the connector on the east (Tollway) side, and both stipulations being subject to Staff approval.

The motion passed unanimously by voice vote.

3.3 Consideration and Discussion of Preliminary Development Plans for a proposed 101-unit townhome PUD on Sedgebrook Lot 2 (Pulte Homes).

Director McNellis presented the Staff report and comments. **Mark Mastrorocco, Director of Land Acquisition for Pulte Homes** introduced his team and provided his initial comments regarding revisions based upon ARB feedback at the February workshop.

Chuck Hanlon Urban Planning Principal of Wills Burke Kelsey Associates (WBK Associates) began his presentation with a recap of where Pulte had left off at the end of the Workshop meeting. He summarized the overall direction of the ARB from that meeting was to provide a site plan that starts from the original Concept 1 geometry and open space but adds some of the curvilinear features from concept #2.

Chuck Hanlon of WBK Associates summarized the revisions as follows: a change in entry geometry from Riverside Drive, addition of curvature to main North-South roadway in the development from the main entry, enlarged north park area slightly, reduced lot area behind townhouse buildings on inner lots and removed "backyard" sidewalks, increased green space "link" between the two main park areas, created a break along the main North-South road to add a small pocket park area along the west side of that road and included a traffic-calming island in the middle of the road, reconfigured south main park area to increase green space in that area, provided curvature to easternmost boundary road, and modified intersections with softened radii. He also noted park changes have provided active and passive spaces.

Chuck Hanlon of WBK Associates further discussed setbacks and how they relate favorably to other developments. He addressed the elevation behind the berm along Milwaukee Avenue and presented an exhibit showing a cross-section that depicted building setbacks and what might be visible from Milwaukee Avenue.



He noted the view toward the development from Milwaukee Avenue is solid at the lower levels, but that you will get a partial filtered view of the townhouse buildings where the existing landscaping on the berm is less dense. **Chuck Hanlon of WBK Associates** showed photos of the existing berm along Milwaukee Avenue and discussed the relative low visibility of the proposed building elevations in relation to the existing Sedgebrook buildings visibility.

Member Gulatee stated if you have great architecture you don't have to screen it. He believes the Village tends to screen buildings when we don' need to. **Chuck Hanlon of WBK Associates** noted the future townhouse owners along Milwaukee Avenue would probably like the screening and its already in place anyway.

Landscape Architect Greg Sagen, President of Signature Design Group presented some revisions to the landscape plans, including the entranceway from Riverside Drive. **Member Gulatee** inquired as to the the responsibility for maintenance of the trailhead "triangle". **Mark Mastrorocco of Pulte** noted they hadn't spent a lot of time figuring this out yet but it will be a public space and based on his experience, Pulte would look to the Village for maintenance. **Director McNellis** echoed Mr. Mastrorocco's comments about this not having been fleshed-out yet and that it's part of a broader discussion regarding required park donations. Those donations could take many forms, whether that's land provision and building the amenities of the trailhead based on a Village-approved design, or a cash donation. Regardless, either the Village or Pulte will maintain and that will be worked-out for final approvals.

Landscape Architect Greg Sagen also discussed the stone and wrought-iron entrance walls, the "park corridor" including the north park and south park and connector green space. He also noted there are just under two acres of park green space within the development. He further noted in the south park they have left sufficient space to add a tennis court or basketball court, should the future Association desire a more-active component.

Landscape Architect Greg Sagen went on to explain the interior part of the development, which encompasses about 40% of the units, will not have any yard fencing, while perimeter units will have an opportunity for 4' tall aluminum fencing. He noted as far as the wood fence along the south property line and the ARB's request to revise the material from wood to a more maintenance-friendly material like textured PVC, other Pulte communities have had a bad experience with this. He stated commercial landscape maintenance companies tend to knock the fence panels out, and it is costly to replace them. So, Pulte prefers the proposed cedar material. With regard to the landscape material in this area, he stated they will add landscaping along the fence on the south property line per Staff's request.

Landscape Architect Greg Sagen continued his presentation and discussed the existing berm on Riverside Drive, stating its very attractive and Pulte wants to maintain it. They have revised the grading so it does not cut into the berm to protect the townhouses south of it. The only exception is Lot 14, where they may creep a little into the berm, but that minor grading will not impact the existing trees on the berm, except in the area where they are punching through the berm for the



emergency access drive. He also noted they have provided illustrations of the building foundation landscaping, which will provide 360 degree landscaping with a mix of deciduous and evergreen species.

Mike Hollister, Construction Manager with Pulte Homes discussed building architectural revisions, including; revising materials so stone and brick is continuous, adding some new rear elevation architectural materials including shutters, and adding a trim board to delineate the units.

Member Gulatee inquired why shutters are being added if they'll never be used in this climate, to which Mr. Hollister stated they help to break up the massing of the rear wall. **Member Kennerley** stated she believes the shutters help soften the façade. **Member Hardnock** noted the rear elevations look like an apartment complex without the shutters.

Member Gulatee stated he still wasn't happy with the elevations. He felt they did not have a character of their own. An example is the roof, which appears to be one large constant roof and is not broken up enough. **Mark Mastrococco of Pulte** stated on other projects they've sometimes created too much unit identity and it has ended up being too busy. The proposed townhomes will be expensive and they want to provide a sense of place for each unit, but the unit architecture has to be complementary within each building. He further noted they would work on color packages to create more identity.

Mike Hollister of Pulte presented all of the Villa and Terrace products. He noted the addition of a continuous brick water table on rear elevations, as well as the addition of shutters. Pulte is proposing up to 20 different possible color palettes, five of which are being shown to the ARB this evening. This will ultimately be whittled down to 6-7 palettes.

Mark Mastrococco of Pulte discussed park space as it compares to Whytegate Park, which the ARB and staff had requested they do. He noted Whytegate Park serves 130 single-family homes, is 3.37 acres in size and the amount of the Whytegate area that is park is approximately 3.6%. He then noted the Pulte-proposed Camberley Club has less units (101) and is providing a larger percentage of their development area for park space, 1.98 acres of park land in a 19-acre development which equates to 10.4% of the development area being park space. He further noted that single-family homes tend to have a more intense park need than townhomes. He then went through a calculation based on the expected population of Camberley Club versus Whytegate noting he feels the calculated expected population, based on formulas from the Village's donation schedules, for Whytegate would be 455 people, while there would be 232 people at Camberley Club. Given these numbers, he felt that only half the park space available at Whytegate Park should be necessary in the Pulte development. There are 3.73 acres of parkland at Whytegate Park, so 1.87 should be necessary at Camberley Club, of which 1.9 acres is actually proposed, and it's all private. Mr. Mastrococco then stated their presentation was concluded and they would be glad to answer any questions of the ARB.



Chairman Grover stated that with regard to parks, he believes with townhouses, you have less usable space in your backyards than single-family homes do, which could impact your demand for park space. He inquired if Pulte had any statistics on park usage for townhomes versus single-family homes. Chairman Grover felt that in a townhouse you're almost forced to go to a park with less of your own usable green space. **Mark Mastrococco of Pulte** noted this proposed development actually has more green space in their yards in comparison with most townhouse communities, but he has no specific data on usage between townhouses and single-family homes.

Director McNellis weighed-in on green space as it relates to park donations. He noted that Village Park donation requirements don't distinguish between townhouses and single-family homes. In this case, the Village Park Donation calculation figures to about 2.75 acres of park space being required. He further noted even if you include the trailhead triangle at the corner (to be dedicated to the Village) you end up with 2.36 acres of park space in this proposal. He stated this speaks to park space still not really meeting the Village Code requirements. Staff is not outright saying it doesn't, as we recognize there are a lot of factors at play.

Mark Mastrococco of Pulte stated this is a private gated-community. He noted the bonus here is Pulte is providing two acres of parkland but is still assuming they're paying the full "Cash-in-lieu" contribution on top of that. So, he noted, they're providing both. He stated Pulte gets hit twice because they're providing park space but because its private the Village won't allow it to be part of the cash contribution for parks.

Director McNellis noted based on the amount of park space the Code envisions per person, this proposal does not meet that number. **Mark Mastrococco of Pulte** countered this is all based on the Village assumption that townhomes and single-family residential generate the same impact, whereas Pulte believes single-family generates more impact. He noted Pulte will be paying a significant amount of money to facilitate park improvements in other parts of the Village.

Member Kennerley inquired as to how much parkland the proposal is short. **Director McNellis** noted that if you use the number straight from the formula, and nothing else, it's about .39 acres short, but Staff recognizes there are a lot of pieces being assembled in this calculation. Staff is bringing to the ARB's attention this is an issue raised by the Village Board at Referral, and also an issue raised by Trustee McDonough and discussed by the ARB at the workshop meeting. The ARB previously discussed this is an isolated subdivision so it should provide its own park space.

Director McNellis acknowledged recognition they've grown the park space since the last meeting by adding an open lot along the inside of the Milwaukee Avenue berm and further opening up the south park. Staff is simply asking the ARB is this the appropriate amount of park space for this development. **Mark Mastrococco of Pulte** stated again he believed to ask more park space is a sort of "double-dipping" since Pulte gets no credit for parks in their community and still have to pay a full park donation.



Chairman Grover acknowledged one townhouse unit has been removed in the redesign. He wondered if Pulte had thought about moving Building #22 out of the south park area to create greater park space. **Chuck Hanlon of WBK Associates** responded Pulte has thought about it and has actually created slide with an example. He noted that in that slide Pulte removed Building #22 and moved two of the three units into other 3-unit buildings to make each of those 4-unit buildings. As a result, there is a larger green space area of .33 acres added and the development is reduced to 100 units. However, Pulte doesn't think this provides quality green or park space.

Member Kennerley noted there may be more green space in this alternate, but you end up adding another inside" townhouse unit in the other buildings and taking away a more desirable end unit. She questioned if that was really an improvement. **Member Hardnock** stated he felt as though we're' just trying to force a specific number in here and he doesn't know if this really should even be the ARB decision to make. **Member Kennerley** also noted she really likes the green space design presented in the first proposal this evening, not the alternate. She felt Pulte accomplished on that plan what the ARB had asked and it feels less cramped. **Member Hardnock** stated he feels the Alternate proposal has a "leg" that is really unusable.

Member Gulatee stated he likes Building #22 and wouldn't want to lose it,. Members Kennerley and Hardnock agreed. They both appreciated that Building #22 in the first proposal tonight has green space all around it. **Member Kennerley** stated the first proposal tonight is the best, and it has good flow. **Member Hardnock** inquired of the ARB – does it feel as though there isn't enough green space and park land here? He noted these are townhouses so you expect things to be tighter. He sees a benefit in that all units are a two-minute or less walk from the park. **Chairman Grover** noted he also likes tonight's first plan the best, to which all ARB members agreed.

Chairman Grover moved on to the site grading and asked about the fill. **Chuck Hanlon of WBK Associates** stated there was a maximum of about 5' of fill, to which Member Kennerley inquired as to how the drainage flows. **Andy Heinen, Senior Project Manager at Kimley Horn** noted he has been working on engineering on this site for 10 years, first with the original Sedgebrook owner. He stated the reason for the fill is to get proper drainage from the southwest corner of the site down to Riverside Road, and then on to the existing stormwater pond to the east. Further, he stated that because of the plan to have basements you can't go below the Base Flood Elevation (BFE), so this requires placing the basement at a certain grade and then you need to fill to get the proper drainage.

Chairman Grover inquired if there were any other comments regarding the visibility of the buildings along Milwaukee Avenue, through the trees. **Member Hardnock** noted he didn't have a problem with it. He felt we're not trying to hide the development, but the benefit of having the berm is that it's good sound insulation from the road.



Chairman Grover asked the ARB to move on to design comments. **Member Kennerley** asked if the color scheme had changed, to which Pulte responded it had not. **Member Hardnock** stated he felt the building façade design was a little more cohesive now. **Mark Mastrorocco of Pulte** pointed out the five material/color packages for which samples were provided for viewing at tonight's meeting. **Chairman Grover** stated he likes the shutter look as he feels it visually helps the second floor. **Member Gulatee** stated he believes the stone on both floors is fine. A general discussion on building colors and material ensued. **Director McNellis** inquired as to whether or not blue-colored siding was still proposed on the façade, to which mark Mastrorocco noted it has been removed from the plans.

Member Hardnock inquired as to how the transition between stone and brick on the front facades was being handled. Director McNellis noted Staff had the same comment. **Mike Hollister of Pulte** stated they typically use a trim board material. **Members Hardnock and Kennerley** agreed it seems odd to have the two materials up against each other without a transition. **Mike Hollister of Pulte** stated they would definitely resolve this with a trim board.

Member Gulatee inquired as to the material for the soldier course above the garage arch, when the surrounding material is stone. **Mike Hollister of Pulte** responded there will be a brick soldier course on the headers above the garage doors and the unit windows.

Chairman Grover moved the ARB on to the Landscaping Plans, about which he explained he had no comments. **Member Kennerley** noted she was happy with the additional evergreens in the plan, to which Member Hardnock agreed. **Member Hardnock** questioned the pedestrian access across Riverside Drive to the Trailhead, from the townhouse project, in light of fast traffic turning onto Riverside off Milwaukee Avenue. **Andy Heinen of Kimley Horn** noted the intersection with Milwaukee Avenue is a signalized one, with traffic control, and pedestrian sidewalks at that intersection, so that should help. He further noted IDOT is not requiring any roadway improvements into the site, so the only change is the new fourth leg of the signalization.

Chairman Grover inquired as to any other comments, to which Director McNellis summarized the six Staff comments: As to stipulation #1, the consensus was to stick with the original plan presented this evening. For stipulation #2, regarding tweaking the North-South roadway from the main entry, Pulte agrees to modify the roadway. For stipulation #3, regarding fenceline landscaping, Pulte agrees to provide. For stipulation #4, regarding the impact of Riverside Road berm re-grading on existing evergreens, **Landscape Architect Greg Sagen** noted Pulte has revised the grading so there is only limited impact behind Building 14. However, it does not impact existing evergreens and Pulte agrees not to impact the existing vegetation. He stated the only place existing trees will be compromised is in the area where the berm is being removed for emergency fire lane access. For stipulation #5, regarding dispersing evergreens at the entrance off Riverside Drive, Pulte has already made that revision. For stipulation #6, there are five parts, as follows: 6a) window shutters have been completed as requested. 6b) the materials on the window sills and headers has been simplified as requested. The problem is with the depiction on the



plans due to problems with a printer. The ARB suggested photos be taken of this same treatment out in the field at existing Pulte properties to show how it really looks, to which Pulte agreed. 6c) regarding transition between materials, Pulte has agreed to add a trim board. 6d) regarding the material color on the rear gable dormers matching the siding below, the ARB agreed to the existing proposal per Pulte's statement that the colors will be compatible and not clash. 6e) regarding omitting the blue-toned siding, Pulte has agreed to this revision.

Director McNellis noted that Stipulations 2, 3 and 4 should be memorialized in any ARB motion, while all other Staff recommendations have been completed on plans shown this evening. There was continued discussion regarding Grading, about which the ARB ultimately agreed they did not have any issues or concerns. **Director McNellis** added a stipulation regarding Lighting. He noted a Photometric Plan that meets Village Code, in terms of its depiction of light intensity at the overall development property line boundaries, is necessary. The ARB requested Staff review such a plan for conformity with Code.

Chairman Grover asked if an ARB member was prepared to make a motion, to which Member Hardnock agreed.

Member Hardnock moved and **Member Kennerley** seconded a motion to recommend approval to the Village Board of Preliminary Development Plans for a proposed 102-unit Townhome PUD on Sedgebrook Lot 2, as presented in a presentation packet from Pulte Homes, dated March 17, 2015, subject to the following stipulations which are to be reviewed and approved by Staff: 1) Revise the landscaped traffic island design to improve vehicular access/movement; 2) Incorporate a combination of deciduous and evergreen trees and shrubs along the southern fence line of each lot to further screen the fence from residents; 3) Ensure the proposed grading of the berm along Riverside Road does not impact existing evergreen trees, with the exception of the cut in the berm to provide secondary emergency access, and 4) Provide a revised Photometric Plan which complies with Village Code.

The motion passed unanimously by voice vote.

Chairman Grover noted time was approaching 10:30 P.M., and so he requested a motion to extend the ARB up to 30 minutes to complete work on the agenda.

Member Hardnock moved and **Member Gulatee** seconded the motion. *The motion passed unanimously by voice vote.*

- 3.4 CONTINUED PUBLIC HEARING regarding text amendments to various sections of Title 12, Sign Control, of the Lincolnshire Village Code, to revise and clarify requirements for permanent and temporary signs (Village of Lincolnshire).

Chairman Grover recessed the ARB meeting and reopened the public hearing.



Economic Development Coordinator Zozulya summarized the staff report dated March 17, 2015. She noted Staff has further refined new regulations for multi-tenant office and industrial wall signs. She asked the ARB whether they are comfortable with the proposed language that requires a minimum separation between multi-tenant office wall signs and the common edge of each building frontage. Staff proposes a minimum separation of 15' or 1/3 of the length of the respective building frontage, whichever is less. She stated the ARB may consider whether 10' separation is sufficient to allow wall signs to be placed closer to the building edge while still preventing two adjoining signs from running up against each other visually. It was the consensus of the ARB that 15' or 1/3 of the frontage length should be incorporated into the code. If the Village finds 15' does not stand the test of time and poses difficulty meeting business needs, the code can be amended at a future date or petitioners can seek a variation to reduce the minimum required wall sign distance.

Member Hardnock stated he would like to further refine the proposed language for multi-tenant industrial wall signs to state the 1' minimum separation applies to cases when wall signs are placed next to two adjacent doors. In all other cases, the minimum wall sign separation must be 5'.

Economic Development Coordinator Zozulya presented a summary of the "take-out" parking survey conducted by staff. She noted the majority of the restaurants in the Village have 2 "take-out" signs, with two restaurants having 3 signs. The ARB felt up to 2 take-out parking signs should be permitted. Additional sign requests can be reviewed by variance.

There being a consensus among the members, Chairman Grover sought a motion.

Member Kennerley moved and **Member Hardnock** seconded a motion to recommend approval to the Village Board, based on facts covered in a Public Hearing held on March 17, 2015, of text amendments to various sections of Title 12, Sign Control, of the Lincolnshire Village Code, to revise and clarify requirements for permanent and temporary signs.

The motion passed unanimously by voice vote.

- 4.0 UNFINISHED BUSINESS (None)
- 5.0 NEW BUSINESS
- 6.0 CITIZENS COMMENTS (None)
- 7.0 ADJOURNMENT

There being no further business, **Chairman Grover** requested an adjournment, to which **Member Hardnock** made a motion and **Member Kennerley** seconded. The meeting adjourned at 10:48 p.m.

Minutes submitted by Steve McNellis, Community & Economic Development Director and Tonya Zozulya, Economic Development Coordinator.

**REQUEST FOR BOARD ACTION
Architectural Review Board
April 21, 2015**

Subject:	Landscaping Regulations Text Amendments
Action Requested:	CONTINUED Consideration & Discussion of Text Amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Code to revise and update the Village's landscaping requirements.
Originated By/Contact:	Stephen Robles, Village Planner Department of Community & Economic Development
Referred To:	ARB

Background:

- At the September 16th ARB meeting, Staff introduced the Village Landscaping requirements of Chapter 2, Title 13, to review the current landscaping requirements to balance the Village's aesthetic expectations with commercial developments' desire for openness and visibility.
- The ARB provided Staff with input and direction regarding specific elements of Chapter 2, to return with proposed code language for further review.

Summary:

Below is a summary of the previous items discussed by the ARB and the resulting code revisions, as well as newly proposed revisions based on further Staff review (identified by "(N)"). Please refer to attached Draft Chapter 2 for a complete record of all proposed revisions.

- **Overall Revisions:** The bulk of proposed revisions strive to clarify requirements based on current practices and updates to sentence structure.
- **Purpose (Sec. 13-2-1):** Traditionally, zoning regulations begin with a purpose statement to identify the objectives of the given code regulations, which are absent from the current Code. Staff previously proposed six purpose statements based on review of comparable communities landscaping codes. The ARB felt these statements should focus on positives of landscaping and contain less legal terminology, to function similar to a vision statement. The inclusion of year-round (evergreen) landscaping was also requested.

The Purpose Section (13-2-1) has been revised to three statements, as follows:

- A. Promote and maintain the high quality visual appearance and environmental benefits throughout the year through landscaping and preservation of native vegetation.*
- B. Encourage and promote the implementation of best management practices to minimize erosion and stormwater runoff in a manner which provides functionality and visual appeal.*
- C. Enhance the visual and environmental impacts of the Village's built environment through the utilization of attentive landscape design.*

- **(N) Replacement Requirements (Sec. 13-2-3):** Staff has observed an increase in requests for entire landscaping replacements of non-residential zoned property. As most properties have an approved landscape plan, holistic changes are not permitted without approval by the ARB. The existing regulations permit replacements of 20% or more *due to region wide infestation or disease*. This discourages a property owner from reinvesting in the property through landscape improvements.

This Section has been revised to add the following requirements for the replacement of existing plantings for non-residential zoned lots, which would no longer require ARB review:

- a. Replacement plantings shall be not less than the size specified on the approved landscape plan. If no approved landscape plan is available, single stem trees shall be not less than 2.5" DBH, clump and evergreen varieties shall be not less than 8 feet in height.*
 - b. Evergreen trees shall be replaced with evergreen trees and deciduous trees shall be replaced with deciduous trees.*
 - c. The replacement plan may be implemented over a period of time not to exceed three (3) years.*
 - d. Any tree which existed on the property prior to development and has been preserved, as determined by the Village, may be removed subject to Section 13-1-3(D) and 13-1-3(K) of this Title, except any tree which is dead or irreversibly declining due to natural circumstances does not require replacement.*
 - e. If the plantings to be removed are considered to be a hazard to life and/or property, the specific plantings shall be flagged and verbal authorization by the Village Arborist for removal may be granted, which shall be conditioned upon the submittal of a Tree Removal Permit and Landscape Replacement Plan identified in 13-2-3(B)(1) within thirty (30) days of the authorization for removal.*
- **Landscape Screening (13-2-4):** This section currently includes regulations requiring a visual barrier to certain unattractive/monotonous elements of a site plan; such as building walls, mechanical equipment, and parking lots. Many of the requirements do not account for the visual obstruction of customer areas that retailers rely on for increased traffic; such as building signage, parking areas, storefronts, etc.

This Section has been revised to clarify those portions of building which do not contain a primary architectural element must be screened. As ground-mounted equipment screening requirements are outlined in the Zoning Code (Sec. 6-15-3(B)), a cross-reference has been added. Parking lot screening has been significantly revised by establishing two categories: 1) residential zoning districts, and 2) non-residential zoning districts, with regulations appropriate for each type of parking lot. Landscaping for parking lot islands has also been added to align with the Off-Street Parking and Loading zoning requirements.

- **Single-Family Residential Requirements (13-2-5):** Previously titled "Landscape Improvements to Private Property", Staff interprets this section to apply to all residentially zoned property since *all non-Village property* is considered "private property". Additionally, this Section should be moved out of the General Landscape Requirements Section. The

ARB agreed that very basic and minimal plantings for single-family residential lots, **only applicable to new home construction**, should be included.

The residential requirements for individual lots have been placed into a stand-alone Section for improved function. Landscape plan requirements for single-family residential subdivisions have also been located in this Section for consistency. The following table of minimum planting requirements for all new single-family homes was created:

Yard	Minimum Number of Trees	Size at Planting
Front	1	2.5" DBH non-evergreen tree or 8' evergreen tree
Side/Corner Side	1	2.5" DBH non-evergreen tree or 8' evergreen tree
Rear	2	2.5" DBH non-evergreen tree and 8' evergreen tree

The current Landscaping Code includes a separate Section for landscape requirements for Subdivisions (13-2-4). The existing regulations primarily pertains to parkway/right-of-way plantings and maintenance, and is unclear whether this section is intended for residential subdivisions, or all types of land subdivisions.

This section has been relocated to Section 13-2-5(C): Single-Family Residential Requirements to clarify its application to Single-Family Residential Subdivisions and now includes procedures and requirements aligned with current practices for single-family subdivisions.

- **Landscape Improvement Deposit (previously 13-2-2):** The deposit requirements contained in this section are identical to the requirements of the Subdivision Code, Title 7, where similar improvement deposits are required.

This section will be relocated to Title 7, Subdivisions and Land Development, for consistency with other improvement deposit requirements.

- **All Other Property Requirements (Sec. 13-2-6):** Previously titled "Business/Commercial Developments", the commercial landscaping requirements are set forth in this section and are applicable to every new, non-residential development. Included is a tree distribution chart, which currently requires a variety of trees totaling 34 trees per acre, as follows:

TYPE	SIZE	TREES/ACRE
Deciduous Shade Trees	2" – 2 ½"	6
	3" – 4"	5
	4 ½" and larger	5
Ornamental Trees	6' – 8'	4
	8 ½' and larger	4
Evergreen Trees	6' – 8'	4
	8 ½' – 10'	4
	10 ½' and larger	2

Staff analyzed two commercial properties to determine if the existing tree planting requirements remain viable. In both samples, neither site achieved code compliancy. However, the number of trees was more than abundant for each sample site. Staff questioned if the minimum tree quantities should be reduced to create better visual lines of sight to commercial properties. The ARB recognized the challenges of establishing code minimums while allowing flexibility in landscape design. Staff was directed to incorporate low growing plantings in front of buildings and allow options within the plant lists. The proposed landscape screening requirements for parking lots will reduce the shrub height and increase the variety of species to be used. The minimum number of trees to be planted has been reduced to 30 trees per acre and the balance of tree variety has been revised, as follows:

TYPE	SIZE	TREES/ACRE
Deciduous Shade Trees	2" – 4" DBH	6
	4½" + DBH	6
Ornamental Trees	6' – 8' DBH	4
	8½" + DBH	4
Evergreen Trees	8' height	5
	10' + height	5

- **Public Right-of-Ways Requirements (13-2-7):** The regulations for right-of-way plantings are relatively straight-forward and the existing regulations received minor updating to reflect current practices.

The most substantial revision is the inclusion of approved parkway tree species chart (formerly Appendix IV) within this Section and graphic illustrations for improved use.

- **Landscape Requirements for Stormwater Facilities (13-2-8):** The purpose of this section is to insure detention facilities are designed, constructed, and maintained in a manner which provides functionality as well as visual appeal. The included subsections contain detailed regulations requiring substantial knowledge in the installation, monitoring and maintenance of native vegetation suitable for stormwater facilities. Village Staff is responsible for the implementation and enforcement of these requirements, which requires specific personnel with professional expertise no longer part of the Village administrative structure.

This section has undergone substantial restructuring to remove Village required review/authorization of documents and plans in favor of a qualified environmental consultant to continue achieving the highest level of stormwater runoff reduction through the use of native vegetation. Many of the appendices have been incorporated into the text for continuity.

- **Appendix I-VI:** Many of the landscaping requirements refer to supplemental information/standards located with various appendices.

Many of the appendixes have been relocated into the body of the code regulations, whereas others have been updated to correspond with the proposed text amendments.

Recommendation:

Approval of text amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Code to revise and update the Village's landscaping requirements.

Motion:

The Architectural Review Board moves to approve and recommend to the Village Board for their approval of text amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Code to revise and update the Village's landscaping requirements, further subject to. . . .

{Insert any additional conditions or modification desired by the Architectural Review Board}

Reports and Documents Attached:

- Draft Text Amendments to Chapter 2 of Title 13, Landscaping, prepared by Staff.

Meeting History	
Referral at Village Board (COW):	June 23, 2014
ARB Discussion (Cancelled):	August 19, 2014
ARB Discussion:	September 16, 2014
ARB Discussion (Cancelled):	November 18, 2014
ARB Discussion (Tabled):	January 20, 2015
ARB Discussion (Tabled):	February 17, 2015
Current ARB Discussion:	April 21, 2015

TITLE: 13
CHAPTER 2: Landscaping**Sections:**

- 13-2-1: Purpose
- 13-2-2: General Requirements
- 13-2-3: Replacement Requirements
- 13-2-4: Landscape Screening Requirements
- 13-2-5: Single-Family Residential Requirements
- 13-2-6: All Other Property Requirements
- 13-2-7: Public Right-Of-Way Requirements
- 13-2-8: Stormwater Facilities Requirements
- 13-2-9: Penalties
- 13-2-10: Appendices

13-2-1: Purpose

This Landscaping Code is adopted for the following purposes:

- A. Promote and maintain the high quality visual appearance and environmental benefits throughout the year through landscaping and preservation of native vegetation.
- B. Encourage and promote the implementation of best management practices to minimize erosion and stormwater runoff in a manner which provides functionality and visual appeal.
- C. Enhance the visual and environmental impacts of the Village's built environment through the utilization of attentive landscape design.

13-2-2: General Requirements

- A. Installation: Installation methods of landscape plantings shall conform to the specifications of the approved landscape plan and industry standard installation practices appropriate for each type of planting.
- B. Maintenance: To ensure the health and vitality of landscape plantings, maintenance of insect and disease control, mulching, pruning, fertilization, weed control, and watering consistent with good forestry practices shall occur.
- C. Inspections: Landscape plantings required by this Chapter will be inspected periodically by the Village to ensure compliance. For any plantings which require replacement, the property owner shall be notified of the requirement for replacement to be completed within sixty (60) days from receipt of notice or during the next available planting season, as determined by the Village. If the property owner fails to replace required plantings within the established time frame, a fine shall be rendered in accordance with the Comprehensive Fine Schedule, Chapter 17, of Title 1 of this Code.

13-2-3: Replacement

- A. Region Wide Infestation: Landscape planting replacements due to region wide infestation or

disease shall be replaced with an appropriate species in recognition of shape, form, and seasonal interest of the infested or diseased planting to which it's replacing, subject to the requirements of Chapter 1 of this Title.

- B. Non-Single-Family Residential Property: Replacement of existing landscape plantings for all non-single-family residentially zoned lots shall be subject to the following:
1. Landscape Replacement Plan: Prior to the removal of any existing landscape plantings, authorization from the Village must be obtain, which shall be subject to the requirements of Chapter 1 of this Title. A Landscape Replacement Plan shall be submitted identifying the following:
 - a. Location, species, existing condition, and size for each planting to be removed.
 - b. Location, species, quantity, and size for each replacement planting to be installed.
 2. Replacement Criteria: Landscaping replacements shall be subject to the following:
 - a. Replacement plantings shall be not less than the size specified on the approved landscape plan. If no approved landscape plan is available, single stem trees shall be not less than 2.5" DBH, clump and evergreen varieties shall be not less than 8 feet in height.
 - b. Evergreen trees shall be replaced with evergreen trees and deciduous trees shall be replaced with deciduous trees.
 - c. The replacement plan may be implemented over a period of time not to exceed three (3) years.
 - d. Any tree which existed on the property prior to development and has been preserved, as determined by the Village, may be removed subject to Section 13-1-3(D) and 13-1-3(K) of this Title, except any tree which is dead or irreversibly declining due to natural circumstances does not require replacement.
 - e. If the plantings to be removed are considered to be a hazard to life and/or property, the specific plantings shall be flagged and verbal authorization by the Village Arborist for removal may be granted, which shall be conditioned upon the submittal of a Tree Removal Permit and Landscape Replacement Plan identified in 13-2-3(B)(1) within thirty (30) days of the authorization for removal.

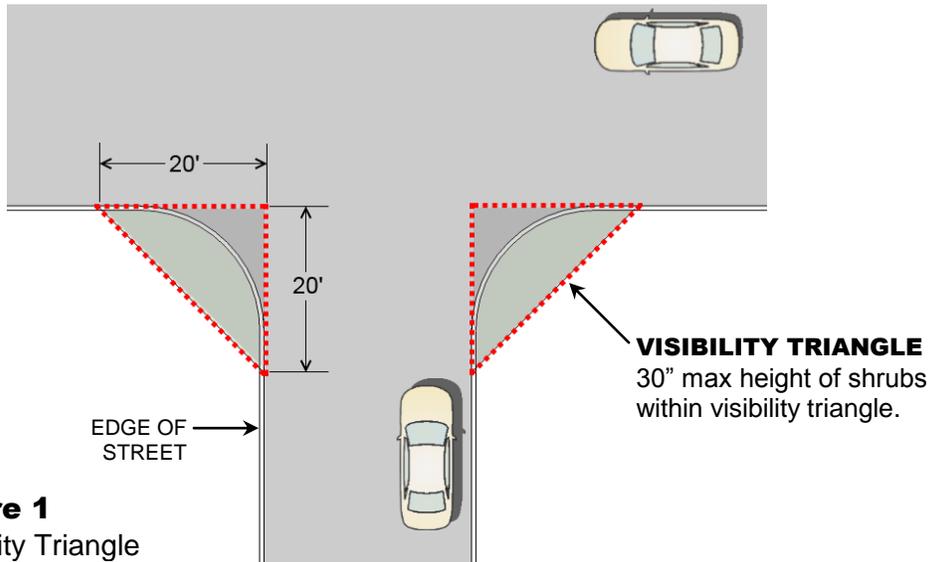
13-2-4: Landscape Screening

The intent of landscaping as screening is to provide a visual barrier to certain elements of a site which may be considered unattractive or monotonous including the following:

- A. Building Walls: Plantings of deciduous and evergreen species shall be planted to interrupt the view of large expanses of building walls which do not contain a primary architectural element. A natural planting arrangement should be used whenever possible.
- B. Ground-Mounted Equipment: Screening of ground-mounted equipment and utilities shall be screened in accordance with Section 6-15-3(B) of Title 6 of this Code.

C. Parking Lots:

1. Landscaping installed within the visibility triangle (see Figure 1) shall maintain proper sight lines and not obstruct light fixtures. Shrubs shall not exceed a maximum mature height of thirty inches (30") above existing grade.



2. Accommodations shall be made for the storage of snow from all parking and loading facilities. Snow storage within landscaped areas should be avoided to prevent damage to plant material.
3. Hardy, salt tolerant plantings within parking lot facilities and parking lot islands should be used, see Salt Tolerant Landscape Plants in Appendix 1.
4. Residential Zoning Districts: Parking facilities containing more than three (3) parking spaces shall be screened for each side visible from the public way by densely planted shrubs or small trees not less than four (4) feet in height covering at least (75%) of the linear length of the lot. Plantings shall incorporate diverse mixture of plant types, including evergreen species. No plantings shall be permitted at any street intersection which obstructs the visibility triangle.
5. Non-Residential Zoning Districts:
 - a. A minimum of 50% of linear length of parking facilities visible from the public way shall be screened by a diversity of shrubs and trees as follows:

Type	Min. Number of Species	Size at Planting
Shrubs	1 deciduous + 1 evergreen	3 ft. in height
Trees	2	2.5" DBH

- b. A minimum eight (8) foot landscape planting area shall be required between all building façades and any parking area or circulation drive (See Figure 2), which shall include a mixture of trees, shrubs and grasses (native and non-native) at a minimum of three (3) species. The screening requirement identified in 13-2-4(A) above shall be applied towards the minimum planting species requirement.

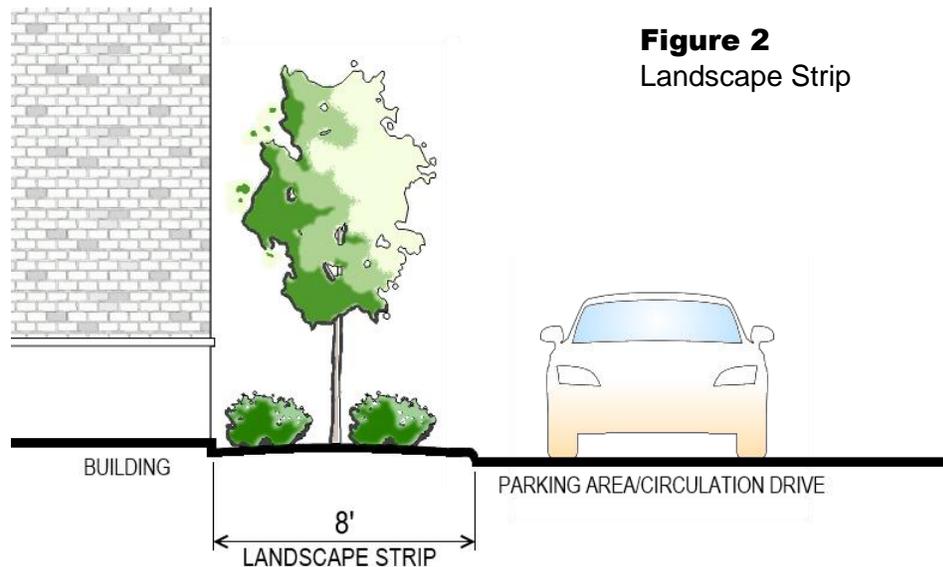


Figure 2
Landscape Strip

6. Parking Lot Islands (all Districts):

- a. A minimum of one (1) deciduous shade tree at two and a half (2.5) inch DBH shall be planted in every parking lot island. This requirement shall not apply if bio-retention areas are used in parking lot islands for the implementation of stormwater best management practice (BMP) techniques, which shall require native and non-native species suitable for use in bio-retention areas.
- b. Under story shrubs, perennials, and other plant materials, including native species, shall be planted to supplement the tree plantings.

- D. Non-Residential Fencing: Fences taller than four (4) feet in height shall be screened with landscaping plant material to reduce the visual appearance from the public way with densely planted shrubs or small trees not less than four (4) feet in height and shall incorporate diverse mixture of plant types, including evergreen species..

13-2-5: Single-Family Residential Requirements

- A. Required Landscaping: Single-family residential lots improved after the adoption of this Title shall provide the following plantings prior to the issuance of a Certificate of Occupancy, single-family residential lots constructed prior to the adoption of this Title including structural additions and tear-downs shall be exempt from this requirement:

Yard	Minimum Number of Trees	Size at Planting
Front	1	2.5" DBH non-evergreen tree or 8' evergreen tree
Side/Corner Side	1	2.5" DBH non-evergreen tree or 8' evergreen tree
Rear	2	2.5" DBH non-evergreen tree and 8' evergreen tree

B. Permit: A Village permit must be obtained prior to the start of any landscape improvements which involve excavation, trenching, or placement of additional soil and/or hardscape materials within the rooting zone of trees, or which affect drainage patterns on the premises or adjacent properties.

C. Single-Family Residential Subdivisions

1. Tree Inventory Survey: All trees measuring six (6) inch DBH or greater existing on a property prior to construction shall be identified. The Tree Inventory Survey shall include the following information:
 - a. Existing property line boundaries of each parcel to be included in the subdivision and the boundary lines of the proposed subdivision.
 - b. All trees measuring six (6) inch DBH or greater to be removed shall be identified with an "X" or similar notation.
 - c. Tree inventory data chart containing the inventory/identification number of each existing tree measuring six (6) inch DBH or greater, common and scientific name, DBH (in inches), condition, and save/removal status of each inventoried tree.
 - d. Proposed subdivision improvements, including but not limited to, roadways, walks, building footprints, parking facilities, and driveways shall be illustrated.
 - e. Location of all proposed utility lines.

2. Landscape Plan: A landscape plan for the subdivision improvements must be submitted which contains the following information:
 - a. Parkway Trees: One (1) two and a half inch (2 ½") deciduous shade tree or ornamental tree must be planted for every 40 lineal feet of the street. Trees shall provide a minimum of twenty-five (25) feet separation. All remaining open areas of the right-of-way shall be seeded or sodded in accordance with the Village of Lincolnshire Open Space Landscaping Standards, pursuant to Section 7-5-7 of Title 7 of this Code (Appendix 3).
 - b. Ground-Mounted Equipment Screening: All ground-mounted mechanical equipment shall be screened in accordance with Section 6-15-3(B) of Title 6 of this Code.
 - c. Stormwater Facilities Landscaping: Landscaping for stormwater facilities, if

required, shall be provided in accordance with Section 13-2-8 herein.

- d. Cul-de-Sac Landscaping: Planting of trees and shrubs are permissible in cul-de-sacs, provided traffic sight lines are not obstructed. Prior to installation, a landscape plan shall be submitted and approved by the Department of Public Works and include identification and quantity of plant material, the location of the curb or edge of pavement, and any easements within the cul-de-sac.
- e. Location of all proposed utility facilities.

13-2-6: All Other Property Requirements:

A. Plant Material and Density: Each landscape plan shall include a mixture of evergreen and deciduous trees, shrubs (native and non-native), grasses, and perennials plantings at a minimum of two to three (2-3) species each. The proper selection and placement of plant material is important for function as well as aesthetics, including variation in plant species and size.

- 1. Spacing of tree species shall not exceed fourteen (14) feet on center (O.C.).
- 2. Shrubs with a mature height less than three (3) feet shall be planted four (4) feet O.C. Shrubs with a mature height greater than three (3) feet shall be planted six (6) feet O.C.
- 3. All planting areas are to be mulched with organic hardwood mulch or equivalent. Colored mulches and stone shall not be permitted.
- 4. Areas which abut a public right-of-way must be sodded or established as native prairie areas, exclusive of parking lots, building pads, water features, or landscape beds.
- 5. The minimum number of trees per acre of remaining green space (parcel of land excluding parking lots, building pads, water features and other hard surfaces) shall be planted in accordance with the following distribution:

Type	Size (at planting)	Trees/Acre
Deciduous Shade Trees	2 ½" – 4" (DBH)	6
	4 ½" + (DBH)	6
Ornamental Trees	6' - 8' (height)	4
	8 ½' + (height)	4
Evergreen Trees	8' (height)	5
	10' + (height)	5

- 6. All landscape plantings installed within any easement(s) shall be the responsibility of the property owner to maintain and replace any plantings damaged or destroyed as a result of activity associated with such easement(s).

B. Landscape Plan Requirements:

1. Tree Inventory Survey: All trees measuring six (6) inch DBH or greater existing on a property prior to construction shall be identified. The Tree Inventory Survey shall include the following information:
 - a. Existing property line boundaries of each parcel to be included in the subdivision and the boundary lines of the proposed subdivision.
 - b. All trees measuring six (6) inch DBH or greater to be removed shall be identified with an "X" or similar notation.
 - c. Tree inventory data chart containing the inventory/identification number of each existing tree measuring six (6) inch DBH or greater, common and scientific name, DBH (in inches), condition, and save/removal status of each inventoried tree.
 - d. Proposed site improvements, including but not limited to, roadways, walks, building footprints, parking facilities, and driveways shall be illustrated.
 - e. Location of all proposed utility lines.
2. Landscape plans must be prepared and sealed by a licensed landscape architect in the State of Illinois. This requirement may be waived upon the demonstration the designer/landscaper has expertise equaling that of a licensed professional.
3. A site data chart must be included on every Landscape Plan submitted and shall contain the following information:
 - a. Total area (square feet) of entire site.
 - b. Total area (square feet) of impervious surfaces by category (drives, walks, buildings, water features) for the overall site.
 - c. Total area (square feet) of open (pervious) space for the overall site.
 - d. A landscape planting chart containing the following information:
 - i. Common and Scientific name of each plant material.
 - ii. Size of each plant material at time of planting.
 - iii. Quantity of each plant material.
 - iv. Period of flowering for all applicable annuals, perennials and ornamental trees.
4. An installation specification detail illustrating the method(s) for installation for woody plants, herbaceous plants, and seeding shall be included.
5. Stormwater Facilities Landscaping: Landscaping for stormwater detention facilities, if required, shall be provided in accordance with Section 13-2-6(A) herein.

C. Transitional Yards: Where a side and/or rear yard abuts any residential zoning district, excluding the R5 District, transitional yard landscaping or fence screening a minimum of

seventy-five percent (75%) opacity shall be provided along such transitional yards.

13-2-7: Public Right-of-Ways Requirements

Landscape material planted in the right-of-way dedicated to the Village of Lincolnshire shall conform to the following standards:

- A. Shrubs must provide a maximum mature height of thirty inches (30") above existing grade.
- B. Trees must provide a minimum mature height of twenty feet (20') and located so that any branches over the street are a minimum fourteen feet (14') above the ground. Tree species used must be taken from the following list:

Scientific Name	Common Name
Acer Nigrum	Black maple
Acer rubrum	Red maple
Acer saccharum	Sugar maple
Acer triflorum	Three-flowered maple
Carpinus caroliniana	American hornbeam, Ironwood, Musclewood
Carya cordiformis	Bitternut hickory
Carya ovata	Shagbark hickory
Celtis occidentalis	Hackberry
Cladrastis lutea	Yellowwood
Corylus colurna	Turkish filbert
Ginkgo biloba	Ginkgo (male only)
Gleditsia triacanthos var. Inermis	Thornless honeylocust
Gymnocladus dioecus	Kentucky coffeetree
Liquidambar styraciflua	Sweetgum
Liriodendron tulipifera	Tulip tree
Nyssa sylvatica	Black tupelo
Ostrya virginiana	American Hophornbeam
Platanus x acerifolia	London planetree
Platanus occidentalis	Sycamore
Pyrus calleryana	Callery pear
Quercus alba	White oak
Quercus imbricaria	Shingle oak
Quercus macrocarpa	Bur oak
Quercus robur	English oak
Quercus rubra	Red oak
Tilia Americana	Linden
Tilia cordata	Littleleaf linden

- C. No tree shall be planted under or within ten lateral feet (10') of any overhead utility line at their mature size. Trees and shrubs planted over or within five lateral feet (5') of any underground water, sewer, or main transmission utility line should be avoided (see Figure 3). Prior to installation, a landscape plan shall be submitted and approved by the Department of Public Works, which shall include identification of the location and quantity of plant material and the location of all underground utilities.

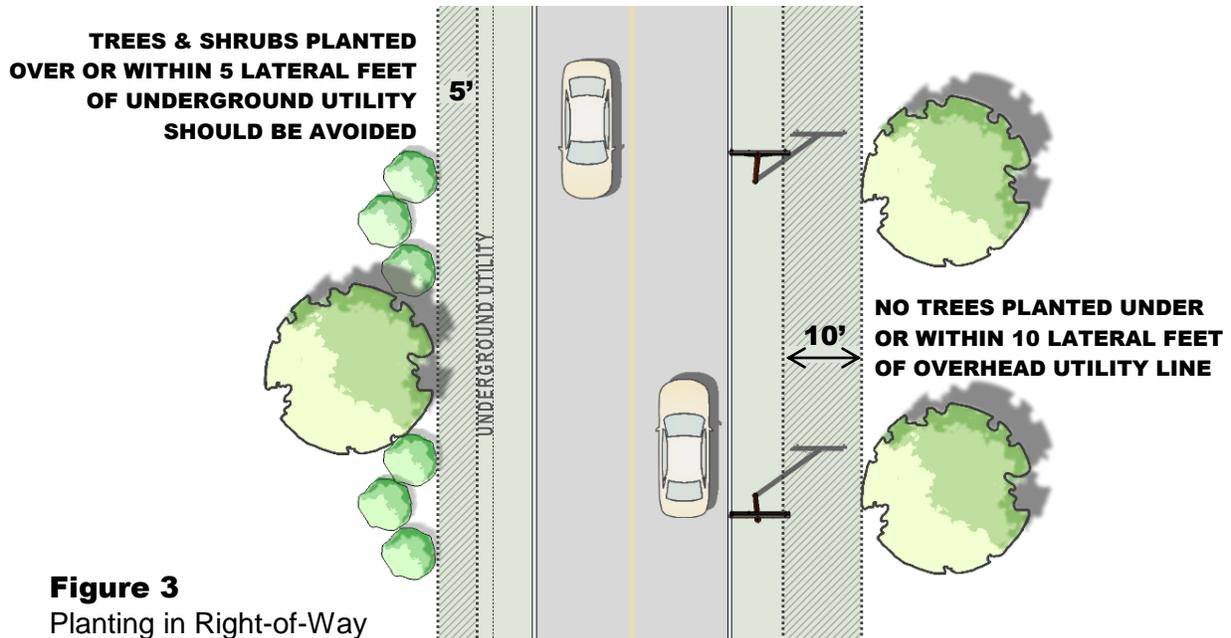


Figure 3
Planting in Right-of-Way

- D. At time of planting, all trees and shrubs shall be located a minimum of five feet (5') from the back of curb or edge of pavement to the center line of the tree/shrub.
- E. Planting of trees and shrubs are permissible in cul-de-sacs, provided traffic sight lines are not obstructed. Prior to installation, a landscape plan shall be submitted and approved by the Department of Public Works and include identification and quantity of plant material, the location of the curb or edge of pavement, easements, and utilities within the cul-de-sac.
- F. The maintenance of the trees, shrubs, and lawn planted in the right-of-way is the responsibility of the property owner.

13-2-8: Landscape Requirements for Stormwater Facilities

The purpose of this section is to ensure stormwater facilities within the Village are designed, constructed, and maintained in a manner which provides the highest level functionality as well as visual appeal. Any development which requires stormwater facilities, as determined by the Lake County Stormwater Management Commission (SMC), shall be subject to the following requirements:

A. General Requirements:

1. **Shape:** Stormwater facilities shall be designed to reflect a non-uniform, organic shape.
2. **Shoreline Slopes:** The shoreline banks of stormwater facilities shall be no steeper than 5:1 (from approximately 1 foot above to 1 foot below normal waterline) to prevent erosion and facilitate native plant establishment. Basins and other natural drainage facilities shall be required to have native dry-mesic and wet-mesic plants planted along the entire expanse of a detention pond's side slope.
3. **Safety Shelf:** For wet-bottom detention basins, a flat (or significantly flat) safety shelf must be constructed approximately eighteen (18) inches below normal water level,

around the full perimeter of the basin. The safety shelf shall be a minimum of five (5) feet in width, and shall be planted with native emergent plant plugs.

4. **Bank Erosion Protection:** The shoreline of stormwater facilities shall be protected from erosion through establishment of deep-rooted, prairie and wetland perennial plants native to the Great Lakes region. Native prairie and wetland plants shall cover the complete shorelines, extending around the full perimeter of the stormwater facility. The native plant slope for basins shall have a minimum width from waterline of fifteen (15) feet.
5. **Seed Mixes and Planting Lists:** The landscape plan shall identify each species proposed, which shall consist entirely of native plants for all seed mixes and plant plugs to be used. Separate seed mixes shall be provided for planting on the upper (dry-mesic) and lower (wet-mesic) portions of the shoreline slope. The plant plug list shall be divided into three categories: dry-mesic, wet-mesic, and emergent plants. Each category shall contain a minimum of ten (10) species of native plants suited to the given environment.
6. **Guarantees:** All seeded and planted areas shall be guaranteed through the Maintenance Period and all performance criteria have been satisfied.

B. Plan Requirements:

1. **Installation Plan:** The installation plan shall provide detailed information regarding the specific locations and timing of native landscaping installation.
 - a. **Installation:** The installation of all native prairie and wetland plants shall be performed by a qualified natural environmental professional consultant. A site plan shall illustrate the following elements of the native landscaping installation:
 - i. Specific planting zones.
 - ii. Plant and seed lists for each planting zone including quantities, seeding rates per species, and spacing of plants.
 - iii. Location and specification of erosion control measures.
 - b. **Site Access:** Access to the site for installation of native plantings shall be identified on the Plan, which shall include necessary access for installation equipment. Additional or alternate access areas not identified must be approved by the Village prior to the start of installation.
 - c. **Installation Schedule:** The schedule shall outline the proposed start and ending for site access preparation, planting area preparation and stabilization, and planting and seeding for each planting zone. Installation shall occur in the first available growing season after the grading of the pond is substantially completed and the pond is operational. Installation shall take place between May 1 and June 15 or after October 1 until the ground is frozen. Seeding shall not be performed from June 16 through September 30, unless authorized by the Village.
 - d. **Erosion Control:** Clean, seed-free hay or threshed straw of wheat, oats or barley shall be used for slopes less than 6:1. Straw mat or other appropriate erosion control blanket shall be used on all areas seeded or plugged for slopes steeper

- than 6:1. Synthetic net blankets shall not be used. The mat shall be affixed to the ground surface by mechanical crimping or other method approved by the Village.
- e. **Establishment:** The installation plan shall provide specific information regarding activities to be performed to ensure establishment of the native prairie and wetland plants, including but not limited to, cover crops/erosion blankets, watering schedule, herbicide schedule, controlled burn/mowing frequency, and seed/plant depredation (wildlife grazing) control.
 - f. **Criteria for Successful Installation and Establishment:** Prior to the Village's acceptance of any stormwater detention facility, a status report shall be prepared by a qualified natural environment professional demonstrating the criteria for establishment of native plant landscaping conforms with requirements of this Section 6-2-8 herein.
 - g. **Installation Conditions:** All grades, soils, and water levels shall be examined and observed conditions shall comply with the specifications of the Installation Plan prior to the start of any work. If unsatisfactory conditions exist, the Village shall be notified and a written report of corrective action of unsatisfactory conditions shall be submitted to the Village. Work shall not proceed until authorization is provided by the Village.
2. **Maintenance and Monitoring Plan:** A Maintenance and Monitoring Plan shall be prepared by a qualified natural environment professional to provide the timing and/or frequency of all activities necessary to maintain native plant landscapes. Elements of the Maintenance and Monitoring Plan include but not limited to, controlled burn/mowing, spot herbicide applications/invasive species control, and monthly monitoring reports during the growing season.
- a. **Responsibility:** The maintenance and monitoring of native plant landscapes shall be the sole responsibility of the property owner, its successors and assigns.
 - b. **Monitoring Period:** Vegetation monitoring shall be conducted monthly during the first three (3) growing periods for the months of April, May, June, July, August, September, October and November using the meander search method.
 - c. **Status Report:** Monitoring Status Reports shall be submitted within two (2) weeks following the monthly monitoring session for each month of the Monitoring Period. The Status Reports shall include the following:
 - i. Percent of vegetation cover throughout the site.
 - ii. Inventory and estimated percent cover of the predominant species present.
 - iii. Inventory and estimated percent cover of the non-native invasive species present.
 - iv. Detailed description(s) of work undertaken during the previous month and recommended management measures for subsequent months.
 - v. Any other site conditions observed, including but not limited to, drainage

problems, erosion, wildlife damage, extreme water level fluctuations, damage to the site by equipment, etc. and any remediation required.

C. Native Plant Specifications

1. Native Plants:

- a. Plants, freshly dug tubers and plants shall be provided. Materials which have been in cold storage shall not be used.
- b. All live herbaceous plants shall be potted, two year old nursery grown stock.
- c. All preparations shall be made for the planting of tubers prior to their arrival. Tubers shall be planted immediately once received. If planting is delayed more than four (4) hours after delivery, plants shall be set in shade, protected from weather and mechanical damage, and kept moist.
- d. Container grown stock shall not be removed from containers until time of planting.
- e. Plants shall be free from insects and diseases and must show appearance of normal health and vigor.
- f. Plants species shall be certified to be true to their name and originate within a 150-mile radius of the project location, with species and subspecies native to Lake County, Illinois.
- g. All plant material and collected stock shall comply with State and Federal laws for inspection of plant diseases and insect infestations.
- h. Plants shall be packed to ensure adequate protection against damage while in transit, including being protected with wet material to ensure plants are delivered, stored, and planted in a moist and cool condition.
- i. Planting should not be conducted when conditions are not appropriate.
- j. All emergent herbaceous perennial plants, tubers, bulbs and dormant rootstock shall be installed at a water depth of 0" to 6".
- k. Plants shall be planted to adequate depth to prevent against desiccation.
- l. Plants shall be planted at a minimum density of 3,000 plants per acre. Unless an alternative Installation Plan is submitted and approved by the Village, plants shall be planted in pods or groupings to provide sections of color.
- m. All plants shall be protected from geese and other predators on all sides by 24" high fencing with nylon lines crosshatched across the top of the planting zones. Said fencing shall be maintained at all times and removal may be permitted at least one full growing season after installation.
- n. In areas where herbicide has been applied at least 14 days prior to planting, no planting shall occur. All herbicides shall be applied by a licensed operator under

the direction of a licensed applicator.

- o. Any plant or seed species substitutions must be approved the by the Village prior to their planting.

2. Seed Mixtures:

- a. All seed shall have the proper stratification and/or scarification to break seed dormancy other than for fall planting.
- b. Prior to planting, all legumes shall be inoculated with the proper rhizobia at the appropriate time.
- c. All seed shall be packed and covered in a manner to ensure adequate protection against damage and maintain dormancy while in transit, storage or during planting operations.
- d. All seed shall be certified to be true to their name and originate within a 150 mile radius of the project location.
- e. All seed grass species shall be supplied as pure live seed.
- f. All seeded areas shall be protected from geese and other predators on all sides by 24" high fencing with nylon lines crosshatched across the top of the planting zones. Said fencing shall be maintained at all times and removal may be permitted at least one full growing season after installation.
- g. Seeding in zones where water levels exist shall not occur. All seeded areas shall be protected from water by erosion control mulch or straw mat.
- h. Any seed species substitutions must be approved the by the Village prior to their planting.
- i. The use and species of a cover crop must be approved by the Village prior to their planting, and shall not be annual rye.

D. Installation: Installation of native plantings shall be subject to the following specifications:

1. Qualifications: A qualified superintendent capable of reading and understanding approved plans and specifications, and a thorough knowledge of installation, maintenance practices and management needs shall be on-site during installation.
2. Site Preparation: Prior to installation, the planting area shall include preparing and amending existing soils; furnishing, transporting and installing all seeds plant and other materials; and protecting said materials as
3. Soil Preparation:
 - a. Top soil shall be fertile, friable, loam surface soil without admixture of subsoil and free of stones, stumps, roots, trash, debris and other materials which might inhibit successful plant growth. Soil aggregates shall not exceed one (1) inch maximum

diameter.

- b. Subsoil should not have a compaction greater than 350 pounds per square inch based on soil penetrometer measurements.
- c. The pH range shall be 6.5 to 8.4. Topsoil not within this pH range shall be amended through the addition of pH adjusters.
- d. Organic content shall not be less than 3% and no greater than 10% determined by loss through ignition.
- e. Soil nutrient content shall be as follows, as determined by appropriate laboratory analysis:

Phosphorus	Min. 75 lb./Ac
Potassium	Min. 300lb./Ac
Calcium	Min. 1,500 ppm
Magnesium	Min. 100 ppm
Cation Exchange Capacity	Min. 20 mea/100g
Soluble Salt	Max. 1,000 ppm

- f. Gradation shall meet the following specification:

Sieve Designation	Percent Passing
1" screen	100
1/4" screen	97 - 100
No. 10 U.S.S.	95 - 100
No. 140 U.S.S.	60 - 90
No. 270 U.S.S.	25 - 50

Clay content determined by Bouyoucous Hydrometer Test shall range between 5% and 20%. Percentages shall be based on dry weight of the sample.

- g. Topsoil shall be uniformly distributed to provide a minimum 8 inch depth after compaction and finishing grade. Top soil shall be spread cultivated, lightly compacted to prevent future settlement, dragged, and graded to finished grade.

4. Equipment:

- a. Equipment shall be suited for the installation of native plants and seeds. Equipment causing damage to soils or site (example: rutting, compaction, or prepared soils) shall not be used. Equipment shall be calibrated and adjusted to sow seeds at the proper seeding rate and operated in a manner to ensure complete coverage of the entire native zones.
- b. Seeding equipment shall be designed to accommodate a wide variety of seed types, sizes and shapes.
- c. If a rangeland type grass drill or no-till planter is used, rolling of the seed bed shall not be permitted.

E. Maintenance: The maintenance period shall begin immediately following planting and continue annually, subject to the following criteria:

1. All planted and seeded areas shall be maintained by prescribed burning (if permitted), high mow management, replanting or reseeding, and invasive control management as necessary to establish vegetation free of bare or eroded areas and areas that are infested with invasive plants.
 - a. In the first two (2) growing seasons, the planted area shall be mowed every four to six (4 – 6) weeks throughout the growing season to a height not less than eight (8) inches. Mowing is to be conducted frequently enough to cut weeds before they form seed heads. If seed heads form on weeds they shall be removed from the site.
 - b. Prescribed burning shall also be conducted at the conclusion of the third growing season. All licenses and permits required to conduct prescribed burning from state and local authorities shall be completed before initiating any burning. Prescribed burns shall continue annually.
2. Dead or declining plant material shall be reseeded and replaced as necessary to meet the performance standard in the year the damage is observed. All replacement plants must be of the same size as the plants thriving in the planted area.
3. Plant replacements shall be completed according to the installation instructions.
4. Native plant landscape areas shall be managed for invasive plant species as outlined on the Invasive Plant Management Schedule (Appendix 2).
5. When the Monitoring Status Report findings indicate performance of the native plant landscape has fallen below the criteria for establishment of native plant landscapes of this Section, remedial action to restore and replace dead or declining plant material shall occur. Native plant landscapes requiring remedial action shall be considered non-compliant with this Section until necessary corrective actions are completed.

F. Performance Standards

~~G.~~

1. At the end of the first growing season, seeded and planted areas shall meet or exceed 75% plant cover, seedlings of six planted grass/sedge species found and seedlings of six planted forb species found within any given one meter transect . No invasive species shall be present.
2. At the end of the second growing season, seeded and planted areas shall meet or exceed 80% plant cover, 5% cover by planted native grass/sedge species, 15% cover by planted forb species, and 20% of planted species found within any given one meter transect.

Sites less than two acres where planting or restoration has taken place, no invasive species shall be present.

Sites greater than two acres where planting or restoration work has taken place, invasive species shall comprise no more than 10% of the plant cover.

3. At the end of the third growing season, seeded and planted areas shall meet or exceed 95% plant cover, 20% cover by planted native grass/sedge species, 40% cover by planted forb species, and 60% of planted species found within any given one meter transect.

Sites less than two acres where planting or restoration has taken place, no invasive species shall be present.

Sites greater than two acres where planting or restoration work has taken place, invasive species shall comprise no more than 5% of the plant cover.

4. At the conclusion of the three year maintenance period, if the planted areas do not meet the performance specification, the Village shall draw on the letter of credit to achieve the performance specifications.

G. Enforcement

1. In the event the property owner, its successors or assigns, do not perform the necessary actions to restore a non-compliant native plant landscape within two (2) weeks of identification of the non-conformity, provided environmental conditions permit immediate action, a fine in accordance with the Comprehensive Fine Schedule set forth in Chapter 17 of Title 1 of this Code shall be assessed. In addition the native plant landscape will be restored to a state of compliance and/or a status assessment will be conducted by a Village consultant at the expense of the responsible party.
2. To ensure compliance with this Section, the Landscape Improvement Deposit in accordance with Section 7-1-6 of this Code shall be held for maintaining the landscape improvements for a period of three (3) years after acceptance. At the conclusion of the three (3) year maintenance period, any items not conducted in accordance with this Section, the Village shall draw from the Deposit to employ the services of a qualified consultant to ensure compliance, and for the time and labor required to achieve compliance.

13-2-7: Penalties

Any person found guilty of violating any provision of this Chapter shall be assessed at a cost as prescribed in the Comprehensive Fine Schedule set forth in Chapter 17 of Title 1 of this Code. Where a continued violation persists, after notification by the Village, the fine shall be assessed weekly until the violation is corrected. (Ord. No. 03-1840-17, eff. 4/14/03)

TITLE: 13

CHAPTER 2: Landscaping

13-2-8: APPENDICES

Appendix 1: Salt Tolerant Landscape Plants

Appendix 2: Invasive Plant Management Schedule

Appendix 3: Open Space Landscaping Standards *(not provided at time of print)*

**Appendix 1:
Salt Tolerant Landscape Plants***

T = Plans with highest degree of salt tolerance. Use in most exposed areas.

M = Plant with moderate degree of salt tolerance. Use in low salt areas.

DECIDUOUS TREES

Scientific Name	Common Name	Zone	Aerial Salt Tolerance	Soil Salt Tolerance
<i>Acer campestre</i>	Hedge maple	5-8	M	
<i>Acer ginnala</i>	Amur maple	2-8	M	
<i>Acer nigrum</i>	Black maple	4-9	M	
<i>Acer pseudoplatanus</i>	Sycamore maple	5-7	T	
<i>Acer saccharinum</i>	Silver maple	3-9	M	
<i>Aesculus hippocastanum</i>	Horse-chestnut	4-7	T	Y
<i>Aesculus octandra</i>	Yellow buckeye	4-8	M	
<i>Amelanchier x grandiflora</i>	Apple serviceberry	4-9	T	
<i>Betula nigra</i>	River birch	3-7	M	
<i>Carya cordiformis</i>	Bitternut hickory	4-9	T	Y
<i>Carya ovata</i>	Shagbark hickory	4-8	T	
<i>Catalpa speciosa</i>	Northern catalpa	4-8	T	Y
<i>Celtis occidentalis</i>	Hackberry	2-9	M	Y
<i>Diospyros virginiana</i>	Persimmon	4-9	M	
<i>Ginkgo biloba</i>	Ginkgo	3-8	M	Y
<i>Gleditsia triacanthos</i>	Honey locust	3-9	T	Y
<i>Gymnocladus dioica</i>	Kentucky coffeetree	3-8	T	Y
<i>Juglans cinerea</i>	Butternut	3-7	T	
<i>Juglans nigra</i>	Black walnut	4-9	T	Y
<i>Koelreuteria paniculata</i>	Golden rain tree	5-8	M	
<i>Larix decidua</i>	European larch	2-6	T	
<i>Larix laricina</i>	American larch	2-5	T	
<i>Liquidambar styraciflua</i>	Sweet gum	5-9	T	Y
<i>Magnolia x soulangiana</i>	Saucer magnolia	5-9	M	
<i>Malus</i> (some cultivars) (x <i>zumii</i> 'Calocarpa', 'Adams', 'Donald Wyman', 'Prairifire')	Crabapple	5-7	M	
<i>Nyssa sylvatica</i>	Tupelo	4-9	M	Y
<i>Ostrya virginiana</i>	Ironwood	3-9	M	
<i>Platanus occidentalis</i>	Sycamore	4-9	M	Y
<i>Prunus maackii</i>	Amur chokecherry	3-6	M	
<i>Prunus virginiana</i>	Choke cherry	2-6	M	Y
<i>Pyrus calleryana</i>	Callery pear	5-8	M	
<i>Quercus alba</i>	White oak	3-9	T	
<i>Quercus bicolor</i> *	Swamp white oak	4-8	M	Y
<i>Quercus ellipsoidalis</i>	Northern pin oak	4-6	M	Y
<i>Quercus imbricaria</i>	Shingle oak	4-8	M	
<i>Quercus macrocarpa</i>	Bur oak	2-8	M	Y
<i>Quercus robur</i>	English oak	4-8	T	

<i>Sassafras albidum</i>	Sassafras	4-9	M	
<i>Syringa amurensis</i>	Japanese tree lilac	3-7	T	Y
<i>Syringa pekinensis</i>	Peking lilac	4-7	T	Y
<i>Taxodium distichum</i>	Bald-cypress	4-9	T	Y
<i>Ulmus 'Regal'</i>	Regal elm	4-6		Y

EVERGREEN TREES

Scientific Name	Common Name	Zone	Aerial Salt Tolerance	Soil Salt Tolerance
<i>Juniperus chinensis</i>	Chinese juniper	2-8	T	Y
<i>Juniperus horizontalis</i>	Creeping juniper	4-9	T	Y
<i>Juniperus virginiana</i>	Eastern red-cedar	3-9	T	
<i>Picea pungens</i>	Blue spruce	2-7	T	Y
<i>Pinus mugo</i>	Mugo pine	2-7	T	Y
<i>Thuja occidentalis</i>	Eastern arborvitae	2-8	M	Y

SHRUBS

Scientific Name	Common Name	Zone	Aerial Salt Tolerance	Soil Salt Tolerance
<i>Inus rugosa</i>	Speckled alder	3-6	M	
<i>Amelanchier canadensis</i>	Serviceberry	3-7	T	
<i>Amorpha fruticosa</i>	Indigo-bush	4-9	T	Y
<i>Aronia arbutifolia</i>	Red chokeberry	4-8	M	
<i>Aronia melanocarpa</i>	Black chokeberry	3-8	M	
<i>Berberis thunbergii</i>	Japanese barberry	4-8	T	
<i>Buxus microphylla</i> var. <i>koreana</i>	Korean boxwood	4-9	M	
<i>Caragana arborescens</i>	Siberian pea-shrub	2-7	T	Y
<i>Caragana fruticosa</i>	Russian pea-shrub	2-6	T	
<i>Clethra alnifolia</i>	Summersweet clethra	3-8	T	
<i>Comptonia peregrina</i>	Sweet-fern	2-5	T	
<i>Cotoneaster</i> species	Cotoneaster	4-8	T	Y
<i>Forsythia</i> spp.	Forsythia	6-8	T	Y
<i>Hamamelis virginiana</i>	Witch-hazel	3-8	T	
<i>Hibiscus syriacus</i>	Rose-of-Sharon	5-8	M	
<i>Hippophae rhamnoides</i>	Sea-buckthorn	3-7	T	Y
<i>Hydrangea</i> spp.	Hydrangea	3-9	T	
<i>Hypericum</i> spp.	St. John's wort	3-8	T	
<i>Ilex verticillata</i>	Winterberry	3-9	M	
<i>Lespedeza bicolor</i>	Shrub bush-clover	4-8	T	
<i>Myrica pensylvanica</i>	Bayberry	3-6	M	Y
<i>Perovskia atriplicifolia</i>	Russian-sage	5-8	T	
<i>Philadelphus coronarius</i>	Mock-orange	5-8	M	
<i>Potentilla fruticosa</i>	Shrubby cinquefoil	2-7	T	
<i>Prunus x cistena</i>	Purpleleaf sand cherry	2-8	M	

<i>Pyracantha coccinea</i>	Firethorn	6-9	T	
<i>Rhodotypos scandens</i>	Black jetbead	4-8	T	
<i>Rhus aromatica</i>	Fragrant sumac	3-9	T	Y
<i>Rhus glabra</i>	Smooth sumac	3-9	T	Y
<i>Rhus typhina</i>	Staghorn sumac	4-8	T	Y
<i>Ribes alpinum</i>	Alpine currant	2-7	M	Y
<i>Robinia hispida</i>	Bristly locust	5-8	T	Y
<i>Rosa rugosa</i>	Rugosa rose	2-7	T	Y
<i>Sambucus canadensis</i>	Elderberry	3-9	T	
<i>Shepherdia canadensis</i>	Buffaloberry	2-6	M	
<i>Spiraea</i> spp. (most)	Spirea	3-8	T	
<i>Symphoricarpos albus</i>	Snowberry	3-7	T	
<i>Syringa meyeri</i> 'Palibin'	Palibin lilac	3-7	M	Y
<i>Syringa patula</i> 'Miss Kim'	Miss Kim lilac	3-7	T	Y
<i>Viburnum dentatum</i>	Arrowwood viburnum	5-9	M	
<i>Viburnum lentago</i>	Nannyberry	2-8	M	
<i>Viburnum prunifolium</i>	Blackhaw viburnum	3-9	M	Y
<i>Viburnum trilobum</i>	American cranberry-bush	2-7	M	

* Source: The Morton Arboretum, www.mortanarb.org

Appendix 2: Invasive Plant Management Schedule

Plant Name	Specific Management	Month(s)	Comments
Common and Glossy Buckthorn (Rhamnus cathartica and fragula)	Cut and immediately wick apply herbicide.	Jan, Feb, March, June, July, Aug, Sept, Oct, Nov, Dec	Foliar application of herbicide should not be considered unless the site is to be completely reseeded with the understanding that all plants will be killed.
Honeysuckle (Lonicera tatarica, maackii, japonica)	Cut and immediately wick apply herbicide.	Jan, Feb, March, June, July, Aug, Sept, Oct, Nov, Dec	Foliar application of herbicide should not be considered.
Multiflora Rose (Rosa multiflora)	Cut and immediately wick apply herbicide.	Jan, Feb, March, June, July, Aug, Sept, Oct, Nov, Dec	Foliar application of herbicide should not be considered.
Teasel (Dipsacus sylvestris, laciniatus)	Herbicide rosettes.	Mar, April, May, June, Nov	Biennial, important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads.
Teasel (Dipsacus sylvestris, laciniatus)	Cut seed heads, remove from site. Herbicide cut stock close to ground.	July, Aug, Sept	Biennial, important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads.
Reed Canary Grass (Phalaris arundinacea)	Herbicide stands of grass.	April, May, June	
Reed Canary Grass (Phalaris arundinacea)	Cut seed heads, remove from site. Herbicide cut stock close to ground.	July, Aug, Sept	Reed Canary Grass (Phalaris arundinacea)
Garlic Mustard (Allaria petiolata)	Herbicide rosettes.	March, April, Oct, Nov	Biennial, important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads.
Garlic Mustard (Allaria petiolata)	Hand pull plants. Remove from site.	May, June, July, Aug, Sept	Biennial, important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads.
Crown Vetch (Coronilla varia)	Cut and herbicide plant close to the ground. Remove cut plants from site.	April, May, June, July, Aug, Sept, Oct	
Bird'S Foot Trefoil (Lotus corniculatus)	Cut and herbicide plant close to the ground. Remove cut plants from the site.	April, May, June, July, Aug, Sept, Oct	

Canada and Bull Thistle (Cirsium arvense, vulgare)	Herbicide small plants or rosettes.	March, April, May, June, Oct, Nov	Bull thistle is a biennial. It is important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads. Canada thistle is a perennial. Remove all seed heads from the site.
Canada and Bull Thistle (Cirsium arvense, vulgare)	Cut seed heads and remove from site. Herbicide cut stalks close to the ground.	July, Aug, Sept, Oct	Bull thistle is a biennial. It is important to catch rosettes in first year. Care needs to be taken to remove all seed heads from site. Do not mow. Manually remove heads. Canada thistle is a perennial. Remove all seed heads from the site.
Purple Loosestrife (Lythrum salicaria)	Herbicide young plants.	May, June	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.
Purple Loosestrife (Lythrum salicaria)	Cut seed heads and remove from site. Herbicide cut stems close to the ground.	July, Aug, Sept, Oct	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.
Phragmites (Phragmites australis)	Herbicide young stands.	April, May, June, July	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.
Phragmites (Phragmites australis)	Cut seed heads and remove from site. Herbicide cut stems close to the ground.	June, July, Aug, Sept, Oct	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.
White and Yellow Sweet Clover (Melilotus alba and officinalis)	Cut and remove plant from site. Herbicide cut stems close to the ground.	May, June, July, Aug, Sept, Oct	
Willow (Salix)	Cut plant and herbicide cut stems close to the ground.	April, May, June, July, Aug, Sept, Oct	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.
Cattails (Typha)	Cut plant and herbicide cut stems close to the ground or water. Remove any seed heads from the site.	April, May, June, July, Aug, Sept, Oct	This plant grows in wet conditions. An aquatic herbicide must be used if it is in the water or close to the water.

NOTE: All herbicides and their application must be specific to the type of plant controlled. Manufacturers' instructions must be carefully followed. With few exceptions spot or wick applications must be utilized to protect surrounding plants.

**REQUEST FOR BOARD ACTION
Architectural Review Board
April 21, 2015**

Subject:	Lincolnshire Design Guidelines Update
Action Requested:	Consideration and Discussion of Lincolnshire Design Guidelines concept and objectives
Originated By/Contact:	Stephen Robles, Village Planner Department of Community & Economic Development
Referred To:	Architectural Review Board

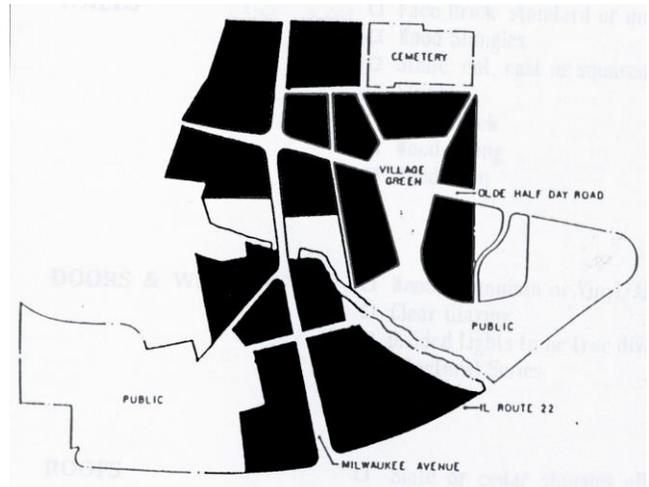
Background:

- A goal of the Community & Economic Development Department is to update the "Lincolnshire Village Center Design Guidelines" (Guidelines). The existing guidelines were established in the early 1990's, through the services of external consultants, and have not been updated in over 20 years.
- The objective of the update is to modernize the Guidelines to identify and illustrate the current desired visual character for Lincolnshire's built environment, both for new construction and redevelopment. The update will further provide the opportunity to incorporate design and development methods proven successful in site/building design, while avoiding/eliminating demonstrated design pitfalls.
- This initial introduction to the Guidelines was originally scheduled at the August 19, 2014 ARB meeting. However, that meeting was cancelled and this topic has since been tabled due to the ARB's request to discuss any updates with full Member attendance, as well as, ARB review of other development proposals resulting in lengthy discussions.

Summary:

- **Intent:** The original intent of the Guidelines focused solely on the Village Center referred to as the "Half Day Area" (see inset map). Staff proposes to expand the application of the Guidelines to the highly-visible and traveled thoroughfares of Route 22, Milwaukee Avenue and Aptakisic Road. Development along these primary arterials should exemplify the best in quality design and character (see attached Draft Corridor Map).

Additionally, Staff believes a more well-defined development character in the "Downtown" area should continue to apply, but at a more basic level of establishing common design themes that should be continued through new construction.



- **Objectives:** The objectives in the Guidelines are to be revised based on the expanded focus areas, as follows:
 - i. Further the vision of the Update 2012 Comprehensive Plan by providing design and aesthetic standards for commercial, mixed-use and office development within the Village's commercial corridor.

- ii. Create a contextual relationship with the existing Village character, while avoiding repetitive and uninteresting environments.
 - iii. Establish reasonable expectations regarding architecture and landscape design balancing quality with the economic realities of site development.
 - iv. Create safe and efficient pedestrian and vehicular networks linking developments and public spaces along the Village's commercial corridors.
- Identification of Character: A key element missing from the current Guidelines is the identification of Lincolnshire's character. Identifying design character establishes the expectations of the Village and aims to avoid repetition and oversaturation of similar building designs. Staff believes the Village's commercial architectural style generally falls into one of the three following design styles: 1) Traditional, 2) Postmodern, and 3) Prairie School.
 - Application of Guidelines: The update will identify the stakeholders who apply these Guidelines (Village Board, ARB, Staff, developers, architects, etc.), which is absent from the current document.
 - Guideline Elements: The current Guidelines describe "building use, placement, height, parking and other issues relating to the definition of public space" in a very specific manner (see current Urban Design Guidelines, attached). Such approach can limit design flexibility and creativity, resulting in monotonous development patterns. Updates will aim to convey the main elements of quality site and building design, without inhibiting architectural creativity or impeding the implementation of best practices.

The "Downtown" area will continue to have a special focus on development character. Rather than outlining specific design standards, Staff proposes to identify common design elements/themes that characterize the Downtown area. Development would be encouraged to incorporate such common elements/themes within the Downtown area to establish cohesion, while allowing architectural creativity.

- Architectural Style: The current document addresses only the architectural style within the Village Green center, whereas the update will illustrate the variety of architectural design and concepts appropriate for the expanded focus area.
- Building Materials: A key element to building design is the use of exterior materials. The identification of exterior building materials will be expanded to include new synthetic materials, such as cement fiber siding ("hardiboard") and composite roofing shingles. The update will also reinforce that EIFS/dry-vit material should be limited and only used for secondary accent materials.
- New Elements: Site furniture and lighting, service areas, façades, roofs, and awnings/canopies will be introduced into the updated Guidelines as each element plays a key role in the overall character of a building/development. In addition, Staff welcomes ARB input on any other elements that should be considered as part of the updated Guidelines.

Recommended Action:

Input and direction from the Architectural Review Board on the proposed outline for updates to Lincolnshire Design Guidelines. Staff recommends returning to the May meeting with a completed Draft Guideline document, incorporating ARB comments, for review.

Reports and Documents Attached:

- Current Lincolnshire Urban Design Guidelines.
- Draft Design Guidelines Corridor Map and Sample Pages, prepared by Staff.
- Design Guidelines 2015 Update Outline, prepared by Staff.

Meeting History	
Initial Referral at Village Board (COW):	July 28, 2014
Architectural Review Board (Cancelled):	August 19, 2014
Architectural Review Board (Tabled):	September 16, 2014
Architectural Review Board (Tabled):	October 21, 2014
Current Architectural Review Board:	April 21, 2015

LINCOLNSHIRE VILLAGE CENTER DESIGN GUIDELINES
GENERAL PROVISIONS

INTENT

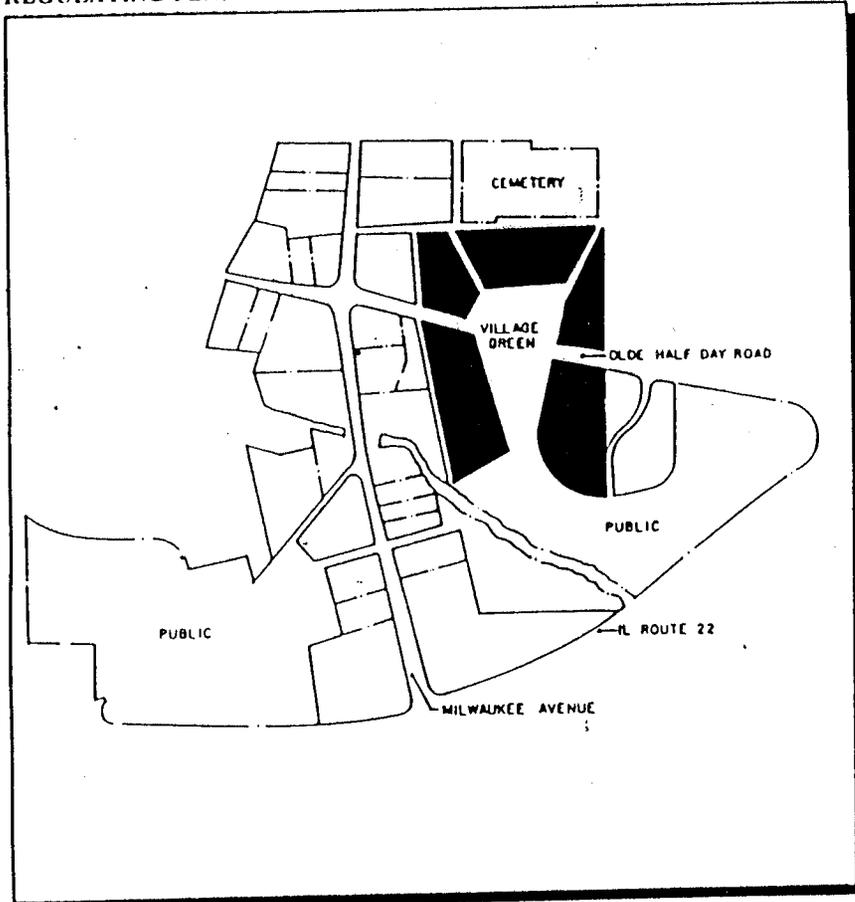
- A. These guidelines represent the aspirations of the Village of Lincolnshire for development of the Half Day area. They are intended as a tool for use by the Village in evaluating proposed development. Likewise, they provide the potential developer with an idea of the type of development desired by the community.
- B. The primary objectives of these guidelines are as follows:
 - 1. Encourage the development of a traditional Village Center for the community of Lincolnshire.
 - 2. Achieve a uniform identity for the Village Center through a consistency in architecture and landscape.
 - 3. Create active public space.
 - 4. Create pedestrian and vehicular networks linking development and public spaces within the Village Center and with surrounding areas.
- C. As implied by the title, these are intended as guidelines and may be modified by the Village to best serve their needs. Additionally, if during the course of using these guidelines it becomes obvious that they are in some way unworkable or present an undue burden to potential developers in the judgement of the Village, then they may be modified accordingly.
- D. The scope of these guidelines encompass the proposed Village Center roughly bounded by the cemetery on the north, the new Village Hall on the east, Illinois Route 22 on the south and the new Library on the west. These parameters may be expanded or contracted as seen fit by the Village.
- E. The scope of these guidelines encompasses some property already developed. Future improvements to these properties shall conform to these guidelines as closely as can be reasonably expected.

GENERAL REQUIREMENTS

- A. These Design Guidelines are comprised of the following:
 - 1. **Urban Guidelines** which describe building placement, height, parking and other issues relating to the definition public space. Urban Guidelines are divided in to three (3) areas:
 - a. **Village Green** for buildings fronting this space.
 - b. **Transitional Village Green/Highway Commercial**, for the buildings near the intersection of Milwaukee Avenue and Olde Half Day Road.
 - c. **Highway Commercial**, primarily for buildings fronting Milwaukee Avenue.
 - 2. **Architectural Guidelines** which describe building forms and materials.
 - 3. **Landscape Guidelines** which describe plant materials and arrangements.
 - 4. Illustrative site plan and building elevation.
- B. Development shall conform to the following diagrams in the **Downtown Redevelopment Implementation Program**:
 - 1. **Land Use**, figure 6.
 - 2. **Open Space**, figure 7.
 - 3. **Pedestrian Network**, figure 8.
 - 4. **Traffic Network**, figure 9.
- C. Development shall conform to the Village of Lincolnshire Zoning Ordinances and Building Codes.
- D. Building service areas shall be located so as not to be seen from major street frontages.

LINCOLNSHIRE URBAN GUIDELINES VILLAGE GREEN

REGULATING PLAN



GENERAL

Development of this area must result in the creation of a public Village Green defined through the placement of buildings on all sides. The Village Green shall have a minimum area of one and a half (1.5) acres; at least one third (1/3) of this area must be located both north and south of Olde Half Day Road.

The main entrance for all buildings shall face onto the Village Green.

BUILDING USE

Retention, Entertainment, Residential, Office

Minimum 75% of first floor in area designated Mixed Use in Land Use diagram, Fig. 6, shall be Retail or Entertainment.

BUILDING PLACEMENT

Buildings shall have a facade facing the Village Green which is at least 70% the length of the property parallel to the Village Green.

Buildings shall be placed on lots within shaded areas.

Setbacks measured from curb at street frontages and from property lines elsewhere.

BUILDING HEIGHT

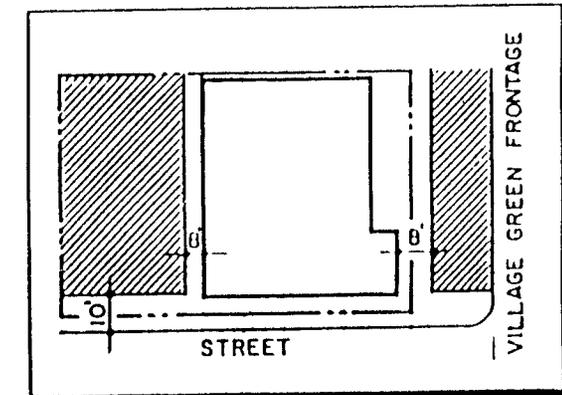
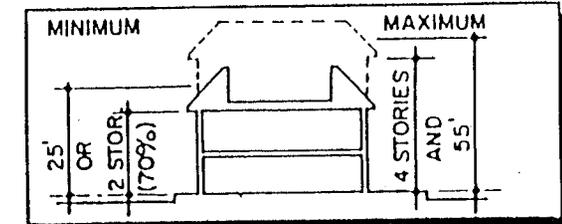
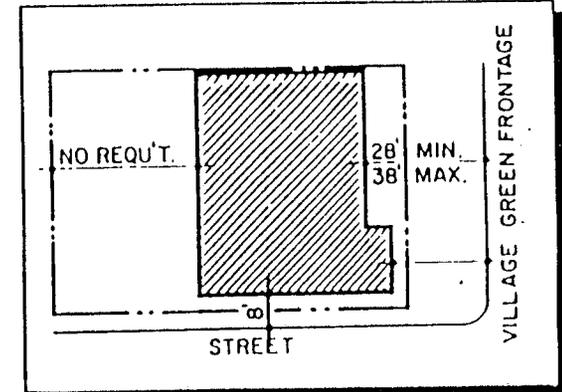
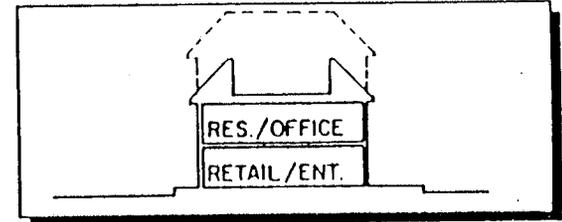
Dimensional heights measured in accordance with Zoning Ordinances; story heights based 13 feet maximum floor to floor.

Measured relative to grade on Village Green side.

PARKING

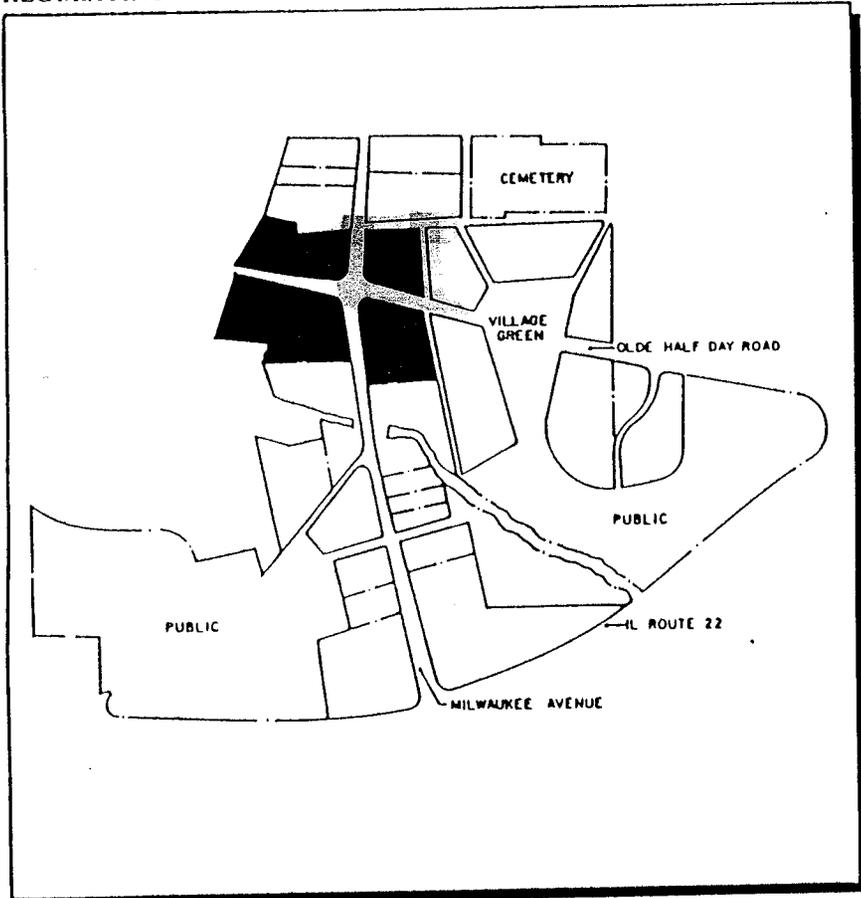
Parking and associated circulation roads shall be located in shaded areas.

Parking and road dimensions per Zoning Ordinances.



**LINCOLNSHIRE VILLAGE CENTER URBAN GUIDELINES
TRANSITIONAL: MILWAUKEE/OLDE HALF DAY CORNER**

REGULATING PLAN



GENERAL

Development of this area is intended as a transition between highway commercial development and the Village Green.

At least one entrance of each building shall face onto either Milwaukee Avenue or Olde Half day Road.

BUILDING USE

Retail, Entertainment, Commercial, Residential or Office uses permitted on all floors.

BUILDING PLACEMENT

Buildings shall be placed on lots within the shaded areas.

Setbacks measured from curb at street frontages and from property lines elsewhere.

BUILDING HEIGHT

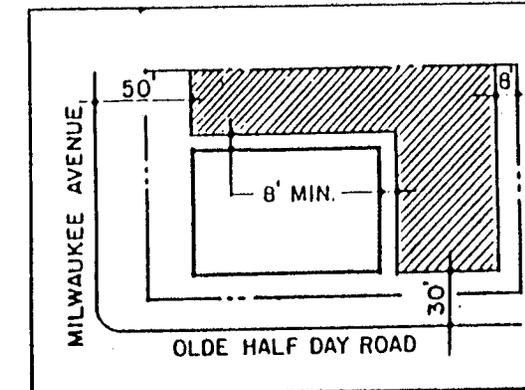
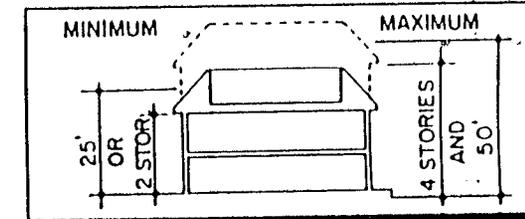
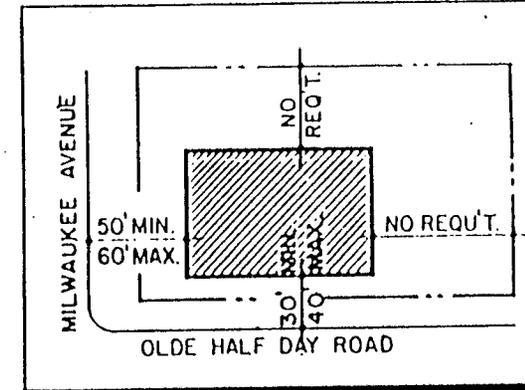
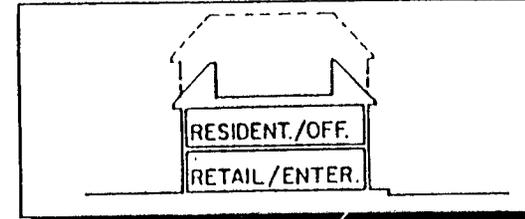
Measured relative to average of grades between major street frontages.

Dimensional heights measured in accordance with Zoning Ordinances; story heights based on 13 feet maximum floor to floor.

PARKING

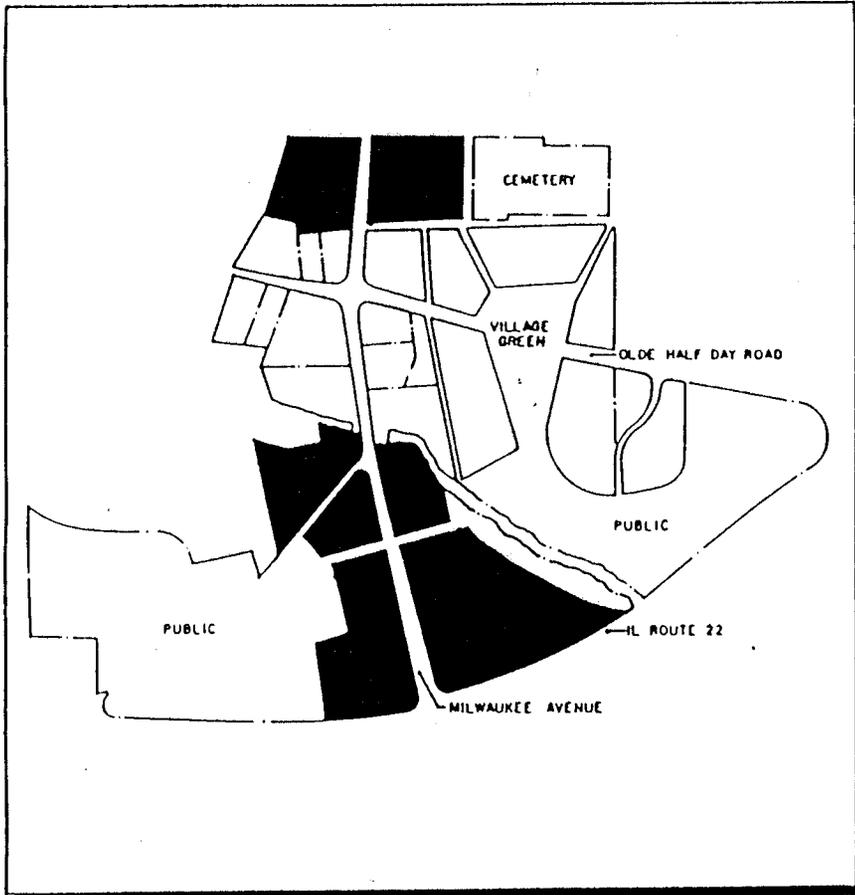
Parking and associated circulation roads shall be located in shaded areas shown.

Parking and road dimensions per Village requirements.



LINCOLNSHIRE VILLAGE CENTER URBAN GUIDELINES HIGHWAY COMMERCIAL

REGULATING PLAN



GENERAL

Development of this area is generally intended to follow the precedents for design guidelines set by the Village in the development of the Amoco and McDonald's at the northwest corner of Milwaukee Avenue and IL Route 22.

The main entrance for all buildings shall face onto Milwaukee Avenue.

BUILDING USE

Retail, Entertainment, Commercial, Office

BUILDING PLACEMENT

Buildings shall be located within shaded areas.

Setbacks shall be measured from the curb line at street frontages and from property lines elsewhere.

BUILDING HEIGHT

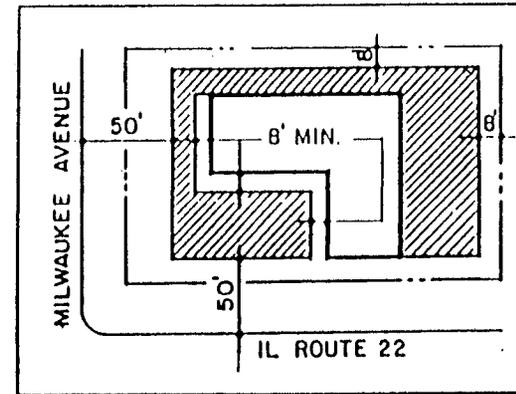
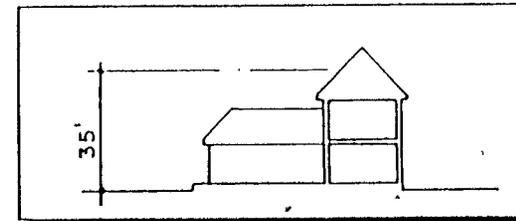
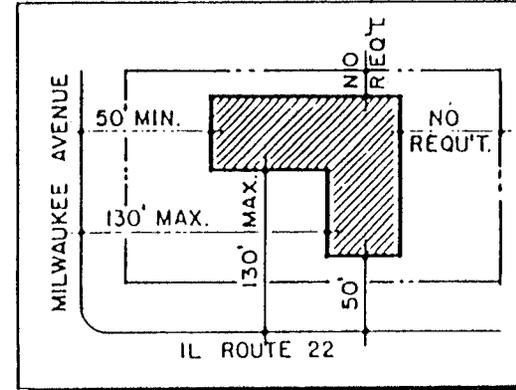
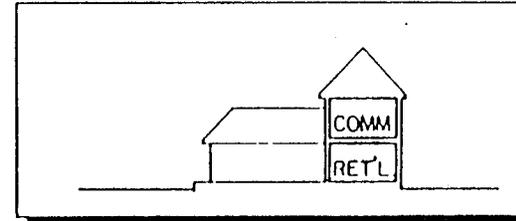
Measured relative to grade on Milwaukee Avenue side.

Dimension heights measured in accordance with Zoning Ordinances; story heights based on 13 feet maximum floor to floor.

PARKING

Parking and associated roads shall be located in shaded areas.

Parking and road dimensions per Village requirements.



**LINCOLNSHIRE VILLAGE CENTER
ARCHITECTURAL GUIDELINES**

MATERIALS

FORMS

WALLS

- Face Brick: standard or modular size
- Wood Shingles
- Stone: cut, cast or squared
- Stucco
- Glass Brick
- Wood Siding
- Wood Trim

- Masonry Coursing: running bond, soldier, rowlock, herringbone
- Wood Shingles above eave line only.
- Wood Siding to be clapboard or shiplap type.
- Wood Trim to finish flush with shingles and siding
- Shingle and Siding Exposure: 3.5" to 6"
- Vary elevations of horizontal datum lines.
- Materials to be used in horizontal bands.

DOORS & WINDOWS

- Wood, Aluminum or Vinyl/Aluminum Clad
- Clear Glazing
- Divided Lights to be true divided type or similar to Pella Architectural Series

- Window proportions to be vertical or square.
- Not more than six (6) windows in series in a single opening.
- Total Glazed Area above the first floor shall not exceed 30% of the facade area.

ROOFS

- Slate or cedar shingles all buildings fronting Village Green; wood or asphalt shingles allowed elsewhere.

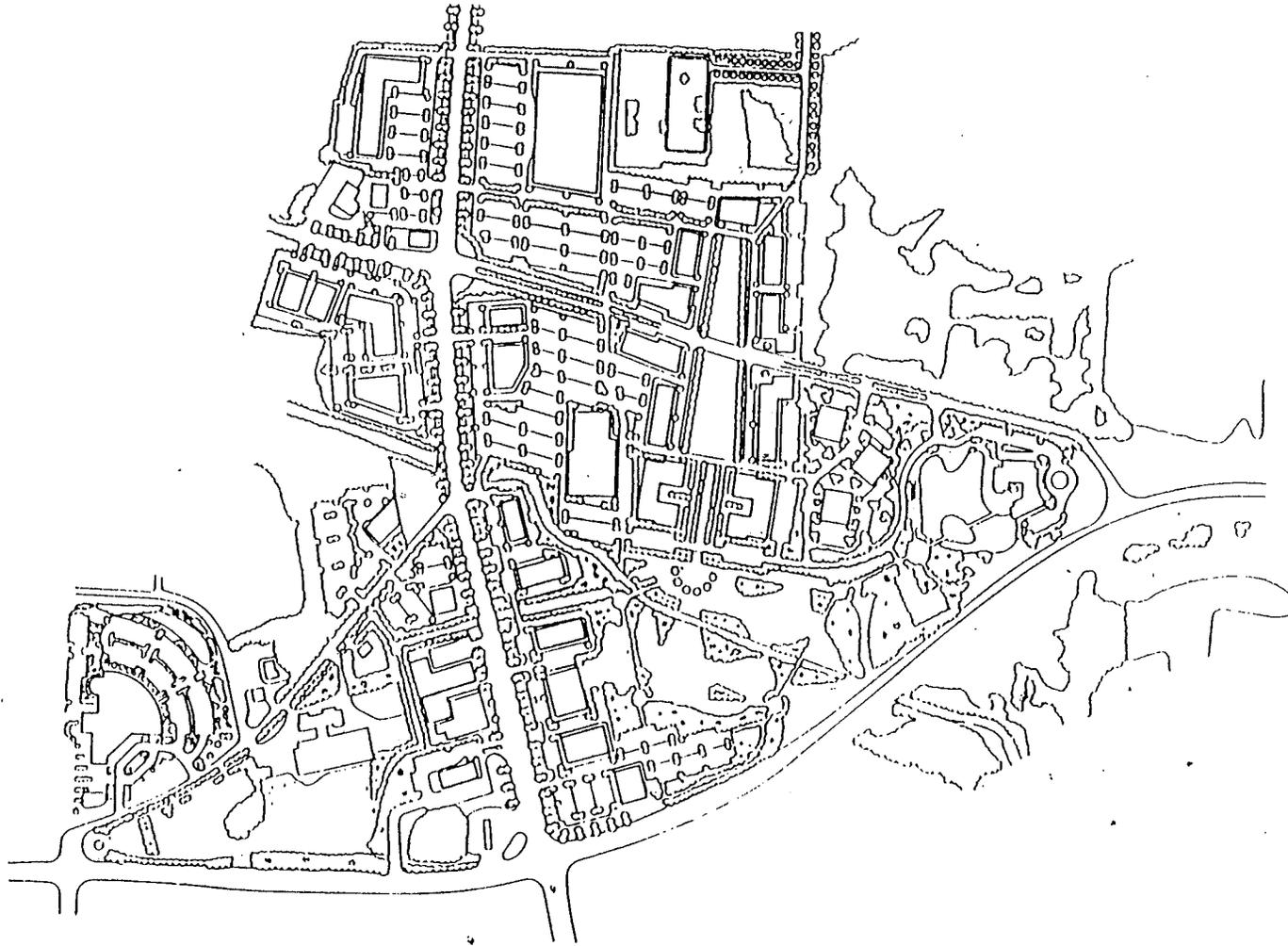
- At least 80% of all visible roof lines shall be pitched
- Roof Pitch, except shed dormers: 9:12 min., 14:12 max.
- Roof Pitch, shed dormers: 4:12 min.
- Pitched Roof Surfaces to be broken by wall surfaces, such as gables, or by dormers at least every 50 ft
- Gables and hips shall be symmetrically pitched.
- Flat Roofs shall be enclosed by a parapet; minimum height per Zoning Ordinance.

OTHER ELEMENTS

- Screen Wall and Chimney materials shall match dominant wall material.
- Visible Mechanical Openings shall be covered with ornamental metal grilles.
- Handrails shall be of metal; no members larger than 2" square.

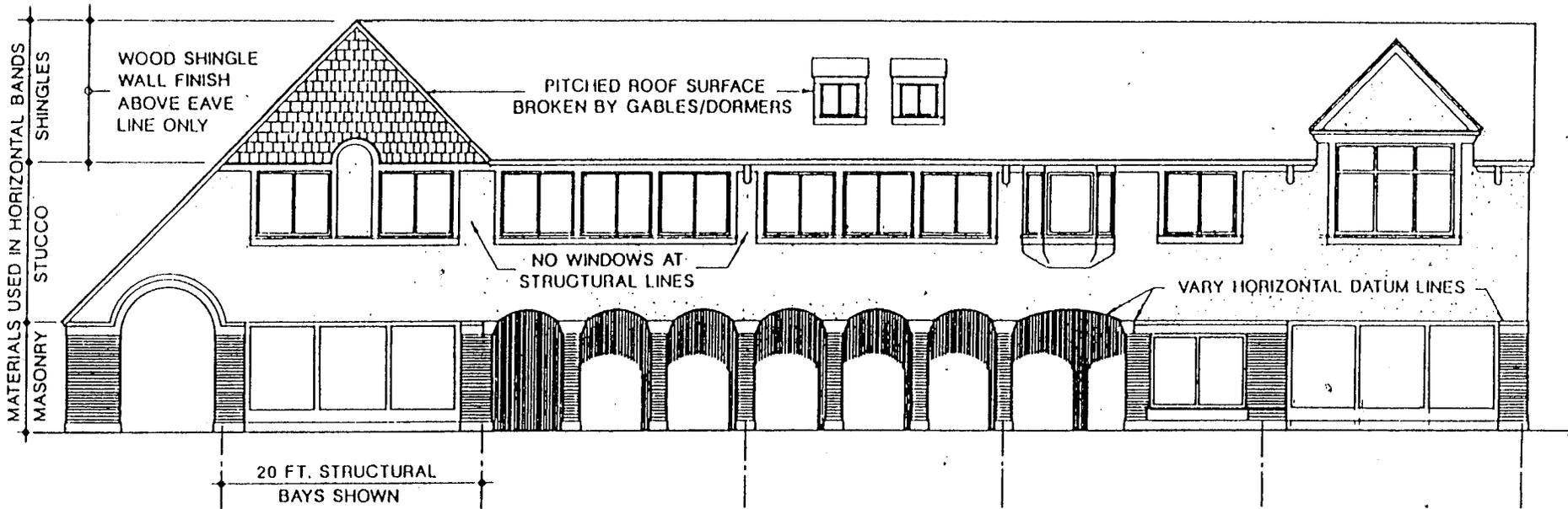
- Arches shall be no less than 12" deep.
- Piers shall have a minimum dimension of 12".
- Bays shall project no more than 3 feet from wall

LINCOLNSHIRE VILLAGE CENTER
ILLUSTRATIVE SITE PLAN



This site plan is intended as an illustration only of one possible plan for the Village Center.

LINCOLNSHIRE VILLAGE CENTER
ILLUSTRATIVE ELEVATION



This elevation is intended as an illustration only of some of the architectural guidelines.

DRAFT

1 A. Purpose of Design Guidelines

INSERT FINAL NARRATIVE

Primary Objectives of Guidelines:

1. Further the vision of the Update 2012 Comprehensive Plan by providing design & aesthetic standards for commercial, mixed-use & office development within the Village's commercial corridor.
2. Create a contextual relationship with the existing Village character, while avoiding repetitive & uninteresting built environments.
3. Establish reasonable expectations regarding architecture & landscape design to strengthen the Village's economic tax base.
4. Create safe & efficient pedestrian & vehicular networks linking development & public spaces along the Village's commercial corridors.



Lincolnshire Commons Retail Development

1 C. Desired Character & Development Pattern

DRAFT

INSERT FINAL NARRATIVE

Lincolnshire Corridor Map



Lincolnshire Downtown Area Map

2 B. Architectural Style

3. Buildings should incorporate a three-component façade design, including:
 - 1) Base element, through materials and design,
 - 2) A main building field, and
 - 3) Varied roofline.

The mother art is architecture. Without an architecture of our own we have no soul of our own civilization.

Frank Lloyd Wright



3 Varied Roofline

2 Main Building Field

1 Base Element

DESIGN GUIDELINES 2014

Outline V.4

CHAPTER 1

A. Purpose of Design Guidelines

- Since incorporation in 1957, the Village of Lincolnshire has established itself as a community that emphasizes the importance of the built environment through distinctive site design, high-quality architecture, and preservation of the natural environment. This mindset is evident in the original custom-built single-family homes of the Ladd's Lincolnshire Subdivision and continues through every new development proposal requested in Lincolnshire.
- The purpose of these Guidelines is to represent the design objectives of the Village for non-residential development along Milwaukee Avenue and Half Day Road, the main commercial corridors within Lincolnshire. These two corridors serve as the main thoroughfares throughout the community and are travelled by numerous residents and visitors on a daily basis. As a result, the visual character of the Lincolnshire's built environment is "front and center" and sets the tone of the community's identity. While high-level development design is a goal throughout the entire community, these highly-visible corridors are the focus of the Design Guidelines and should exemplify the best in quality design and character.
- In addition to the above plan area, the Downtown Sub-Area focuses on the "downtown" area of Lincolnshire. The purpose of the sub-area is to establish common design themes based on current development to incorporate into any new construction and redevelopment of existing properties.
- The Design Guidelines are intended as a tool for use by the Village in evaluating proposed developments and may also be used in the expansion of existing buildings. These guidelines are aimed to convey the main elements of quality site and building design, and should not inhibit architectural creativity or impede the implementation of best practices.
- The primary objectives of these Guidelines are as follows:
 - i. Further the vision of the Update 2012 Comprehensive Plan by providing design and aesthetic standards for commercial, mixed-use and office development within the Village's commercial corridor.
 - ii. Create a contextual relationship with the existing Village character, while avoiding/without creating repetitive and uninteresting environments.
 - iii. Establish reasonable expectations regarding architecture and landscape quality to strengthen the Village's economic tax base.
 - iv. Create safe and efficient pedestrian and vehicular networks linking development and public spaces along the Village's commercial corridors.

B. Village of Lincolnshire Character

- Having been established in 1957, through the original "Ladd's" Lincolnshire subdivision, the Village's architectural style is indicative of the post-War era. Although the Village isn't defined by one dominant style, Postmodern influences, mixed with regional Prairie style elements, combined with Traditional themes are characteristic of Lincolnshire.

- The Village’s commercial buildings are strongly influenced by the use of high-quality materials such as brick, stone, limestone, and cedar shake roof shingles. Building detailing plays a contributing role in enhancing the aesthetic character and is as fundamental as the building’s design or use of materials.
- The manner in which commercial buildings are landscaped reflects strongly on the Village’s image and commitment to the natural environment. As a result, the landscaping expectations for commercial developments is to achieve and maintain sustainable and functional landscapes, which emphasize the use of plants native to this area and to provide vegetation color and interest throughout the entire year.
- Application/Use of Guidelines
 - Staff, ARB, MBOT, Developers
 - These Guidelines are to be used by Village Staff, the Architectural Review Board and Village Board of Trustees as a reference in reviewing plans and development proposals for new construction and redevelopment of the Village’s commercial corridor.
 - These Guidelines are also to serve developers, architects, land owners, business owners, etc. as a reference guide of the high quality development sought by the Village of Lincolnshire.

C. Desired Character & Development Pattern

- The highly traveled regional roadways of Milwaukee Avenue and Half Day Road (IL Route 22) provide Lincolnshire with the opportunity to reinforce its commitment to quality architecture and design. Construction should be complimentary to the established architectural character, but careful to establish a unique identity and place within Lincolnshire.
- Development should consist of exceptional design and quality building materials reflective of the Village’s built environment. Where appropriate, the use of quality building materials on every building façade should be accomplished.
- Development must also enhance Lincolnshire’s economic vitality beyond the sole inspiration of aesthetics. The Village of Lincolnshire’s expectation must be realistic to the economic climate and the effects of a business’s operation. Design and aesthetic recommendations/requirements should not serve as obstructions or without due consideration to the economic impacts on the developer/operator, rather to achieve a balance of quality architecture appropriate for Lincolnshire and attainable to the developer.

CHAPTER 2 DESIGN GUIDELINES

A. Placement & Orientation:

1. Buildings should be oriented towards the street frontage to establish a vibrant street presence. Based on the adjacent buildings/properties, it may be appropriate to position buildings with minimal front setbacks to maintain the existing development pattern. Off-street parking areas do not need to be located entirely behind buildings and hidden from public/street view, rather be distributed to the side and rear of buildings. Positioning entire parking fields in front of a building should be avoided.
2. Buildings on corner lots should be positioned appropriately to take advantage of the double street frontage and establish a prominent focal point, both in

- building location and architectural features at the corner. Thoughtful site design to locate main parking fields away from the intersection should be conducted.
3. Vehicle drive-thru facilities, including service windows and access lanes, should be positioned to minimize the visual impact from the street frontage to the greatest extent possible. Creative site design techniques, such as detached drive-thru facilities or integration of the drive-thru facility into the site/building design to conceal the facility may be appropriate.
 4. Parking areas should be designed to provide safe and logical navigation throughout the parking areas. When possible, sidewalk connectors from the parking lot to the building pad should be provided to minimize pedestrians having to walk within the vehicle drive aisles. Vehicular ingress and egress to a site should focus on maximizing vehicle stacking opportunities so there is minimal impact on internal circulation and parking.
 5. Parking spaces immediately adjacent to a building should be separated with adequate foundation landscape planting areas to establish a refined transition between parking areas and the building. For parking spaces fronting a curb line, the parking space length can be shortened by 2 feet where a vehicle overhang can be provided. Parking spaces where vehicle overhang is adjacent to a sidewalk, the sidewalk width should be increased to 7 feet to provide sufficient/unobstructed pedestrian access.

B. Architectural style:

- The architectural tone of Lincolnshire's commercial area is generally classified as traditional, where Postmodern design of reference and ornament are emphasized on the façade is the most commonly implemented architectural style in the Village. Commercial settings have recently expanded the architecture pallet to include Prairie School design elements, colors and materials. New construction should be mindful of the existing architectural context, but must establish its own unique identity and place within Lincolnshire to avoid producing undistinguishable environments.
1. One-story commercial buildings should have their height accentuated through varied roof heights or architectural tower elements to provide presence.
 2. Tower elements are encouraged and should be incorporated into the building design, where appropriate. Roof and building façade materials for such elements can incorporate distinctive materials separate from the main building field, but should be complementary to the overall building design and scale.
 3. Buildings should incorporate a three-component façade design, including 1) base element, through materials and design, 2) a main building field, and 3) varied roofline.

C. Building materials:

- Beyond architectural style, a key element of a building's identity is the application of quality exterior materials. A variety of materials, such as stone, brick, granite, steel, wood, etc, is encouraged to create an enduring appearance.
 1. Synthetic materials such as Exterior Insulation and Finishing Systems (EIFS) and Dryvit® should not be used as the principal building material, but can be an acceptable application for secondary accent elements and features. However, materials such as cement fiber siding ("hardiboard") and composite roofing shingles that give the impression of natural materials can be an acceptable substitute for primary exterior building materials.

2. Exterior materials that are coordinated with adjacent buildings establish a harmonized character. However, repetitive use of like materials and colors can create a monotonous environment which could lead to a lack of identity amongst developments/buildings.
3. Rooftop equipment screens, rain gutters, downspouts, exhaust vent/screens, and similar ancillary components should coordinate with the building colors to appear as unobtrusive as possible.

D. Façades:

1. To achieve a strong architectural setting, it is essential building facades be well articulated, with special attention to street-facing facades. Multiple building façades visible from the public way, parking lots, etc. must also display equal attention to detail and design as the primary façade, in which the material palette should be carried through on all visible façades of the building.
2. Building façades should feature articulation to avoid flat, nondescript façades.
3. Architectural detailing and ornamentation (e.g., windows, cornices, lintels, medallions, columns, etc.) are encouraged to provide visual interest.
4. Blank walls facing public ways are discouraged and should incorporate architectural detailing and ornamentation even if not a customer entry. False storefronts or other detailing that gives the impression of an active elevation should be utilized.

E. Roofs:

1. Roof styles need to be compatible with the building's architectural design character.
2. Roof design elements (e.g., dormers, "eyelids", etc.) are encouraged to break up long roofs sections. However, use of such elements should be implemented consciously so that elements do not appear forced.
3. Roofs should be designed to permit rooftop-mounted mechanical equipment to be placed within a well or behind parapet walls to be screened from surrounding properties.
4. Roof materials should consist of slate shingles, architectural-grade asphalt shingles, or synthetic shingles which give the appearance of slate or cedar or natural materials. Cedar shake roofing shingles are also acceptable; however, the long term maintenance and associated costs may not outweigh the visual appeal of such material. Roof materials for tower elements can incorporate distinctive materials separate from the main roof, such as standing seam metal, but should be complementary to the overall roof design.
5. Roof heights should be varied, where appropriate

F. Awnings & canopies:

1. Awnings and canopies should be an integral architectural feature of the building design, tailored to the façade of the building and positioned so that distinctive architectural features remain visible.
2. Materials should consist of incombustible, non-reflective canvas or canvas-like material. Metal awnings and canopies can be appropriate based on compatibility with the specific building architectural style.

3. Colors and patterns of awnings need not match the overall color scheme of the building to which they are attached, but should complement the building design.

G. Service & Site Amenities:

1. Site lighting should reflect the architectural tone of the development and maintain a compatible style/design throughout. Building illumination should extend beyond aesthetics and serve a functional purpose for safety. Architectural building elements and ornamentation can be highlighted through the use of thematic lighting, but should be carried out tastefully.
2. Beyond building and parking lot lighting, pedestrian-oriented lighting fixtures and bollard lighting should be included in the site development.
3. Site amenities such as flower baskets, sculptures, water fountains, children's play areas, etc., are encouraged to introduce a sense of place and character to developments.
4. Site furniture (e.g., benches, trash containers, drinking fountains, bike racks/stations, etc.) locations need to be strategically positioned to be functional. Materials should be weather-resistant to reduce wear and tear.
5. Trash enclosures and service areas need to be concealed with a solid enclosure constructed of consistent building materials and colors to blend with the surroundings. For those portions of the enclosure which are open to public view, landscaping to soften the visual effect of enclosures and service areas is necessary.
6. Every effort should be taken to locate service areas in the rear of the site's layout and limit visibility from the street frontages.

H. Landscaping:

1. Landscaping should be comprehensive to serve the individual building/site and also complement the surrounding landscape character. Although it is routine practice to encourage dense landscaping and tree clusters along the street frontage to visually obscure commercial buildings, site landscaping should be implemented to contribute in creating a sense of place, not as a visual blocking tool.
2. Non-linear arrangement of landscape beds is preferred and should contain a variety of landscape species to present a diverse palate of height, color and texture. Plantings should also be selected to take advantage of the region's seasonal schedule to provide a range of color and texture throughout the year.
3. To the greatest extent possible, native plantings should be incorporated into the landscape design.
4. A soldier-course of landscape materials should generally be avoided.
5. Screening of equipment should be accomplished through plantings that work into the natural rhythm of the landscape design, rather than introducing an evergreen soldier-course of material not present elsewhere on the site.
6. Stormwater detention basins often occupy a significant amount of open space and can be located in high-profile areas of a site. It is important detention areas are visually appealing and should be designed in a non-uniform shape. Expanses of linear shoreline should be reduced in favor of a gradually undulating perimeter, creating a more natural appearance, rather than engineered. The shorelines should be properly sloped to prevent erosion and facilitate native plantings.

- If providing a large un-structured naturalized planting area, insure a minimum 5' wide mowed lawn border between native landscaped area and any curbline