



AGENDA
REGULAR ARCHITECTURAL REVIEW BOARD MEETING
Public Meeting Room, Village Hall
Wednesday, September 16, 2015
7:00 p.m.

Reasonable accommodations or auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need any special services or accommodations.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Architectural Review Board Meeting held on Tuesday, April 21, 2015.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Continued Consideration and Discussion regarding concepts and objectives for the Update to the Lincolnshire Design Guidelines (Village of Lincolnshire).

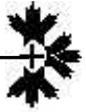
4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

6.0 CITIZEN COMMENTS

7.0 ADJOURNMENT

The Architectural Review Board will not proceed past 10:30 p.m. unless a motion is made and approved by a majority of the Architectural Review Board members to extend the meeting one-half hour to 11:00 p.m. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Architectural Review Board Meeting.



UNAPPROVED Minutes of the **ARCHITECTURAL REVIEW BOARD** held on Tuesday, April 21, 2015, in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chairman Grover, Members Gulatee, Hardnock, and Kennerley

ABSENT: Tom McDonough, Trustee

ALSO PRESENT: Stephen Robles, Village Planner

CALL TO ORDER: Chairman Grover called the meeting to order at 7:02 p.m.

1.0 ROLL CALL

The roll was called by Village Planner Robles and **Chairman Grover** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Architectural Review Board held Tuesday, March 17, 2015.

Member Gulatee moved and **Member Hardnock** seconded the motion to approve the minutes of the regular meeting of the Architectural Review Board held on March 17, 2015, as presented. The motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS:

3.1 CONTINUED Consideration and Discussion regarding text amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Village Code to revise and update the Village's landscaping requirements (Village of Lincolnshire).

Village Planner Robles presented Staff's memorandum and explained the Village's Landscaping requirements of Chapter 2, Title 13, were introduced to the ARB at the September 16, 2014 meeting. He continued that the objective was to review the current landscaping requirements to balance the Village's aesthetic expectations with commercial developments' desire for openness and visibility and to align the regulations with current practices. The following was a summary of the previous items discussed and the resulting code revisions, as well as newly proposed revisions based on further Staff review.

Village Planner Robles presented the first item of the memorandum of opening Purpose Section. He explained traditionally, zoning regulations begin with a purpose statement to identify the objectives of the given code regulations, which were absent from the current Code. While the Landscaping Code is not part of the Zoning Title of the Village Code, a purpose statement should be provided. Staff previously proposed six statements from review of comparable community's codes. However, the ARB felt the statements should focus on the positives of landscaping,



contain less legal terminology, and include the desire for year-round landscaping. He presented the revised purpose statements as follows:

- A. Promote and maintain the high quality visual appearance and environmental benefits throughout the year through landscaping and preservation of native vegetation.
- B. Encourage and promote the implementation of best management practices to minimize erosion and stormwater runoff in a manner which provides functionality and visual appeal.
- C. Enhance the visual and environmental impacts of the Village's built environment through the utilization of attentive landscape design.

Member Kennerley expressed Statement C read too vague and recommended revising to be more specific to purpose of the statement.

Village Planner Robles proceeded with the second item regarding a new addition to the Code, Replacement Requirements Section, which was added as Staff noticed an increase in requests for entire landscaping replacements on non-residential property. He explained that since most properties had an approved landscape plan, holistic changes were not permitted without approval by the ARB. The existing code only permits replacements of 20% or more due to region wide infestation or disease. Staff believed the Code should not discourage a property owner from reinvesting in the property through landscape improvements. Therefore, Staff proposed the following requirements for landscape replacements, which would no longer require ARB review:

- a. Replacement plantings shall be not less than the size specified on the approved landscape plan. If no approved landscape plan is available, single stem trees shall be not less than 2.5" DBH, clump and evergreen varieties shall be not less than 8 feet in height.
- b. Evergreen trees shall be replaced with evergreen trees and deciduous trees shall be replaced with deciduous trees.
- c. The replacement plan may be implemented over a period of time not to exceed three (3) years.
- d. Any tree which existed on the property prior to development and has been preserved, as determined by the Village, may be removed subject to Section 13-1-3(D) and 13-1-3(K) of this Title, except any tree which is dead or irreversibly declining due to natural circumstances does not require replacement.
- e. If the plantings to be removed are considered to be a hazard to life and/or property, the specific plantings shall be flagged and verbal authorization by the Village Arborist for removal may be granted, which shall be conditioned upon the submittal of a Tree Removal Permit and Landscape Replacement Plan identified in 13-2-3(B)(1) within thirty (30) days of the authorization for removal.



Member Kennerley questioned if the newly created replacement requirements permitted the removal of landscaping and trees without replacement. **Village Planner Robles** explained tree removal without replacements would only be permitted if the tree existed on the property prior to development and had been preserved. Otherwise, a tree that is removed from a non-residential property would require replacing even if it declined due to disease, which Staff would encourage replacement with a different species.

Village Planner Robles continued presenting the proposed revisions to the Landscape Screening Section. He explained the section included regulations requiring a landscape barrier to certain unattractive or monotonous elements of a site plan, such as building walls, mechanical equipment, and parking lots. The problem, he identified, was that many of the existing requirements did not account for customer areas that retailers rely on for increased traffic, such as building signage, parking areas, storefronts, etc. The proposed revisions would clarify that those portions of building that do not contain a primary architectural element must be screened. Since ground-mounted equipment screening requirements were outlined in the Zoning Code, a cross-reference had been added. He further explained that parking lot screening had been significantly revised by establishing two categories; 1) residential zoning districts, and 2) non-residential zoning districts, with regulations appropriate for each type of parking lot. Landscaping for parking lot islands had also been expanded to reflect current Village objectives.

Village Planner Robles moved onto Single-Family Residential Requirements Section and noted the section had been renamed to make clear it applies to single-family residentially zoned property. Additionally, the Section had been moved out of the General Landscape Requirements Section since it contains specific regulations, which was better suited to be an independent Section. He noted that the ARB previously agreed that very basic and minimal plantings for single-family residential lots only applicable to new home construction should be included. **Village Planner Robles** presented a chart that outlined the minimum tree planting requirements of based on the front, side and rear yards of a residential lot. **Member Kennerley** questioned if the planting requirements would apply to an existing residence constructing an addition or recladding the façade of the home. **Village Planner Robles** clarified that such requirement would not apply in that situation. The intent was to only apply to new home construction to prevent a builder and/or developer from constructing a home and not provide a minimum number of trees. **Village Planner Robles** acknowledge this situation would be rare given the significant woodland areas of the Village; however, there were unincorporated areas that could eventually be developed residential that did not contain significant wooded areas. **Member Hardnock** expressed concern the proposed planting requirement would allow a resident to clear cut their existing trees and only leave four trees on the lot. **Village Planner Robles** noted that Chapter 1 of the Landscaping Code contained specific regulations for tree removal and replacement, which would not be altered by the text amendments proposed. **Chairman Grover** questioned if existing single-family lots should also be subject to the proposed planting requirements, and if so, how could the Village ensure the lot achieved compliance, such as placing a hold on the real estate transfer stamps. **Village Planner Robles** responded that holding the transfer of real estate stamps for a landscaping matter would be rather extreme



and believed that was not Staff's intent of the proposed revisions. **Chairman Grover** expressed concern that some residential side yards are small and may not sufficiently sized for a tree, and questioned if there should be flexibility to allow the planting of trees in the side yard or front yard. **Member Kennerley** concurred and recommended the tree requirement of the front, side and corner side yards be combined, provided at least one tree is located in the front yard. **Chairman Grover** questioned if trees within a dedicated conservation area could be used to achieve the minimum tree requirement. **Village Planner Robles** agreed with **Chairman Grover's** concern and identified that conservation areas would not be permitted to achieve compliance.

Village Planner Robles proceeded with his presentation and noted a separate Section on Subdivision landscape requirements had been relocated into the Single-Family Residential Requirement Section since the regulations primarily pertained to parkway plantings and maintenance, and now included procedures and requirements following current practices for single-family subdivisions.

The Landscape Improvement Deposit Section was the next section identified by **Village Planner Robles** and noted the deposit requirements of the section were identical to requirements of the Subdivision Code, Title 7, and had been relocated for consistency.

Village Planner Robles moved onto the All Other Property Requirements Section, which was the location of commercial landscaping requirements. Included in the requirements was a tree distribution chart, which required a variety of trees totaling 34 trees per acre. A previously presented, Staff analyzed two commercial properties to determine if the existing tree planting requirements remained viable. In both samples, neither site achieved code compliancy, but the number of trees were more than abundant for each sample site. Based on the study, Staff questioned if the minimum tree quantities should be reduced to create better visual lines of sight to commercial properties. The minimum number of trees to be planted was proposed to be reduced to 30 trees per acre and the balance of tree variety had also been revised. **Village Planner Robles** pointed out that the number of deciduous shade trees were proposed to be reduced, which the environment of Northern Illinois had more of that type of tree, naturally, than the other two types. **Member Kennerley** felt the proposed tree distribution was acceptable. The remainder of the ARB concurred.

Village Planner Robles continued with the Public Right-of-Ways Requirements Section and explained the regulations for right-of-way plantings were relatively straight-forward and only minor updating occurred, along with the inclusion of approved parkway tree species chart that was formerly located in Appendix IV.

Village Planner Robles presented the next section of Landscape Requirements for Stormwater Facilities and noted the section was to insure detention facilities were designed, constructed, and maintained in a manner that provided functionality as well as visual appeal. As a result, the detailed regulations required substantial knowledge in the installation, monitoring and maintenance of native vegetation suitable for stormwater facilities, which specific personnel with such expertise was



no longer part of the Village administrative structure. The section had undergone substantial restructuring to remove Village required review and authorization in favor of a qualified environmental consultant to continue achieving the highest level of stormwater runoff reduction through the use of native vegetation.

Village Planner Robles concluded that many of the appendices had been incorporated into the text for continuity and was seeking a recommendation from the ARB.

There being no further discussion, **Chairman Grover** sought a motion.

Member Hardnock moved and **Member Kennerley** seconded a motion to recommend approval to the Village Board of text amendments to Chapter 2 of Title 13, Landscaping, of the Lincolnshire Code to revise and update the Village's landscaping requirements, further subject to:

1. Revise purpose statement "C" (Sec. 13-2-1) to clarify the intended purpose.
2. Revise the minimum number of trees required for new single-family residential lots (13-2-5(A)) to combine the planting requirements of the front, side, and rear yards, with at least one tree required in the front yard.

The motion passed unanimously by voice vote.

3.2 Consideration and Discussion regarding concepts and objectives for the Update to the Lincolnshire Design Guidelines (Village of Lincolnshire).

Village Planner Robles presented Staff's memorandum and noted the current Urban Design Guidelines were established in the early 1990's, through the services of external consultants, and had not been updated in over 20 years. The objective of this update was to modernize the Guidelines to identify and illustrate the desired visual character for Lincolnshire's built environment. He continued, the original intent of the Guidelines focused solely on the Village Center referred to as the "Half Day Area". Staff now proposed to expand the area to properties along Route 22, Milwaukee Avenue and Aptakisic Road, as such properties were the most visible areas of the Village. Additionally, Staff believed a more defined character in the "Downtown" area should continue to apply, but at a more basic level to establish common design themes, rather than specific building architecture. **Village Planner Robles** continued and identified that with the update, the objectives were also to be revised based on the expanded focus areas.

Village Planner Robles explained a key element missing from the current Guidelines was the identification of Lincolnshire's character, which establishes the expectations of the Village and aims to avoid repetition and oversaturation of similar building designs. Staff believed the Village's commercial architectural style generally fit into three design styles; 1) traditional, 2) postmodern, and 3) prairie school. The current Guidelines described building use, placement, height, parking, etc. in a very specific manner, which can limit design creativity and lead to monotonous developments. The proposed updates would aim to convey the main elements of desired site and building design, without inhibiting architectural



creativity or impeding the implementation of best practices. The “Downtown” area would continue to have a special focus on development character. However, rather than outlining specific design standards, Staff proposed to identify common design elements & themes that characterize the Downtown area.

Village Planner Robles moved onto architectural style noting the current document addressed only the architectural style within the Village Green center. The update would illustrate the variety of architectural design and concepts appropriate for the expanded focus area. Beyond architectural style, building materials were also a key element to design. The identification of building materials would be expanded to include new synthetic materials, such as “hardiboard” and composite roofing shingles. At the same time, Staff would also reinforce that EIFS materials be limited to secondary accent materials. New Elements such as site furniture and lighting, service areas, building façades, roofs, and awnings/canopies would be introduced into the updated Guidelines as each element plays a key role in the overall character of a building/development.

Member Gulatee expressed that if the Village simply wanted to determine design characteristics, material, aesthetics, etc., such would be easy to do. However, placement of buildings and connectivity of properties and uses is important. He continued, the bigger question is “what does the Village want to be”? **Member Kennerley** concurred and questioned what the vision is for the Village regarding the Design Guidelines, and further, how to visualize that for further discussion. **Member Hardnock** expressed the need for a context of how the Village wants to progress along the identified roadways in order to relate the Guidelines to that goal.

It was the consensus of the ARB to continue this item for Staff to return based on the direction provided.

- 4.0 UNFINISHED BUSINESS (None)
- 5.0 NEW BUSINESS
- 6.0 CITIZENS COMMENTS (None)
- 7.0 ADJOURNMENT

There being no further business, **Chairman Grover** adjourned the meeting at 9:00 p.m.

Minutes submitted by Stephen Robles, Village Planner.

**REQUEST FOR BOARD ACTION
Architectural Review Board
September 16, 2015**

Subject:	Lincolnshire Design Guidelines Update
Action Requested:	Continued discussion of concepts and objectives to the Lincolnshire Design Guidelines.
Originated By/Contact:	Stephen Robles, AICP - Village Planner Department of Community & Economic Development
Referred To:	Architectural Review Board

Background:

- The existing Design Guidelines and the outline for the proposed updates were introduced to the ARB at the April 21st meeting.
- Since the existing guidelines were established in the early 1990's, through the services of external consultants, and have not been updated in over 20 years, the objective is to modernize the Guidelines and establish the desired visual character for new construction and redevelopment.
- At the April 21, 2015 meeting, the ARB expressed the following items requiring further analysis:
 1. Building placement related to the lot and how it aligns with the Village's goals of development.
 2. Encourage connectivity between developments.
 3. Understanding of the Village's vision for the areas contained in the Guidelines.

Summary:

Following is Staff's summary and responses to the above ARB items:

- **Item 1: Building Placement:**

Staff's aim of the Design Guidelines updates is to identify design and aesthetic standards for non-residential development within the Village's commercial corridors (see attached map) by establishing reasonable expectations of architecture and landscape design. The ARB expressed the need to also address suitable building placement on a lot to realize the Village's goals of future land development.

Building placement and orientation is a key element of site design and is equally important as building architecture. The existing "Village Center Urban Guidelines" specify building placement, including minimum and maximum building setbacks for each area of the guidelines (see attached Guidelines). Such detailed locational requirements have not been followed and significantly limit design flexibility of building placement based on use and physical site conditions.

Rather than defining specific building placement within the Guidelines, a more appropriate approach would be to identify desired building orientation, such as fronting the street and encouraging off-street parking facilities within the rear of buildings. Staff seeks the ARB's direction whether basic building locations is preferred, rather than exact building locations.

- **Item 2 – Encouraging Connectivity:**

The ARB expressed the need to foster connectivity to promote pedestrian access to retail and services, and decrease traffic congestion. Further, connectivity between adjacent commercial properties/developments should be encouraged to aid in traffic circulation and provide easy access to adjoining commercial developments, as recommended by the Update 2012 Comprehensive Plan.

A primary objective of the Guidelines is to create safe and efficient pedestrian and vehicular networks for developments to reduce traffic demands on local roads and link developments with public spaces.

Following is a summary of the objectives of the Guidelines:

- i. Further the vision of the Update 2012 Comprehensive Plan by providing design and aesthetic standards for commercial, mixed-use and office development within the Village’s commercial corridor.***
- ii. Create a contextual relationship with the existing Village character, while avoiding repetitive and uninteresting environments.***
- iii. Establish reasonable expectations regarding architecture and landscape design balancing quality with the economic realities of site development.***
- iv. Create safe and efficient pedestrian and vehicular networks linking developments and public spaces along the Village’s commercial corridors.***

- **Item 3 – Understanding Village’s Vision for Areas in the Guidelines:**

Community visioning is a common exercise within urban planning for developing consensus about what future the community desires and deciding actions necessary to achieve it. The goal of the Guidelines is to represent design objectives for non-residential development along major thoroughfares, aimed to convey the main elements of quality site and building design to not inhibit architectural creativity or impede the implementation of best practices.

Since the Guidelines are intended to serve as guides and encourage architectural flexibility rather than specific requirements for commercial development, Staff believes this can be accomplished without an extensive visioning exercise.

Recommended Action:

Input and direction from the Architectural Review Board on the proposed outline for updates to Lincolnshire Design Guidelines. Staff recommends returning with a completed Design Guideline document, incorporating ARB comments, for consideration.

Reports and Documents Attached:

- [Current Lincolnshire Urban Design Guidelines.](#)
- [Design Guidelines 2015 Update Outline, prepared by Staff.](#)
- [Staff memorandum of the April 21, 2015 ARB meeting.](#)

Meeting History	
Initial Referral at Village Board (COW):	July 28, 2014
Architectural Review Board (Cancelled):	August 19, 2014
Architectural Review Board (Tabled):	September 16, 2014
Architectural Review Board (Tabled):	October 21, 2014
Architectural Review Board:	April 21, 2015
Architectural Review Board (Cancelled):	August 18, 2015

Current Architectural Review Board:

September 16, 2015

LINCOLNSHIRE VILLAGE CENTER DESIGN GUIDELINES
GENERAL PROVISIONS

INTENT

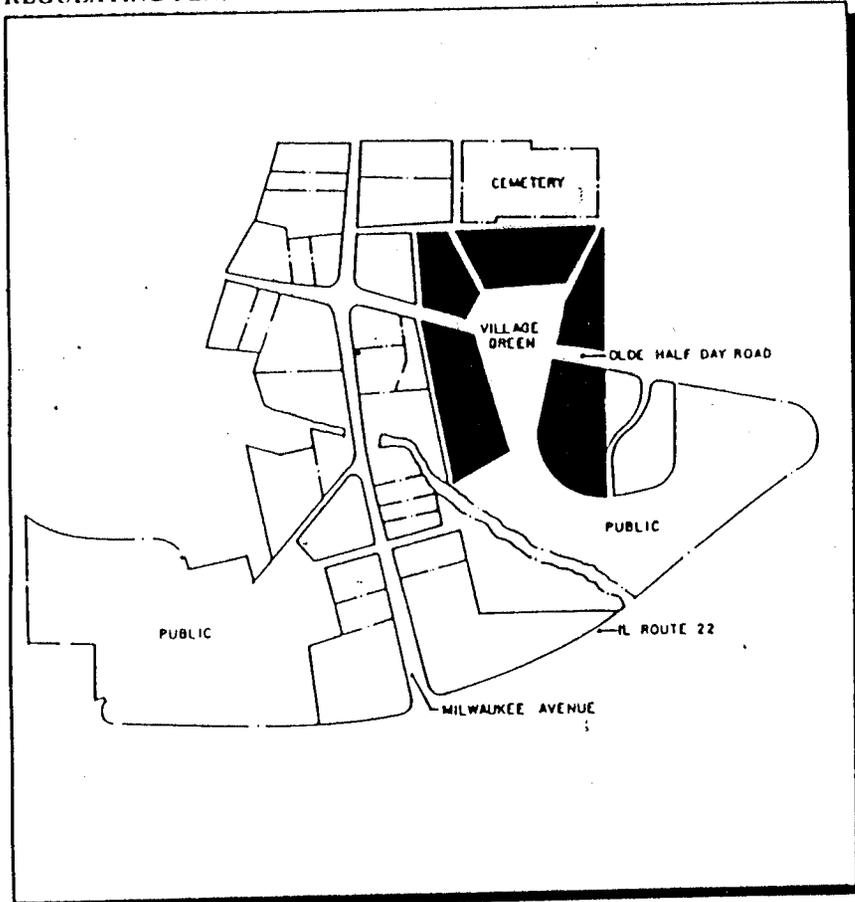
- A. These guidelines represent the aspirations of the Village of Lincolnshire for development of the Half Day area. They are intended as a tool for use by the Village in evaluating proposed development. Likewise, they provide the potential developer with an idea of the type of development desired by the community.
- B. The primary objectives of these guidelines are as follows:
1. Encourage the development of a traditional Village Center for the community of Lincolnshire.
 2. Achieve a uniform identity for the Village Center through a consistency in architecture and landscape.
 3. Create active public space.
 4. Create pedestrian and vehicular networks linking development and public spaces within the Village Center and with surrounding areas.
- C. As implied by the title, these are intended as guidelines and may be modified by the Village to best serve their needs. Additionally, if during the course of using these guidelines it becomes obvious that they are in some way unworkable or present an undue burden to potential developers in the judgement of the Village, then they may be modified accordingly.
- D. The scope of these guidelines encompass the proposed Village Center roughly bounded by the cemetery on the north, the new Village Hall on the east, Illinois Route 22 on the south and the new Library on the west. These parameters may be expanded or contracted as seen fit by the Village.
- E. The scope of these guidelines encompasses some property already developed. Future improvements to these properties shall conform to these guidelines as closely as can be reasonably expected.

GENERAL REQUIREMENTS

- A. These Design Guidelines are comprised of the following:
1. **Urban Guidelines** which describe building placement, height, parking and other issues relating to the definition public space. Urban Guidelines are divided in to three (3) areas:
 - a. **Village Green** for buildings fronting this space.
 - b. **Transitional Village Green/Highway Commercial**, for the buildings near the intersection of Milwaukee Avenue and Olde Half Day Road.
 - c. **Highway Commercial**, primarily for buildings fronting Milwaukee Avenue.
 2. **Architectural Guidelines** which describe building forms and materials.
 3. **Landscape Guidelines** which describe plant materials and arrangements.
 4. Illustrative site plan and building elevation.
- B. Development shall conform to the following diagrams in the **Downtown Redevelopment Implementation Program**:
1. **Land Use**, figure 6.
 2. **Open Space**, figure 7.
 3. **Pedestrian Network**, figure 8.
 4. **Traffic Network**, figure 9.
- C. Development shall conform to the Village of Lincolnshire Zoning Ordinances and Building Codes.
- D. Building service areas shall be located so as not to be seen from major street frontages.

LINCOLNSHIRE URBAN GUIDELINES VILLAGE GREEN

REGULATING PLAN



GENERAL

Development of this area must result in the creation of a public Village Green defined through the placement of buildings on all sides. The Village Green shall have a minimum area of one and a half (1.5) acres; at least one third (1/3) of this area must be located both north and south of Olde Half Day Road.

The main entrance for all buildings shall face onto the Village Green.

BUILDING USE

Retention, Entertainment, Residential, Office

Minimum 75% of first floor in area designated Mixed Use in Land Use diagram, Fig. 6, shall be Retail or Entertainment.

BUILDING PLACEMENT

Buildings shall have a facade facing the Village Green which is at least 70% the length of the property parallel to the Village Green.

Buildings shall be placed on lots within shaded areas.

Setbacks measured from curb at street frontages and from property lines elsewhere.

BUILDING HEIGHT

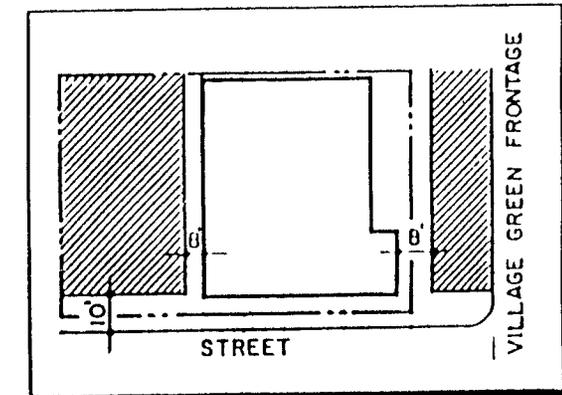
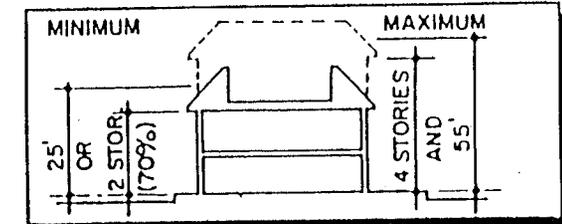
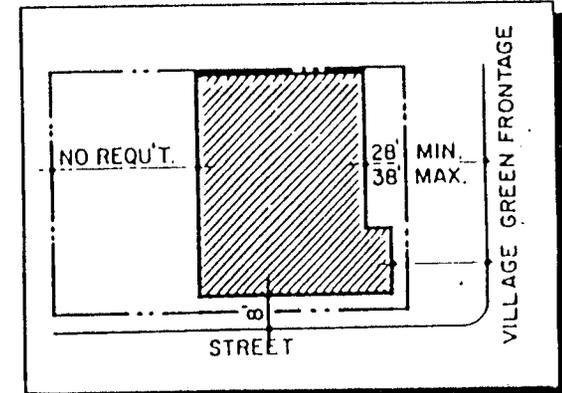
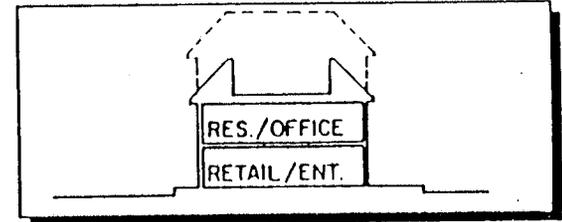
Dimensional heights measured in accordance with Zoning Ordinances; story heights based 13 feet maximum floor to floor.

Measured relative to grade on Village Green side.

PARKING

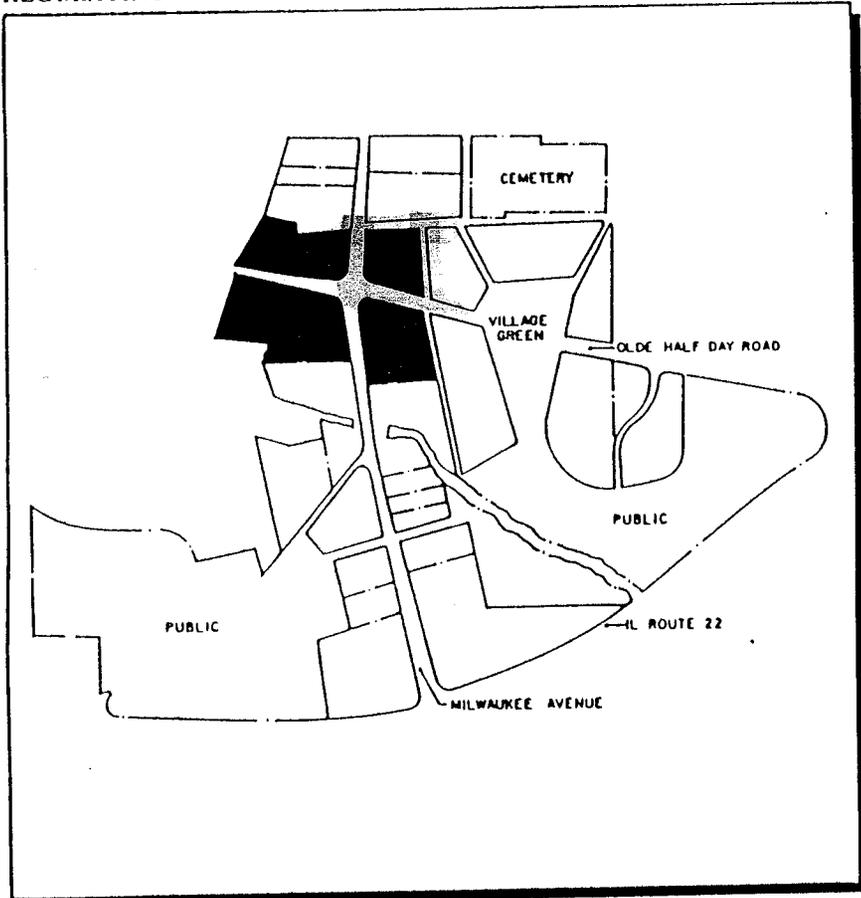
Parking and associated circulation roads shall be located in shaded areas.

Parking and road dimensions per Zoning Ordinances.



**LINCOLNSHIRE VILLAGE CENTER URBAN GUIDELINES
TRANSITIONAL: MILWAUKEE/OLDE HALF DAY CORNER**

REGULATING PLAN



GENERAL

- Development of this area is intended as a transition between highway commercial development and the Village Green.
- At least one entrance of each building shall face onto either Milwaukee Avenue or Olde Half day Road.

BUILDING USE

- Retail, Entertainment, Commercial, Residential or Office uses permitted on all floors.

BUILDING PLACEMENT

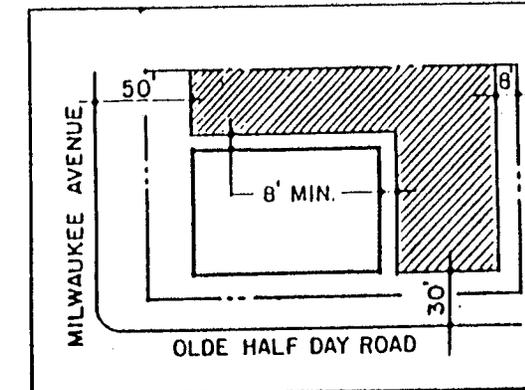
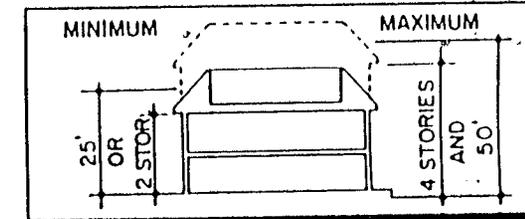
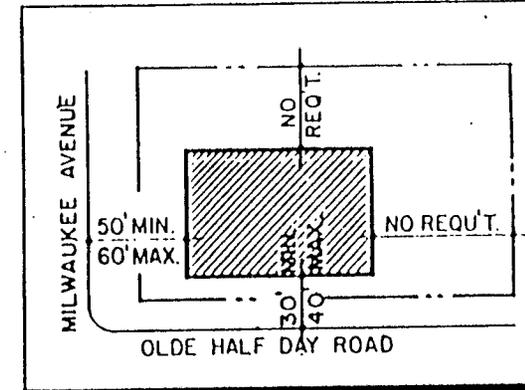
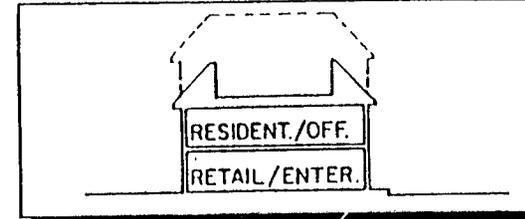
- Buildings shall be placed on lots within the shaded areas.
- Setbacks measured from curb at street frontages and from property lines elsewhere.

BUILDING HEIGHT

- Measured relative to average of grades between major street frontages.
- Dimensional heights measured in accordance with Zoning Ordinances; story heights based on 13 feet maximum floor to floor.

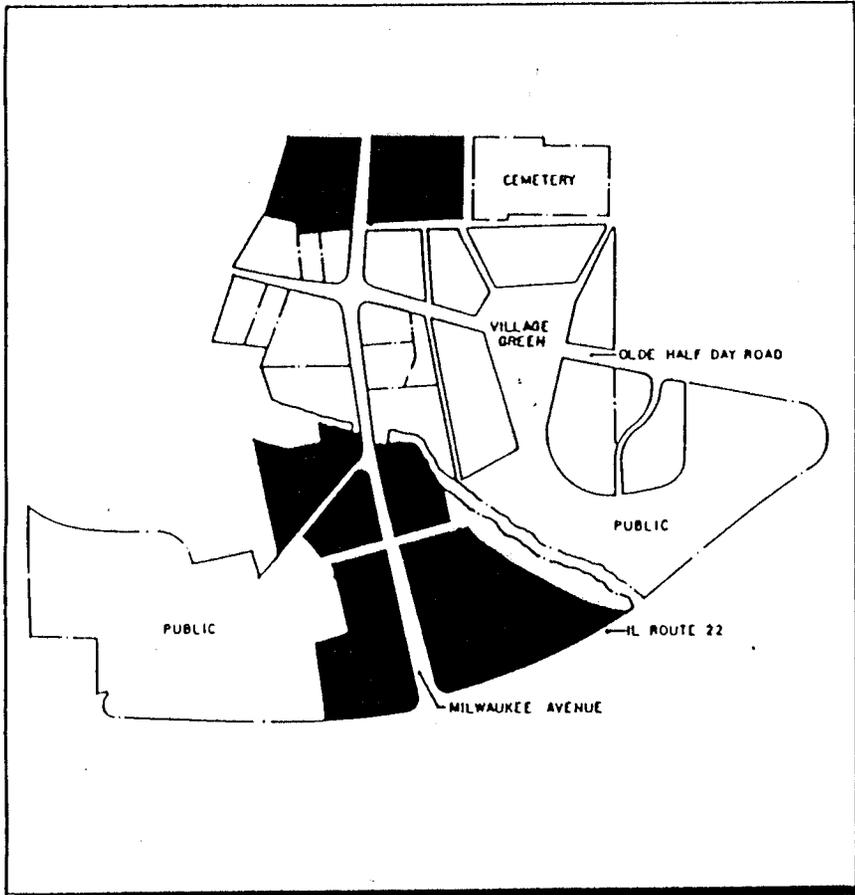
PARKING

- Parking and associated circulation roads shall be located in shaded areas shown.
- Parking and road dimensions per Village requirements.



LINCOLNSHIRE VILLAGE CENTER URBAN GUIDELINES HIGHWAY COMMERCIAL

REGULATING PLAN



GENERAL

Development of this area is generally intended to follow the precedents for design guidelines set by the Village in the development of the Amoco and McDonald's at the northwest corner of Milwaukee Avenue and IL Route 22.

The main entrance for all buildings shall face onto Milwaukee Avenue.

BUILDING USE

Retail, Entertainment, Commercial, Office

BUILDING PLACEMENT

Buildings shall be located within shaded areas.

Setbacks shall be measured from the curb line at street frontages and from property lines elsewhere.

BUILDING HEIGHT

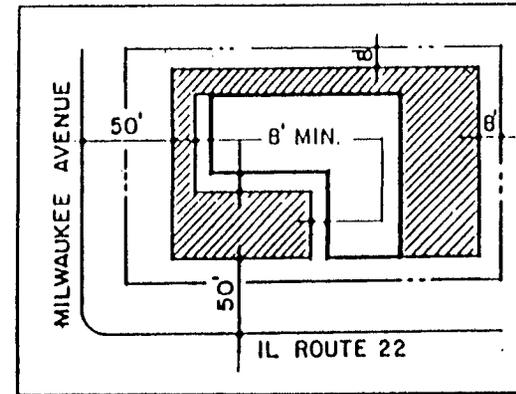
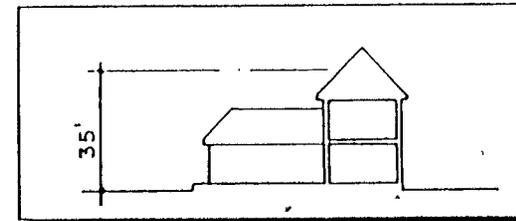
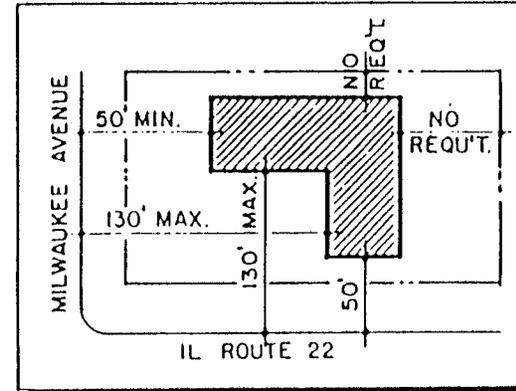
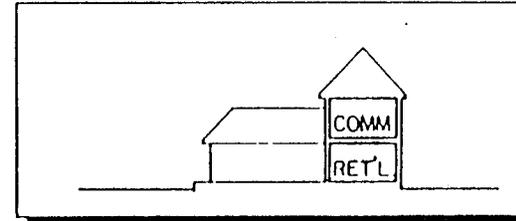
Measured relative to grade on Milwaukee Avenue side.

Dimension heights measured in accordance with Zoning Ordinances; story heights based on 13 feet maximum floor to floor.

PARKING

Parking and associated roads shall be located in shaded areas.

Parking and road dimensions per Village requirements.



**LINCOLNSHIRE VILLAGE CENTER
ARCHITECTURAL GUIDELINES**

MATERIALS

FORMS

WALLS

- Face Brick: standard or modular size
- Wood Shingles
- Stone: cut, cast or squared
- Stucco
- Glass Brick
- Wood Siding
- Wood Trim

- Masonry Coursing: running bond, soldier, rowlock, herringbone
- Wood Shingles above eave line only.
- Wood Siding to be clapboard or shiplap type.
- Wood Trim to finish flush with shingles and siding
- Shingle and Siding Exposure: 3.5" to 6"
- Vary elevations of horizontal datum lines.
- Materials to be used in horizontal bands.

DOORS & WINDOWS

- Wood, Aluminum or Vinyl/Aluminum Clad
- Clear Glazing
- Divided Lights to be true divided type or similar to Pella Architectural Series

- Window proportions to be vertical or square.
- Not more than six (6) windows in series in a single opening.
- Total Glazed Area above the first floor shall not exceed 30% of the facade area.

ROOFS

- Slate or cedar shingles all buildings fronting Village Green; wood or asphalt shingles allowed elsewhere.

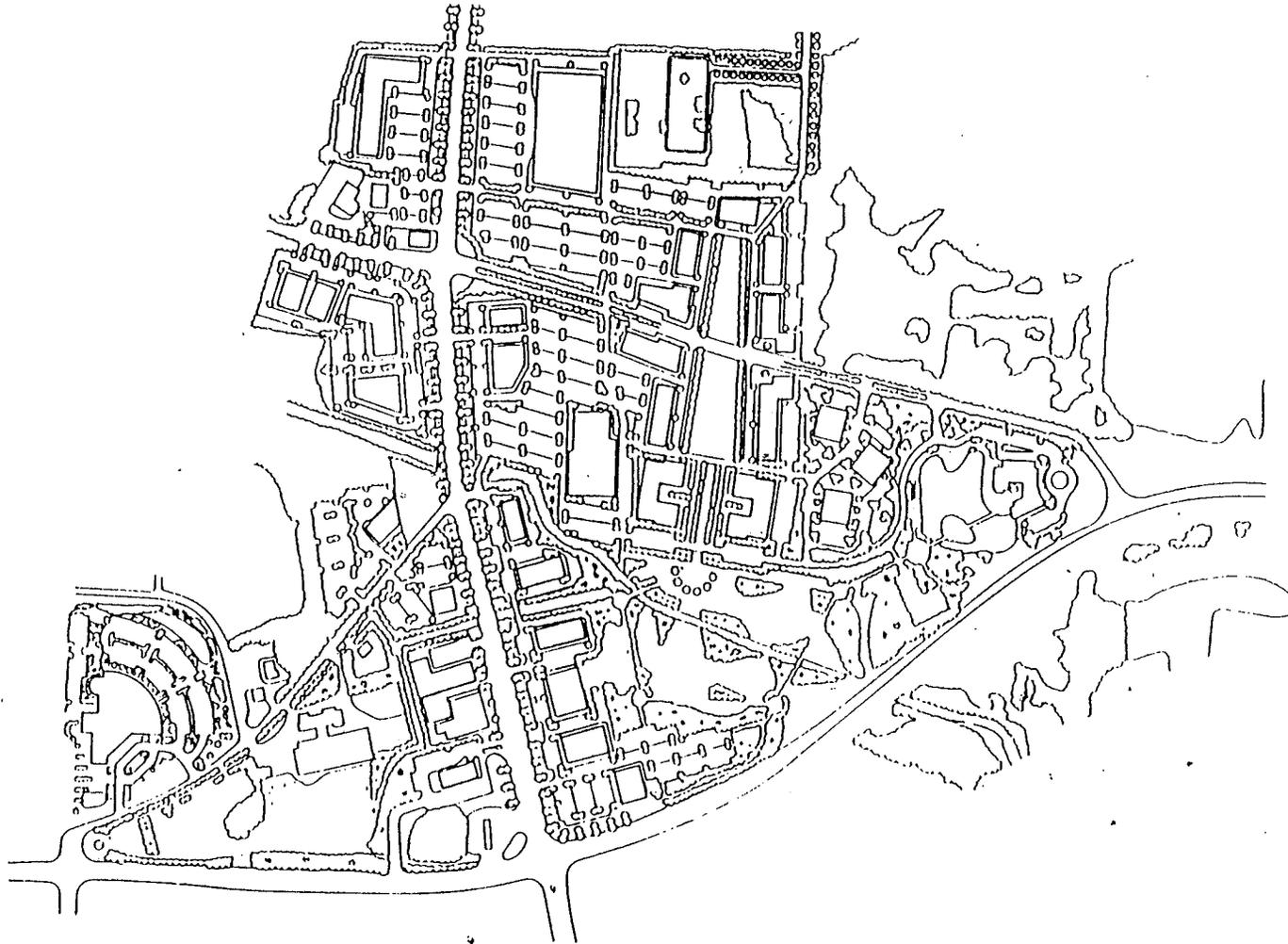
- At least 80% of all visible roof lines shall be pitched
- Roof Pitch, except shed dormers: 9:12 min., 14:12 max.
- Roof Pitch, shed dormers: 4:12 min.
- Pitched Roof Surfaces to be broken by wall surfaces, such as gables, or by dormers at least every 50 ft
- Gables and Hips shall be symmetrically pitched.
- Flat Roofs shall be enclosed by a parapet; minimum height per Zoning Ordinance.

OTHER ELEMENTS

- Screen Wall and Chimney materials shall match dominant wall material.
- Visible Mechanical Openings shall be covered with ornamental metal grilles.
- Handrails shall be of metal; no members larger than 2" square.

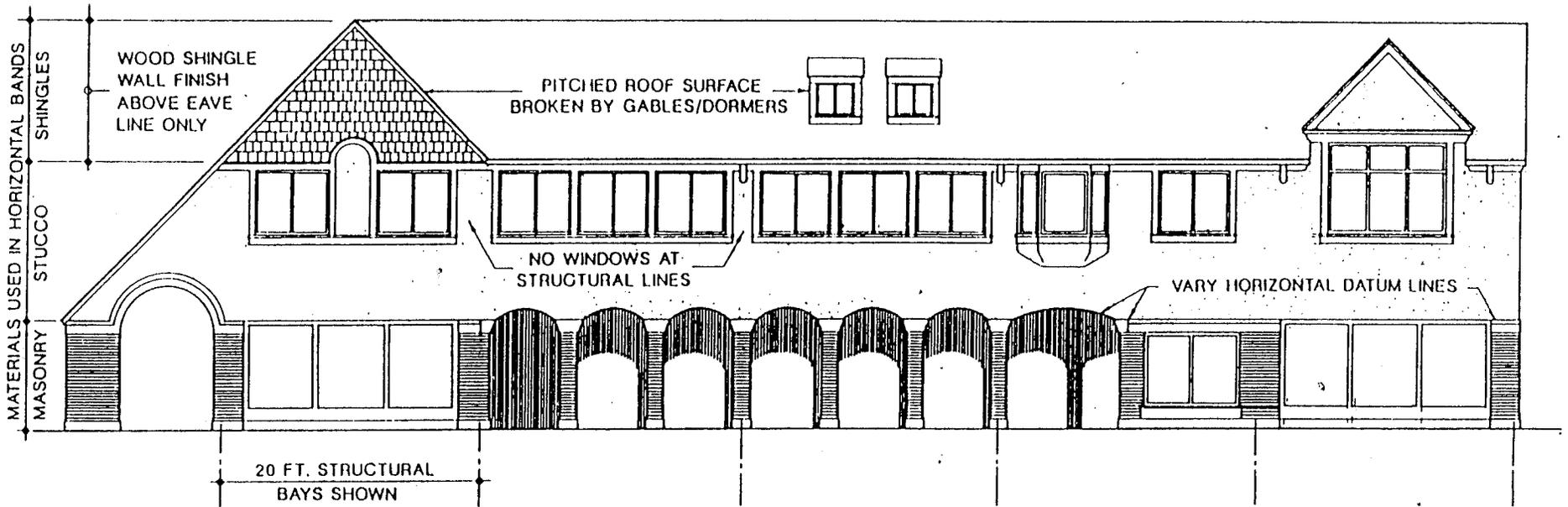
- Arches shall be no less than 12" deep.
- Piers shall have a minimum dimension of 12".
- Bays shall project no more than 3 feet from wall

LINCOLNSHIRE VILLAGE CENTER
ILLUSTRATIVE SITE PLAN



This site plan is intended as an illustration only of one possible plan for the Village Center.

LINCOLNSHIRE VILLAGE CENTER
ILLUSTRATIVE ELEVATION



This elevation is intended as an illustration only of some of the architectural guidelines.

DESIGN GUIDELINES 2014

Outline V.4

CHAPTER 1

A. Purpose of Design Guidelines

- Since incorporation in 1957, the Village of Lincolnshire has established itself as a community that emphasizes the importance of the built environment through distinctive site design, high-quality architecture, and preservation of the natural environment. This mindset is evident in the original custom-built single-family homes of the Ladd's Lincolnshire Subdivision and continues through every new development proposal requested in Lincolnshire.
- The purpose of these Guidelines is to represent the design objectives of the Village for non-residential development along Milwaukee Avenue and Half Day Road, the main commercial corridors within Lincolnshire. These two corridors serve as the main thoroughfares throughout the community and are travelled by numerous residents and visitors on a daily basis. As a result, the visual character of the Lincolnshire's built environment is "front and center" and sets the tone of the community's identity. While high-level development design is a goal throughout the entire community, these highly-visible corridors are the focus of the Design Guidelines and should exemplify the best in quality design and character.
- In addition to the above plan area, the Downtown Sub-Area focuses on the "downtown" area of Lincolnshire. The purpose of the sub-area is to establish common design themes based on current development to incorporate into any new construction and redevelopment of existing properties.
- The Design Guidelines are intended as a tool for use by the Village in evaluating proposed developments and may also be used in the expansion of existing buildings. These guidelines are aimed to convey the main elements of quality site and building design, and should not inhibit architectural creativity or impede the implementation of best practices.
- The primary objectives of these Guidelines are as follows:
 - i. Further the vision of the Update 2012 Comprehensive Plan by providing design and aesthetic standards for commercial, mixed-use and office development within the Village's commercial corridor.
 - ii. Create a contextual relationship with the existing Village character, while avoiding/without creating repetitive and uninteresting environments.
 - iii. Establish reasonable expectations regarding architecture and landscape quality to strengthen the Village's economic tax base.
 - iv. Create safe and efficient pedestrian and vehicular networks linking development and public spaces along the Village's commercial corridors.

B. Village of Lincolnshire Character

- Having been established in 1957, through the original "Ladd's" Lincolnshire subdivision, the Village's architectural style is indicative of the post-War era. Although the Village isn't defined by one dominant style, Postmodern influences, mixed with regional Prairie style elements, combined with Traditional themes are characteristic of Lincolnshire.

- The Village’s commercial buildings are strongly influenced by the use of high-quality materials such as brick, stone, limestone, and cedar shake roof shingles. Building detailing plays a contributing role in enhancing the aesthetic character and is as fundamental as the building’s design or use of materials.
- The manner in which commercial buildings are landscaped reflects strongly on the Village’s image and commitment to the natural environment. As a result, the landscaping expectations for commercial developments is to achieve and maintain sustainable and functional landscapes, which emphasize the use of plants native to this area and to provide vegetation color and interest throughout the entire year.
- Application/Use of Guidelines
 - Staff, ARB, MBOT, Developers
 - These Guidelines are to be used by Village Staff, the Architectural Review Board and Village Board of Trustees as a reference in reviewing plans and development proposals for new construction and redevelopment of the Village’s commercial corridor.
 - These Guidelines are also to serve developers, architects, land owners, business owners, etc. as a reference guide of the high quality development sought by the Village of Lincolnshire.

C. Desired Character & Development Pattern

- The highly traveled regional roadways of Milwaukee Avenue and Half Day Road (IL Route 22) provide Lincolnshire with the opportunity to reinforce its commitment to quality architecture and design. Construction should be complimentary to the established architectural character, but careful to establish a unique identity and place within Lincolnshire.
- Development should consist of exceptional design and quality building materials reflective of the Village’s built environment. Where appropriate, the use of quality building materials on every building façade should be accomplished.
- Development must also enhance Lincolnshire’s economic vitality beyond the sole inspiration of aesthetics. The Village of Lincolnshire’s expectation must be realistic to the economic climate and the effects of a business’s operation. Design and aesthetic recommendations/requirements should not serve as obstructions or without due consideration to the economic impacts on the developer/operator, rather to achieve a balance of quality architecture appropriate for Lincolnshire and attainable to the developer.

CHAPTER 2 DESIGN GUIDELINES

A. Placement & Orientation:

1. Buildings should be oriented towards the street frontage to establish a vibrant street presence. Based on the adjacent buildings/properties, it may be appropriate to position buildings with minimal front setbacks to maintain the existing development pattern. Off-street parking areas do not need to be located entirely behind buildings and hidden from public/street view, rather be distributed to the side and rear of buildings. Positioning entire parking fields in front of a building should be avoided.
2. Buildings on corner lots should be positioned appropriately to take advantage of the double street frontage and establish a prominent focal point, both in

- building location and architectural features at the corner. Thoughtful site design to locate main parking fields away from the intersection should be conducted.
3. Vehicle drive-thru facilities, including service windows and access lanes, should be positioned to minimize the visual impact from the street frontage to the greatest extent possible. Creative site design techniques, such as detached drive-thru facilities or integration of the drive-thru facility into the site/building design to conceal the facility may be appropriate.
 4. Parking areas should be designed to provide safe and logical navigation throughout the parking areas. When possible, sidewalk connectors from the parking lot to the building pad should be provided to minimize pedestrians having to walk within the vehicle drive aisles. Vehicular ingress and egress to a site should focus on maximizing vehicle stacking opportunities so there is minimal impact on internal circulation and parking.
 5. Parking spaces immediately adjacent to a building should be separated with adequate foundation landscape planting areas to establish a refined transition between parking areas and the building. For parking spaces fronting a curb line, the parking space length can be shortened by 2 feet where a vehicle overhang can be provided. Parking spaces where vehicle overhang is adjacent to a sidewalk, the sidewalk width should be increased to 7 feet to provide sufficient/unobstructed pedestrian access.

B. Architectural style:

- The architectural tone of Lincolnshire's commercial area is generally classified as traditional, where Postmodern design of reference and ornament are emphasized on the façade is the most commonly implemented architectural style in the Village. Commercial settings have recently expanded the architecture pallet to include Prairie School design elements, colors and materials. New construction should be mindful of the existing architectural context, but must establish its own unique identity and place within Lincolnshire to avoid producing undistinguishable environments.
1. One-story commercial buildings should have their height accentuated through varied roof heights or architectural tower elements to provide presence.
 2. Tower elements are encouraged and should be incorporated into the building design, where appropriate. Roof and building façade materials for such elements can incorporate distinctive materials separate from the main building field, but should be complementary to the overall building design and scale.
 3. Buildings should incorporate a three-component façade design, including 1) base element, through materials and design, 2) a main building field, and 3) varied roofline.

C. Building materials:

- Beyond architectural style, a key element of a building's identity is the application of quality exterior materials. A variety of materials, such as stone, brick, granite, steel, wood, etc, is encouraged to create an enduring appearance.
 1. Synthetic materials such as Exterior Insulation and Finishing Systems (EIFS) and Dryvit® should not be used as the principal building material, but can be an acceptable application for secondary accent elements and features. However, materials such as cement fiber siding ("hardiboard") and composite roofing shingles that give the impression of natural materials can be an acceptable substitute for primary exterior building materials.

2. Exterior materials that are coordinated with adjacent buildings establish a harmonized character. However, repetitive use of like materials and colors can create a monotonous environment which could lead to a lack of identity amongst developments/buildings.
3. Rooftop equipment screens, rain gutters, downspouts, exhaust vent/screens, and similar ancillary components should coordinate with the building colors to appear as unobtrusive as possible.

D. Façades:

1. To achieve a strong architectural setting, it is essential building facades be well articulated, with special attention to street-facing facades. Multiple building façades visible from the public way, parking lots, etc. must also display equal attention to detail and design as the primary façade, in which the material palette should be carried through on all visible façades of the building.
2. Building façades should feature articulation to avoid flat, nondescript façades.
3. Architectural detailing and ornamentation (e.g., windows, cornices, lintels, medallions, columns, etc.) are encouraged to provide visual interest.
4. Blank walls facing public ways are discouraged and should incorporate architectural detailing and ornamentation even if not a customer entry. False storefronts or other detailing that gives the impression of an active elevation should be utilized.

E. Roofs:

1. Roof styles need to be compatible with the building's architectural design character.
2. Roof design elements (e.g., dormers, "eyelids", etc.) are encouraged to break up long roofs sections. However, use of such elements should be implemented consciously so that elements do not appear forced.
3. Roofs should be designed to permit rooftop-mounted mechanical equipment to be placed within a well or behind parapet walls to be screened from surrounding properties.
4. Roof materials should consist of slate shingles, architectural-grade asphalt shingles, or synthetic shingles which give the appearance of slate or cedar or natural materials. Cedar shake roofing shingles are also acceptable; however, the long term maintenance and associated costs may not outweigh the visual appeal of such material. Roof materials for tower elements can incorporate distinctive materials separate from the main roof, such as standing seam metal, but should be complementary to the overall roof design.
5. Roof heights should be varied, where appropriate

F. Awnings & canopies:

1. Awnings and canopies should be an integral architectural feature of the building design, tailored to the façade of the building and positioned so that distinctive architectural features remain visible.
2. Materials should consist of incombustible, non-reflective canvas or canvas-like material. Metal awnings and canopies can be appropriate based on compatibility with the specific building architectural style.

3. Colors and patterns of awnings need not match the overall color scheme of the building to which they are attached, but should complement the building design.

G. Service & Site Amenities:

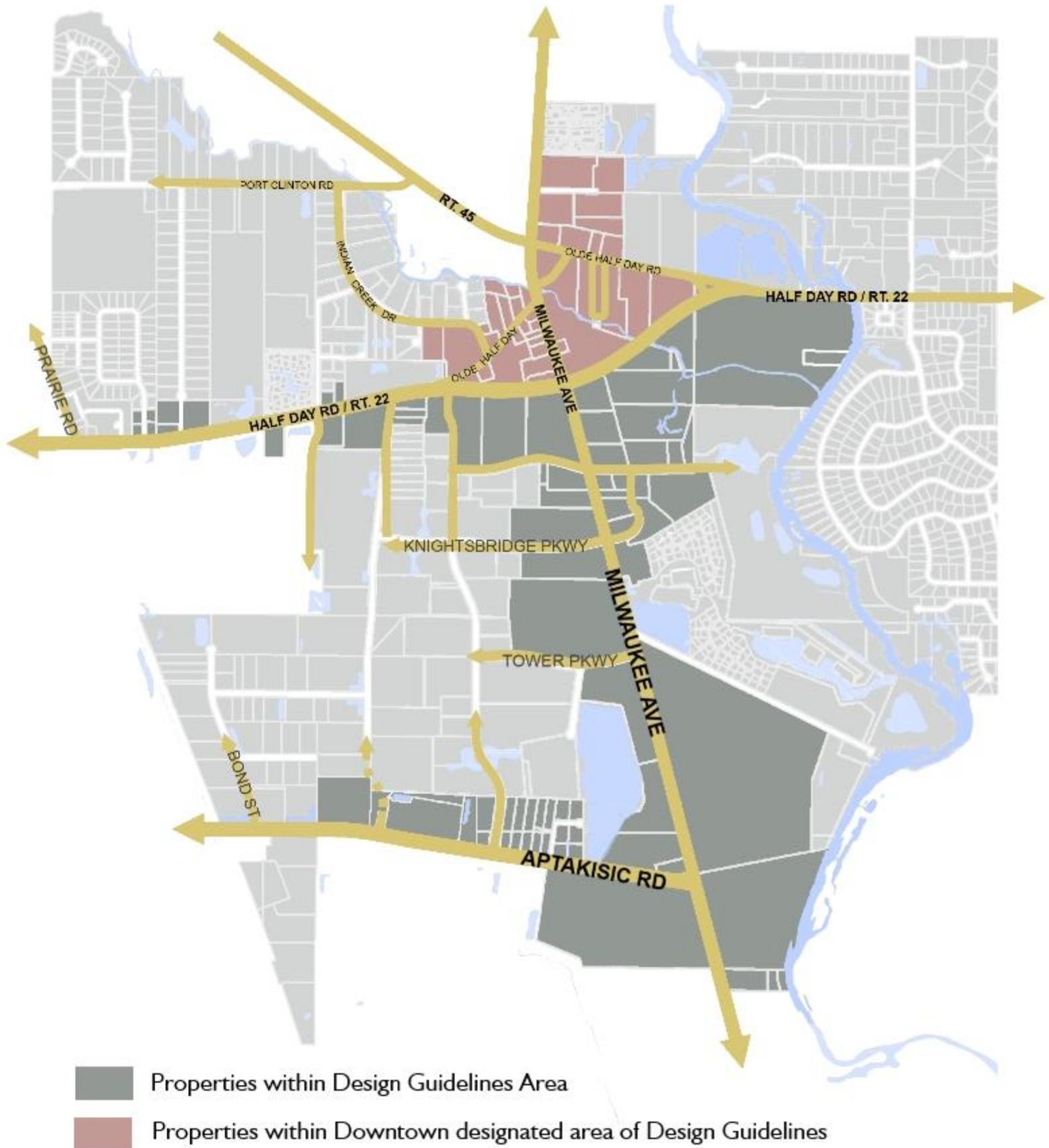
1. Site lighting should reflect the architectural tone of the development and maintain a compatible style/design throughout. Building illumination should extend beyond aesthetics and serve a functional purpose for safety. Architectural building elements and ornamentation can be highlighted through the use of thematic lighting, but should be carried out tastefully.
2. Beyond building and parking lot lighting, pedestrian-oriented lighting fixtures and bollard lighting should be included in the site development.
3. Site amenities such as flower baskets, sculptures, water fountains, children's play areas, etc., are encouraged to introduce a sense of place and character to developments.
4. Site furniture (e.g., benches, trash containers, drinking fountains, bike racks/stations, etc.) locations need to be strategically positioned to be functional. Materials should be weather-resistant to reduce wear and tear.
5. Trash enclosures and service areas need to be concealed with a solid enclosure constructed of consistent building materials and colors to blend with the surroundings. For those portions of the enclosure which are open to public view, landscaping to soften the visual effect of enclosures and service areas is necessary.
6. Every effort should be taken to locate service areas in the rear of the site's layout and limit visibility from the street frontages.

H. Landscaping:

1. Landscaping should be comprehensive to serve the individual building/site and also complement the surrounding landscape character. Although it is routine practice to encourage dense landscaping and tree clusters along the street frontage to visually obscure commercial buildings, site landscaping should be implemented to contribute in creating a sense of place, not as a visual blocking tool.
2. Non-linear arrangement of landscape beds is preferred and should contain a variety of landscape species to present a diverse palate of height, color and texture. Plantings should also be selected to take advantage of the region's seasonal schedule to provide a range of color and texture throughout the year.
3. To the greatest extent possible, native plantings should be incorporated into the landscape design.
4. A soldier-course of landscape materials should generally be avoided.
5. Screening of equipment should be accomplished through plantings that work into the natural rhythm of the landscape design, rather than introducing an evergreen soldier-course of material not present elsewhere on the site.
6. Stormwater detention basins often occupy a significant amount of open space and can be located in high-profile areas of a site. It is important detention areas are visually appealing and should be designed in a non-uniform shape. Expanses of linear shoreline should be reduced in favor of a gradually undulating perimeter, creating a more natural appearance, rather than engineered. The shorelines should be properly sloped to prevent erosion and facilitate native plantings.

- If providing a large un-structured naturalized planting area, insure a minimum 5' wide mowed lawn border between native landscaped area and any curbline

Lincolnshire Design Guidelines Map DRAFT



**REQUEST FOR BOARD ACTION
Architectural Review Board
April 21, 2015**

Subject:	Lincolnshire Design Guidelines Update
Action Requested:	Consideration and Discussion of Lincolnshire Design Guidelines concept and objectives
Originated By/Contact:	Stephen Robles, Village Planner Department of Community & Economic Development
Referred To:	Architectural Review Board

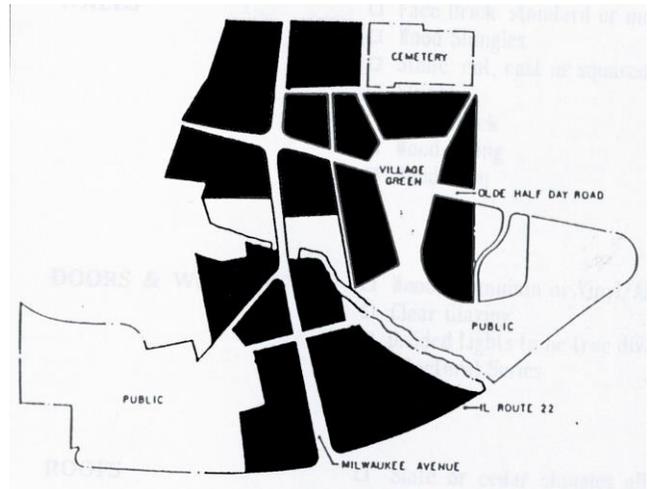
Background:

- A goal of the Community & Economic Development Department is to update the "Lincolnshire Village Center Design Guidelines" (Guidelines). The existing guidelines were established in the early 1990's, through the services of external consultants, and have not been updated in over 20 years.
- The objective of the update is to modernize the Guidelines to identify and illustrate the current desired visual character for Lincolnshire's built environment, both for new construction and redevelopment. The update will further provide the opportunity to incorporate design and development methods proven successful in site/building design, while avoiding/eliminating demonstrated design pitfalls.
- This initial introduction to the Guidelines was originally scheduled at the August 19, 2014 ARB meeting. However, that meeting was cancelled and this topic has since been tabled due to the ARB's request to discuss any updates with full Member attendance, as well as, ARB review of other development proposals resulting in lengthy discussions.

Summary:

- **Intent:** The original intent of the Guidelines focused solely on the Village Center referred to as the "Half Day Area" (see inset map). Staff proposes to expand the application of the Guidelines to the highly-visible and traveled thoroughfares of Route 22, Milwaukee Avenue and Aptakisic Road. Development along these primary arterials should exemplify the best in quality design and character (see attached Draft Corridor Map).

Additionally, Staff believes a more well-defined development character in the "Downtown" area should continue to apply, but at a more basic level of establishing common design themes that should be continued through new construction.



- **Objectives:** The objectives in the Guidelines are to be revised based on the expanded focus areas, as follows:
 - i. Further the vision of the Update 2012 Comprehensive Plan by providing design and aesthetic standards for commercial, mixed-use and office development within the Village's commercial corridor.

- ii. Create a contextual relationship with the existing Village character, while avoiding repetitive and uninteresting environments.
 - iii. Establish reasonable expectations regarding architecture and landscape design balancing quality with the economic realities of site development.
 - iv. Create safe and efficient pedestrian and vehicular networks linking developments and public spaces along the Village's commercial corridors.
- Identification of Character: A key element missing from the current Guidelines is the identification of Lincolnshire's character. Identifying design character establishes the expectations of the Village and aims to avoid repetition and oversaturation of similar building designs. Staff believes the Village's commercial architectural style generally falls into one of the three following design styles: 1) Traditional, 2) Postmodern, and 3) Prairie School.
 - Application of Guidelines: The update will identify the stakeholders who apply these Guidelines (Village Board, ARB, Staff, developers, architects, etc.), which is absent from the current document.
 - Guideline Elements: The current Guidelines describe "building use, placement, height, parking and other issues relating to the definition of public space" in a very specific manner (see current Urban Design Guidelines, attached). Such approach can limit design flexibility and creativity, resulting in monotonous development patterns. Updates will aim to convey the main elements of quality site and building design, without inhibiting architectural creativity or impeding the implementation of best practices.

The "Downtown" area will continue to have a special focus on development character. Rather than outlining specific design standards, Staff proposes to identify common design elements/themes that characterize the Downtown area. Development would be encouraged to incorporate such common elements/themes within the Downtown area to establish cohesion, while allowing architectural creativity.

- Architectural Style: The current document addresses only the architectural style within the Village Green center, whereas the update will illustrate the variety of architectural design and concepts appropriate for the expanded focus area.
- Building Materials: A key element to building design is the use of exterior materials. The identification of exterior building materials will be expanded to include new synthetic materials, such as cement fiber siding ("hardiboard") and composite roofing shingles. The update will also reinforce that EIFS/dry-vit material should be limited and only used for secondary accent materials.
- New Elements: Site furniture and lighting, service areas, façades, roofs, and awnings/canopies will be introduced into the updated Guidelines as each element plays a key role in the overall character of a building/development. In addition, Staff welcomes ARB input on any other elements that should be considered as part of the updated Guidelines.

Recommended Action:

Input and direction from the Architectural Review Board on the proposed outline for updates to Lincolnshire Design Guidelines. Staff recommends returning to the May meeting with a completed Draft Guideline document, incorporating ARB comments, for review.

Reports and Documents Attached:

- Current Lincolnshire Urban Design Guidelines.
- Draft Design Guidelines Corridor Map and Sample Pages, prepared by Staff.
- Design Guidelines 2015 Update Outline, prepared by Staff.

Meeting History	
Initial Referral at Village Board (COW):	July 28, 2014
Architectural Review Board (Cancelled):	August 19, 2014
Architectural Review Board (Tabled):	September 16, 2014
Architectural Review Board (Tabled):	October 21, 2014
Current Architectural Review Board:	April 21, 2015