



AGENDA
COMMITTEE OF THE WHOLE MEETING
Village Hall – Board Room
Monday, February 8, 2016
Immediately following Regular Village Board Meeting

Reasonable accommodations / auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings of the Board. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need special accommodations to attend.

The Committee of the Whole will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Trustees to do so. Citizens wishing to address the Board on agenda items may speak when the agenda item is open, prior to Board discussion.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

- 2.1 Acceptance of the January 25, 2016 Committee of the Whole Meeting Minutes

3.0 ITEMS OF GENERAL BUSINESS

3.1 Planning, Zoning and Land Use

- 3.11 Consideration of Architectural Review Board recommendation regarding a Wall Signage Plan for the Tri-State International Office Center to permit wall signs at specific dimensions and locations (CDW LLC / GA Tri-State Office Park LLC)
- 3.12 **Public Hearing:** regarding a Major Amendment to Ordinance No. 03-1829-06 (amending the Tri-State International Office Center Planned Unit Development) to permit a revised comprehensive signage plan with Sign Code exceptions pertaining to sign face height, logo height and coverage of window or architectural features related to wall signs on primary structures in the Tri-State International Office Center (CDW LLC / GA Tri-State Office Park LLC)
- 3.13 Consideration of a Zoning Board recommendation regarding Rezoning from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for a school parking lot at the northwest corner of Half Day school located at 239 Olde Half Day Road (Lincolnshire – Prairie View School District 103)
- 3.14 Consideration of Zoning Board and Architectural Review Board recommendations regarding a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 24,500 square foot building addition, and related design plans for Half Day school located at 239 Olde Half Day Road (Lincolnshire – Prairie View School District 103)
- 3.15 Consideration of Zoning Board and Architectural Review Board recommendations regarding a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 14,000 square foot building addition, and related design plans for Laura B.

Sprague Elementary School, located at 2425 Riverwoods Road
(Lincolnshire – Prairie View School District 103)

3.16 Continued Preliminary evaluation of a Major Amendment to Ordinance No. 97-1498-22 (amending the CityPark Master Planned Unit Development and approving Regal Cinema) to permit a multi-family development and Regal Cinema renovation in the CityPark development at the southwest corner of Milwaukee Avenue and Aptakisic Road (ECD Company)

3.2 Finance and Administration

3.21 PUBLIC HEARING: Regarding an Ordinance Making Appropriations of Sums of Money for all Necessary Expenditures of the Village of Lincolnshire, Lake County, Illinois, for the Fiscal Year 2016 (Village of Lincolnshire)

3.3 Public Works

3.4 Public Safety

3.5 Parks and Recreation

3.6 Judiciary and Personnel

4.0 **UNFINISHED BUSINESS**

5.0 **NEW BUSINESS**

6.0 **EXECUTIVE SESSION**

7.0 **ADJOURNMENT**



**MINUTES
COMMITTEE OF THE WHOLE MEETING
Monday, January 25, 2016**

Present:

Mayor Brandt	Trustee Feldman
Trustee Grujanac	Trustee Hancock
Trustee McDonough	Trustee Servi
Trustee Leider	Village Clerk Mastandrea
Village Attorney Simon	Village Manager Burke
Chief of Police Kinsey	Finance Director/Treasurer Peterson
Public Works Director Woodbury	Community & Economic Development Director McNellis

ROLL CALL

Mayor Brandt called the meeting to order at 7:30 p.m. and Village Clerk Mastandrea called the Roll.

2.0 APPROVAL OF MINUTES

2.1 Acceptance of the January 11, 2016 Committee of the Whole Minutes

The minutes of the January 11, 2016 Committee of the Whole Meeting were approved as submitted.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Planning, Zoning and Land Use

3.11 Preliminary Evaluation of a Major Amendment to Special Use Ordinance No. 05-1954-18 Granting a Planned Unit Development for Lincolnshire Commons Retail Center, to Permit New Center-wide Ground Signage – 900-970 Milwaukee Ave & 225 Aptakisic Rd (CFNX Linshire)

Community & Economic Development Director McNellis provided a summary of the request for preliminary evaluation of a major amendment to Special Use Ordinance granting a Planned Unit Development for Lincolnshire Commons Retail Center, to permit new center-wide ground signage.

Mayor Brandt noted additional material related to this agenda item has been distributed to the Board members at her request to show the Board sign sizes of different signs in surrounding areas.

Ms. Rebecca Borges, Landscape Designer with Portico Partners provided a presentation of the request for granting new center-wide ground signage at Lincolnshire Commons.

Trustee McDonough asked for further explanation how the double signs would reflect the Barnes & Noble building. Ms. Borges stated the double signs represent the double columns on the facade of the Barnes & Noble and Cosi buildings.

Village Attorney Simon asked if the background on the sign panels will be a uniform color for all the signs. Ms. Borges confirmed the background on the sign panels will all be a uniform color; the differences would be the size of the logos.

Ms. Borges continued with her presentation.

Trustee Grujanac asked if there were spaces between the sign panels. Ms. Borges stated there are spaces between the panels. A brief conversation took place regarding the height and size of the signs.

Trustee Leider noted his opinion he liked the landscaping around and near the signage. A brief conversation followed regarding the landscaping around the current and proposed signs.

Community & Economic Development Director McNellis noted staff is of the opinion the sign height is appropriate but wanted to know if the Board was in approval of the double columns of tenant panels related to the signs. All Trustees were in favor of the double tenant panel sign design.

Mayor Brandt asked about the sign color and if the green color was being phased out in the proposed signage. Ms. Borges stated the new signs would be more earth tones and confirmed they were phasing out the green with the proposed signage.

There was a consensus of the Board to refer this to the Architectural Review Board for design review.

3.2 Finance and Administration

3.3 Public Works

3.4 Public Safety

3.41 Consideration and Discussion of a Request to Authorize Purchase of one (1) Replacement Vehicle at a Cost of \$36,580 (Village of Lincolnshire)

Chief of Police Kinsey provided a summary of the request to authorize purchase of one replacement vehicle at a cost of \$36,580.

Trustee Hancock asked how old the replacement vehicle was. Chief of Police Kinsey stated the current vehicle they recommend replacing is a 2009.

There was a consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

3.5 Parks and Recreation

3.6 Judiciary and Personnel

4.0 UNFINISHED BUSINESS

4.1 Combining Taste of Lincolnshire with the Art Fair

Mayor Brandt stated material was received from Amdur Productions regarding a suggestion to combine the Taste of Lincolnshire with the Art Fair. Mayor Brandt requested staff reach out to surrounding restaurants that would be affected by the event. The potential date for the Art Fair is August 14th & 15th. Mayor Brandt asked to Board if they would support combining the events if the area restaurants were in favor.

Trustee Hancock asked what the parking situation would be. Village Manager Burke stated in the past, College of Lake County parking was available with shuttle bus service. Trustee Servi asked if the Spectrum Building would be available for parking. Village Manager Burke stated staff would reach out to the Spectrum Building regarding possible use of their parking lot.

Trustee Grujanac suggested Amdur Productions use local talent for the music. Village Manager Burke stated staff and organizations will be meeting with Amdur Productions relative to incorporating events in the past, available resources, and being a part of decision-making for different aspects of the event.

Trustee Hancock asked if there was any way to incorporate sports or awards recognitions of local clubs or organizations into the event to draw more families.

Trustees McDonough and Leider stated they encourage combining the event.

Trustee McDonough asked how this would affect the budget. Village Manager Burke stated staff would discuss the terms regarding the Village's participation. Amdur Productions has their own budget relative to vendors and booths which staff would step away from but recommend using vendors from past events if possible. Village Manager stated the Village budget would pick up some of the costs as in the past such as site maintenance and confirmed there would be no duplication of costs between the Village and Amdur Productions.

Trustee McDonough asked about the additional contribution to the Chamber for past Taste events. Village Manager Burke stated the only contribution to the Chamber the Village made was dependent upon volume of sales at the beer tent, and a reimbursement would only be required if their sales reached a certain percentage.

Mayor Brandt noted when working with Amdur Productions, the only stipulation she would recommend is that they not produce another Art Fair within a certain radius on the same weekend.

It was the consensus of the Board for staff to pursue combining these events.

5.0 NEW BUSINESS

6.0 EXECUTIVE SESSION

7.0 ADJOURNMENT

Trustee Grujanac moved and Trustee Hancock seconded the motion to adjourn. Upon a voice vote, the motion was approved unanimously and Mayor Brandt declared the meeting adjourned at 8:05 p.m.

Respectfully submitted,

VILLAGE OF LINCOLNSHIRE

Barbara Mastandrea
Village Clerk

**REQUEST FOR BOARD ACTION
Committee of the Whole
February 8, 2016**

Subject: Tri-State International Office Center Major Planned Unit Development Amendment – Wall Signage Exceptions

Action Requested: **3.11** - Consideration of Architectural Review Board recommendations regarding a Wall Signage Plan for the Tri-State International Office Center to permit wall signs at specific dimensions and locations

3.12 - Public Hearing regarding a Major Amendment to Ordinance No. 03-1829-06 (amending the Tri-State International Office Center Planned Unit Development) to permit a revised comprehensive signage plan with Sign Code exceptions pertaining to sign face height, logo height and coverage of window or architectural features related to wall signs on primary structures in the Tri-State International Office Center.

Petitioner: CDW LLC / GA Tri-State Office Park LLC

Originated Steve McNellis, Director

By/Contact: Department of Community & Economic Development

Referred To: Architectural Review Board

Background:

- In 1986, the Village approved Ordinance No. 86-866-03, granting a PUD for the proposed northern half of the Tri-State International Office Center (Office Center). The PUD approval provided for the construction of the 25/75 Tri-State office buildings; recently renovated for CDW.
- The original PUD Ordinance did not address building wall signage. A 2003 PUD amendment addressed Office Center wall signage, but did not contemplate construction of additional structures such as the CDW parking deck. Pertinent provisions of the 2003 PUD Amendment, as it pertains to signage and the current PUD Amendment request are as follows:
 - Maximum Sign Height – 4’
 - Maximum Logo Height – Not referenced in PUD Ordinance
 - Maximum Letter Height – Not referenced in PUD Ordinance
 - Coverage of Window/Architectural Feature – Not Referenced in PUD Ordinance
 - Sign projecting above roof line – Not permitted
- The only sign installed pursuant to the 2003 PUD amendment was for one 4’ tall wall sign for a company named Open Text. The Open Text signage was removed when the company relocated a few years later. No other wall signage has been installed throughout the Office Center since that time.

Agenda Item: 3.11 - ARB Recommendations:

On January 19, 2016, the Architectural Review Board reviewed and recommended design aspects associated with the proposed comprehensive wall signage PUD amendment and specifically considered the proposed CDW wall signage. Based upon a difference of opinion amongst ARB members related to the two CDW signs, as well as the comprehensive PUD signage proposal for the Office Center, the ARB made three recommendations:

Center-Wide Tollway-Facing Signage

The ARB recommended approval of an amendment to the Officer Center PUD to permit lettering for wall signs, in locations presented in the attached presentation packet, up to 3' in height. **The motion passed by a vote of 5-1.**

With this recommendation, the ARB approved relief for wall-signs, center-wide, and recommended increasing current permitted sign letter height from 2' to 3'. However, the ARB was concerned about permitting sign faces up to 8' tall. ARB members saw potential applications for 8' tall letters as a result of the proposed change. The ARB determined it best to review any sign proposals greater than 3' in height on a case-by-case basis. The ARB also agreed individual tenant proposals for 3' tall letters should be subject to Architectural Review Board review and recommendation to the Village Board for approval. The applicant, GA Tri-State Office Park LLC, agreed with the recommendation.

Building Wall Sign

The ARB recommended approval of CDW's request to install a wall sign on 75 Tri-State International Office Center, per their presentation, subject to relocating the sign 2' from the edge of the building and centering it on the concrete wall band so it protrudes 5" above and 5" below the parapet wall. **The motion passed by a vote of 4-2.**

Parking Deck Sign

The ARB denied CDW's request to install a wall sign on a glass element at the parking deck at Tri-State International Office Center. **The motion failed by a vote of 3-3, and did not achieve the four votes necessary for an approval recommendation. This is considered a denial.**

Should the Village Board be agreeable to the proposed parking deck wall sign, Village Code requires a favorable vote of two-thirds (2/3) of all elected members of the Village Board of Trustees to be approved. Therefore, approval would require five (5) votes at the February 22nd meeting.

Agenda Item: 3.12 - Public Hearing for Major Amendment to PUD:**Project Summary:**

- CDW proposes to install two wall signs of the same size (see attached presentation packet); one on the east elevation of the 75 Tri-State building and the other on the east (Tollway on-ramp) elevation of the parking deck.
- Each sign will have back-lit illumination similar to Fresh Market, Village Green Dentistry, Walgreens, etc.
- The proposed signs differ from the Approved 2003 PUD Sign Amendment, as follows:
 1. Maximum Sign Height requested = 8'. 2003 PUD = 4'
 2. Maximum Logo Height requested = 8'. 2003 PUD = Not referenced
 3. Maximum Letter Height request = 3'. 2003 PUD = Not referenced
 4. Permission for coverage of Window/Architectural feature sought. 2003 PUD = Not referenced
 5. Permission to project a sign above the roof line sought. 2003 PUD = Not permitted

Findings of Fact:

The Findings of Fact are attached for Village Board review and consideration.

Staff Comments:

The Petitioner’s presentation packet contains additional information and images supporting their proposal for Tollway-facing wall signs on both the 75 Tri-State office building and parking deck. Examples of existing Lincolnshire wall signage at various heights are also included. Although none of the signs incorporate a logo, the lettering ranges from 3’ tall at Tom’s Price to 4’-6” tall for the former Barnes & Noble sign. CDW, a Corporate campus, proposes a larger overall sign due to their incorporated logo, but the letter height is approximately 3’ tall.

Recommendation:

Staff recommends a Major Amendment to Ordinance No. 03-1829-06 (amending the Tri-State International Office Center Planned Unit Development) to permit a revised comprehensive signage plan, as follows:

- 1) Permit Tollway-facing wall signs with letter height of up to 3’ for all Office Center buildings, subject to the review and recommendation of the Architectural Review Board and approval of the Village Board.
- 2) Permit tollway-facing CDW wall signs on the 75 Tri-State International Office Center building and adjacent parking deck an overall height of 8’, including a logo height of 8’, and covering an architectural feature (parking deck) and window (75 Tri-State), subject to the 75 Tri-State wall sign maintaining a 2’ separation from the left edge of the building and centering it on the band so it protrudes 5” above and 5” below the parapet wall.

Staff recommends this request be placed on the February 22nd Consent Agenda for approval, with the above-referenced stipulations.

Reports and Documents Attached:

- Cover Letter/Presentation Packet from CBRE and Poblocki Signs, date stamped received February 2, 2016.
- Findings of Fact, prepared by J.T. Garofalo of CBRE, dated February 2, 2016
- Draft Ordinance, prepared by Village Attorney Simon
- Staff memorandum to the ARB, dated January 19, 2016
- Unapproved Minutes of the January 19, 2016 ARB meeting

Meeting History	
COW - Preliminary Evaluation	December 14, 2015
Architectural Review Board	January 19, 2016
Current Committee of the Whole Review	February 8, 2016



J.T. Garofalo
Senior Project Manager

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Project Management Group

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+1 773 718 7838 Cell

jt.garofalo@cbre.com
www.cbre.com

February 2, 2016

Mayor Brandt and the Village of Lincolnshire Board of Trustees
Attention: Steve McNellis
Community and Economic Development Director
City of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069

Re: CDW 25/75 Tri-State International Building Wall Signage

Dear Mayor Brandt and Board of Trustees:

CDW Corporation is leasing the 25 and 75 Tri-State International buildings in Lincolnshire. As part of their lease agreement, the building landlord has agreed to let CDW install wall signage on two of the three buildings. One building is the 75 Tri-State International building and the other being the newly constructed parking garage along the interstate.

CDW is requesting to amend the original 1986 PUD for Phase II of the Tri-State International office Center to permit wall signage exceptions from the Village Sign Code. CDW is requesting the following exceptions be made:

- 1) Maximum Height of Sign Face - from 3' permitted to 8'
- 2) Maximum Height of Logo - from 30" permitted to 8' (as entire sign is a logo)
- 3) Permit wall signs to cover an Architectural Feature and a window, which is prohibited per the Sign Code.

In addition we offer the Village Board the opportunity to amend wall signage permissibility for the entire site to permit all buildings to have the same size wall signs as CDW is proposing. Ownership of property welcomes this approach.

Please find attached the following drawings for review by the Village of Lincolnshire:

- Site Plan: Locating new wall signage.

- LL-02: Photo simulation of code-compliant wall signage for CDW's 75 Tri-State International building and parking deck
- Photo simulations of code-compliant wall signage for the 100, 200 and 300 Tri-State International buildings.
- LL-03: CDW building elevation wall sign proposal for 75 Tri-State International
- LL-04: CDW parking deck elevation wall sign proposal
- PH-04: Photo simulation of CDW parking deck sign proposal (from the tollway near underpass)
- Drive By of CDW Parking Structure Heading South on Interstate 94
- COSTCO Signage Driving South on Interstate 94
- Photo simulations of proposed wall signage for the 100, 200 and 300 Tri-State International buildings.
- Photo comparison of wall signage across the tollway from Tri-State International Office Park (Close up).
- Photo comparison of wall signage across the tollway from Tri-State International Office Park (distant views).
- Local Store Signage Along Milwaukee (Walter E. Smithe and Toms-Price)
- Local Store Signage for Barnes and Noble
- Existing CDW Signage in Mettawa

CDW is working with Poblocki Sign Company to create the halo lit signage per the attached drawings for the CDW buildings. No other signage is currently planned for the other buildings at this time.

Please review the attached documents and let us know if you have any questions or concerns. We look forward to continuing our work with the Village of Lincolnshire to help expedite this process.

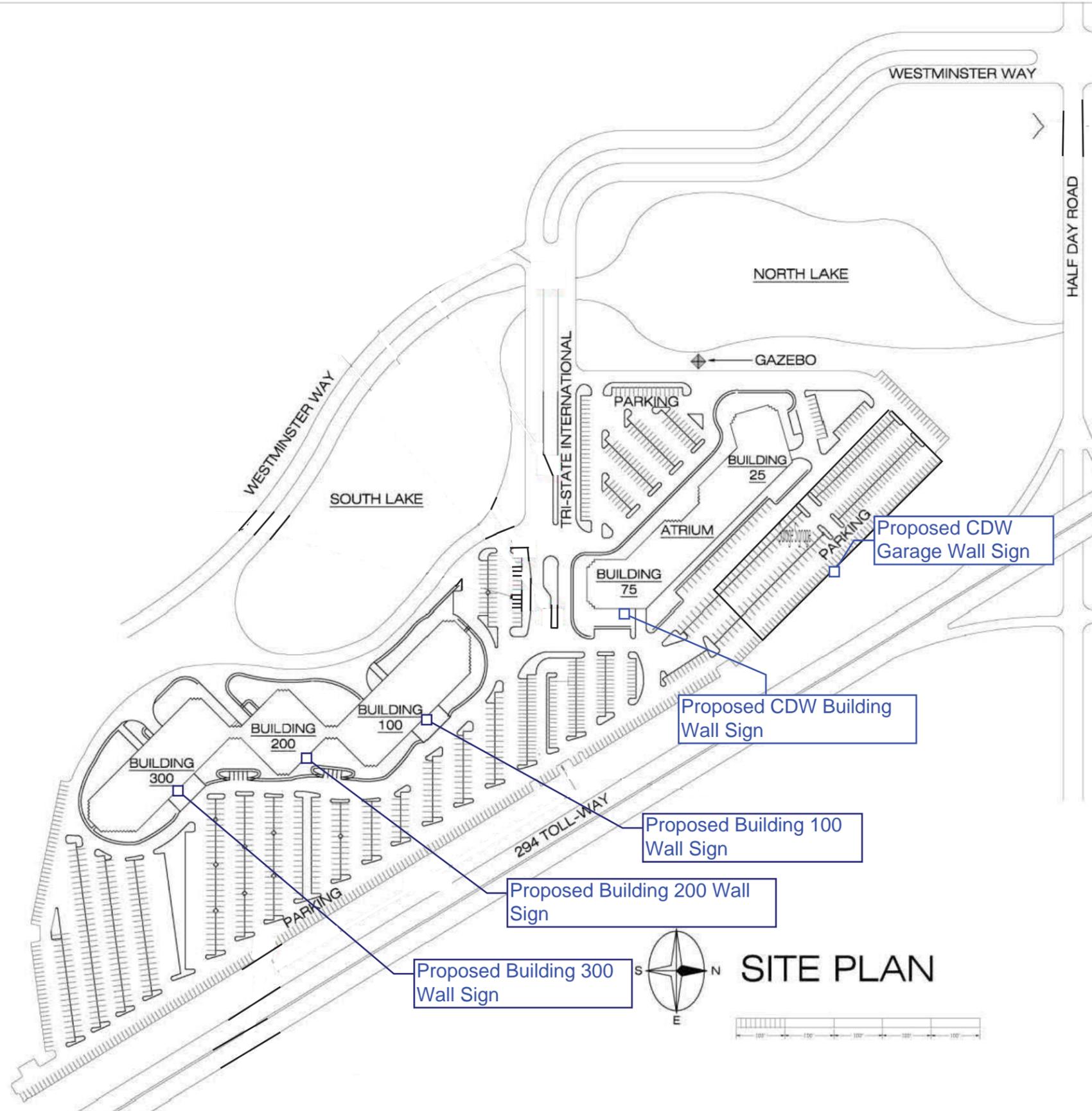
Sincerely,

A handwritten signature in black ink, appearing to read "J.T. Garofalo". The signature is written in a cursive style with a large, looped "G".

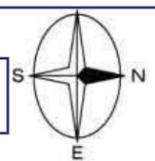
J.T. Garofalo

Cc: Melissa Speers (Director Transaction Management for CDW)
Kelly Morrissey (Colliers)
Katie Conroy (Poblocki Signage)

TRI-STATE INTERNATIONAL OFFICE CENTER



SITE PLAN



PROJECT LOCATION



SIGN SPECIFICATIONS

[A] - ILLUMINATED LETTERS/ SWOOSH

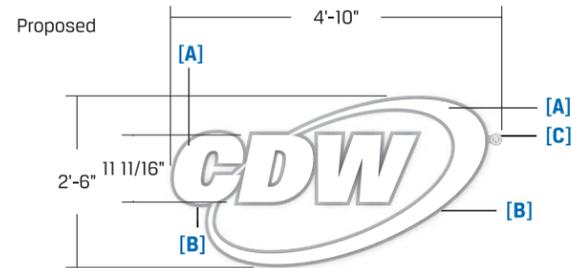
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 Voltage: tbd
 Description: Back-Lit [Remote]
 Face Color: white
 Return Color: white
 Installation: Stand-off [2 1/2" max. for optimal light spread] to backer panel

[B] - FLAT PANEL

Material: Aluminum
 Depth: .080"
 Face Color: grey/ tbd
 Backside Color: grey/ tbd
 Installation: flush to wall

[C] - GRAPHICS/ TM

Material: Vinyl
 Color: grey installed on backer panel



Code compliant signs

Proposed East Elevation



Proposed South Elevation



Meets code requirements

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Project

CBRE

Lincolnshire, IL

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

FP COLOR/ CONTRAST

Revisions

REV	DESCRIPTION	BY	DATE
01	smaller OAH	jh	12/8/15

Rep.: Katie Conroy

Drawn By: Jean Hardeman Orig. Date: 11/12/15

Sign Loc. No. **various**

LL-02

Lit Letters

Sign. Type

69595

OPP - Project - Job No.

C01

Design



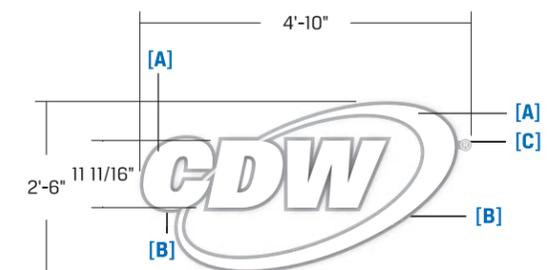
Building 300



Building 200



Building 100



Code compliant signs

SIGN SPECIFICATIONS

[A] - ILLUMINATED LETTERS/ SWOOSH

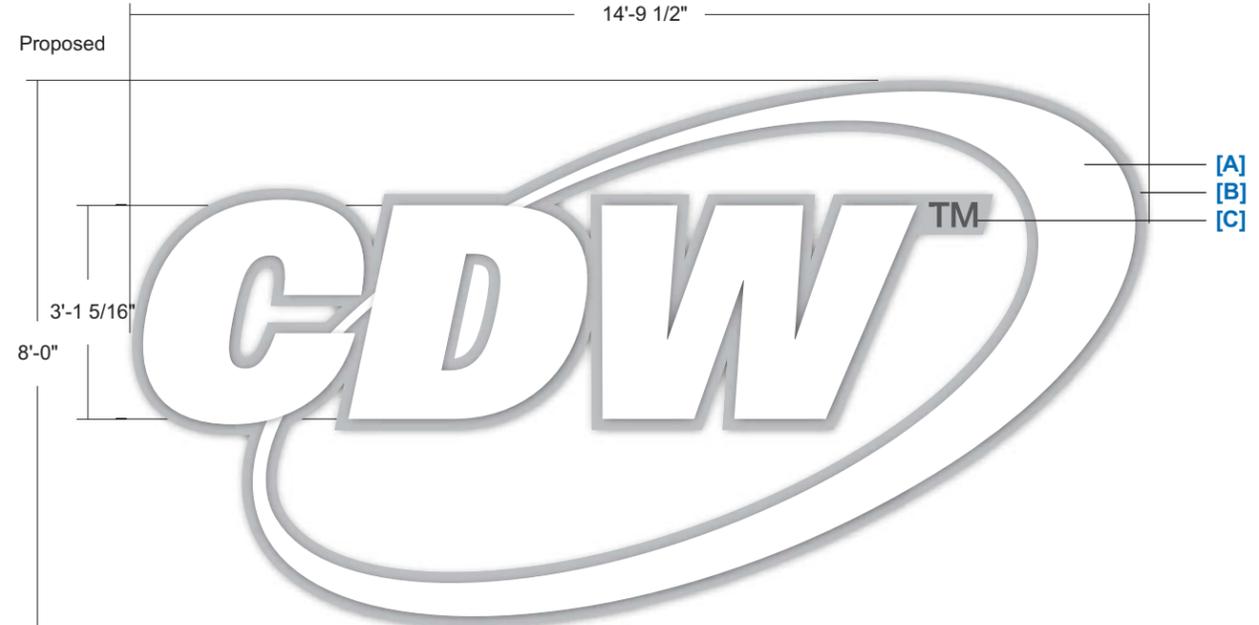
Lighting: LED
 Voltage: tbd
 Description: Back-Lit [Remote]
 Face Color: white
 Return Color: white
 Installation: Stand-off [2 1/2" max. for optimal light spread] to backer panel

[B] - FLAT PANEL

Material: Aluminum
 Depth: .080"
 Face Color: grey/ tbd
 Backside Color: grey/ tbd
 Installation: flush to wall

[C] - GRAPHICS/ TM

Material: Vinyl
 Color: grey installed on backer panel



Proposed South Elevation/ Day View/ White Letters & Swoosh with Gray Backer Panel for Contrast



Signs at requested variance size.



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 414.453.4010 www.poblocki.com

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CBRE

Lincolnshire, IL

Scale:

Original Page Size:

Notes

**CONFIRM ARTWORK
 CALLOUT B/ GREY COLOR**

Revisions

REV	DESCRIPTION	BY	DATE
01	PH placement	jh	12/8/15

Rep.: Katie Conroy
 Drawn By: Jean Hardeman Orig. Date: 12/1/15

Sign Loc. No.

LL-03

Lit Letters
 Sign. Type

69595 **C01**
 OPP - Project - Job No. Design

SIGN SPECIFICATIONS

[A] - ILLUMINATED LETTERS/ SWOOSH

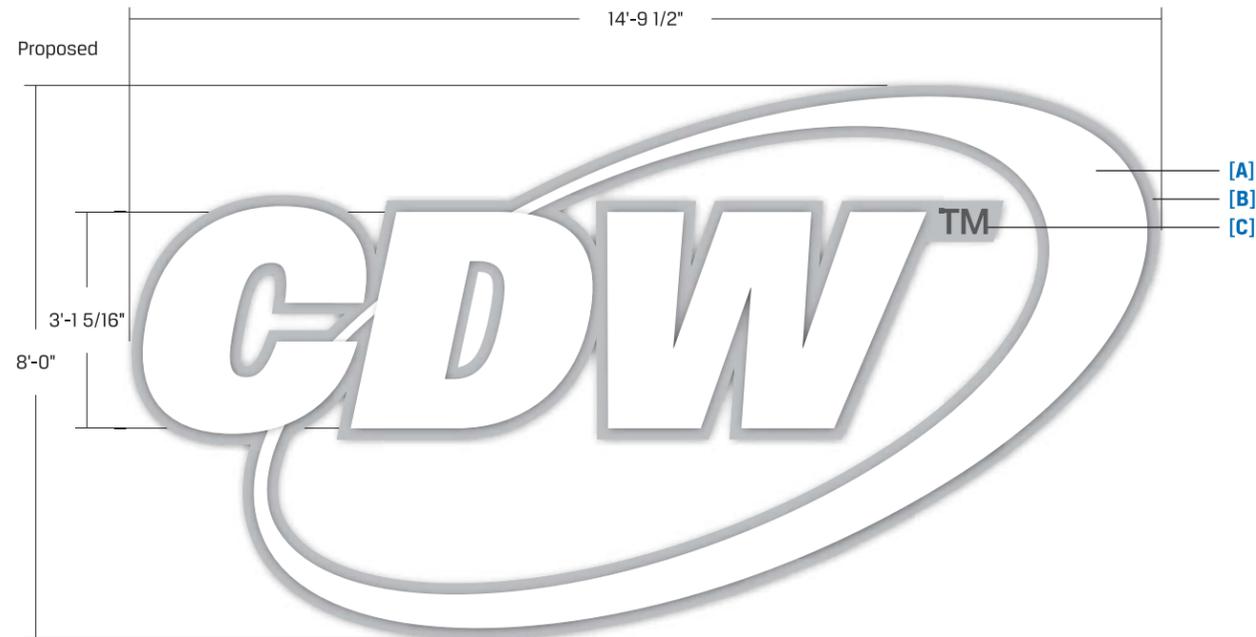
Lighting: LED
 Voltage: tbd
 Description: Back-Lit [Remote]
 Face Color: white
 Return Color: white
 Installation: Stand-off [2 1/2" max. for optimal light spread] to backer panel

[B] - FLAT PANEL

Material: Aluminum
 Depth: .080"
 Face Color: grey/ tbd
 Backside Color: grey/ tbd
 Installation: support to come over glass wall installed into back of wall/ construction tbd

[C] - GRAPHICS/ TM

Material: Vinyl
 Color: grey installed on backer panel



Proposed Night View



Proposed Day View - Suggest White Letters & Swoosh with Grey Backer Panel for Contrast



Signs at requested variance size.



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Project

CBRE
 Lincolnshire, IL

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Original Page Size: 11" x 17"

Notes

**CONFIRM ARTWORK
 CALLOUT B GREY COLOR**

Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Katie Conroy

Drawn By: Jean Hardeman Orig. Date: 12/1/15

Sign Loc. No.

LL-04

Lit Letters

Sign. Type

69595

OPP - Project - Job No.

C01

Design



* 650 viewing feet

Photo simulation of CDW parking deck sign proposal



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Project

CBRE

Lincolnshire, IL

Scale: 3/8"=1'

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Rep.: Katie Conroy

Drawn By: Jean Hardeman Orig. Date: 12/1/15

Sign Loc. No.

PH-04

Photo Edit

Sign. Type

69595

OPP - Project - Job No.

C01

Design



1

2

3



4

5

6

Drive By of CDW Parking Structure Heading South on Interstate 94



COSTCO Signage Driving South on Interstate 94



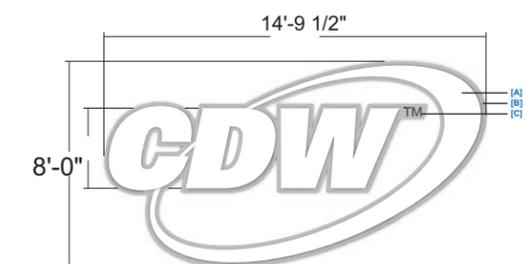
Building 300



Building 200



Building 100



Signs at requested variance size.



LTD Commodities Signage from Route 22



La Quinta Signage from Tri-State International Parking

Walter E Smithe Signage on Milwaukee



Toms-Price Signage on Milwaukee





BARNES & NOBLE
BOOKSELLERS

8'-5"

4'-6"

Barnes & Noble Signage in Lincolnshire



Existing CDW Signage in Mettawa



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Senior Project Manager

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www.cbre.com

February 2, 2016

Mayor Brandt and the Village of Lincolnshire Board of Trustees
Attention: Steve McNellis
Community and Economic Development Director
City of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069

Re: CDW 25/75 Tri-State International Building Wall Signage "Findings of Fact"

Dear Mayor Brandt and Board of Trustees:

As presented in previous letters and exhibits, CDW is requesting to amend the original 1986 PUD for Phase II of the Tri-State International office Center to permit wall signage exceptions from the Village Sign Code. CDW is requesting the following exceptions be made:

- 1) Maximum Height of Sign Face - from 3' permitted to 8'
- 2) Maximum Height of Logo - from 30" permitted to 8' (as entire sign is a logo)
- 3) Permit wall signs to cover an Architectural Feature and a window, which is prohibited per the Sign Code.

In addition we offer the Village Board the opportunity to amend wall signage permissibility for the entire site to permit all buildings to have the same size wall signs as CDW is proposing. Ownership of property welcomes this approach.

It is our understanding that at the conclusion of the public hearing regarding this matter on February 8, 2016, the Zoning Board shall submit written recommendation to the Village Board of Trustees. No special use shall be recommended by the Zoning Board, unless it shall find that each and every one of the following standards are met. See below for how "Findings of Fact" will be addressed:

1. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject premises for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.

A: All signage will only be tollway facing as not to visually impact the surrounding neighborhood to the north, south and west of the complex.

2. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

A: All signage will be building mounted and will not affect the surrounding property for uses permitted in the district.

3. Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.

A: Additions of signage will be accessible by existing access roads or through adjacent setbacks. No additional utilities other than power for halo lit signs will need to be provided , no additional drainage and/or other facilities will not need to be provided in accordance with any signage additions.

4. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

A: Wall signage will not impede ingress or egress as to minimize traffic congestion in the public streets. Signage will be at tops of the buildings with no effect on existing roadways.

5. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village as amended.

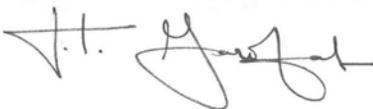
A: This office campus property is in the Professional Office Designation in the Comprehensive Plan, which is a district which envision limited building wall signage identifying major office tenants, rather than multiple building wall signs found in retail commercial environments.

6. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be varied pursuant to Section 6-14-9 of this Chapter.

A: proposed signage meets all regulations of the Corridor Commercial Sign District in which it is located, with the exception of the requested relief.

Please review and let us know if you have any questions or concerns. We look forward to continuing our work with the Village of Lincolnshire to expedite this process.

Sincerely,



J.T. Garofalo

Cc: Melissa Speers (Director Transaction Management for CDW)
Kelly Morrissey (Colliers)
Katie Conroy (Poblocki Signage)

**VILLAGE OF LINCOLNSHIRE
LAKE COUNTY, ILLINOIS**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING
A SPECIAL USE FOR A PLANNED UNIT DEVELOPEMNT
TO REVISE A COMPREHENSIVE SIGN PACKAGE
(ORDINANCE 03-1829-06)**

WHEREAS, the Village of Lincolnshire is an Illinois home rule municipal corporation operating under the Constitution and Laws of the State of Illinois; and

WHEREAS, the 2003 the Village approved Ordinance No. 03-1829-06, amending the Planned Unit Development for the Tri-State International Office Center (Tri-State O.C.) to permit wall signage on all five buildings in the office campus, with specific conditions; and

WHEREAS, in 2009 the Village adopted comprehensive amendments to the sign regulations described in Title 12 of the Village Code within which it relaxed the long-standing prohibition on wall signage for multi-tenant office buildings throughout the Village; and

WHEREAS, CDW, LLC (“CDW”) recently constructed a parking deck, and renovated the buildings commonly known as 25 & 75 Tri-State International within the Tri-State O.C. for their new corporate offices, thereby becoming the anchor tenant of the Tri-State O.C.; and

WHEREAS, CDW desires to improve two wall signs which exceed the dimensional limitations described for wall signs in the Corridor Commercial Sign District and the regulations described in Ordinance No. 03-1829-06 (the “CDW Application”);

WHEREAS, the owners of the Tri-State O.C., GA Tri-State Office Park, LLC (the “Owner”) desire to receive conceptual approval for an update to the comprehensive sign package for the development which is not inconsistent with the dimensions for wall signs for which CDW seeks approval (the Tri-State O.C. Application”); and

WHEREAS, CDW Application and Tri-State O.C. Application are collectively referred to as the “PUD Application;” and

WHEREAS, a public hearing on the PUD Application was held by the Mayor and Board of Trustees on February 8, 2016, pursuant to public notice thereof published in the *Lincolnshire Review* on _____, 2016, and personal notice mailed to all property owners required to receive notice thereof under Chapter 6 of the Village Code; and

WHEREAS, the Village Board finds the improvements and designs described in the PUD Application to be consistent with the stated purpose of the PUD regulations, shall enhance the aesthetics and property value of the Tri-State O.C., is in the best interest of the Village and shall advance the general health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lincolnshire, in exercise of its home rule authority, as follows:

Section 1. Recitals; Findings of Fact. The Mayor and Board of Trustees find the foregoing recitals to be represent a complete and accurate description of the facts pertinent to this matter and incorporate them as though fully stated herein. The Mayor and Board of Trustees hereby adopt the findings of fact presented by CDW and the Owner, attached hereto as Exhibit A, as their own findings of fact and incorporate them as though fully set forth herein.

Section 2. Subject Territory. Section 1 of Ordinance No. 03-1829-06 is hereby amended by striking the entire legal description therein contained and replacing it with the following:

The Property Index Numbers (PIN) of the property which is the subject of this Ordinance are 15-13-403-040, 15-24-209-019 and 16-19-101-039, commonly known as 25, 75, 100, 200 and 300 Tri-State International in the Tri-State International Office Center, located at the Southwest corner of Half Day Road (Rt. 22) and Interstate Tollway 94

Section 3. PUD Amendment. Section 2 of Ordinance No. 03-1829-06 is hereby amended by striking it in its entirety and replacing it with the following:

SECTION 2: Ordinance No. 70-230-12, as amended by Ordinance No. 78-532-21, Ordinance No. 78-541-32 and Ordinance No. 82-722-29 (collectively, the “Tristate O.C. PUD Ordinance”), is hereby amended as described below:

A. With respect to the wall signs facing Interstate Highway 94 on the buildings identified as 25 and 75 Tri-State International and the parking garage adjacent thereto, and subject to compliance with the conditions described in Section 3, CDW is granted approval for exceptions from the Sign Code to permit:

1. Sign faces with a height of 8 feet, rather than the permitted 3’ maximum height in Village Code section 12-9-1(B)(1);
2. Logo sign faces to a height of 8 feet, rather than the permitted 30” maximum height in Village Code section 12-9-1(B)(1); and
3. Wall signs/logos to cover a window and/or architectural feature, which is otherwise prohibited by Village Code section 12-9-1(B)(6).

B. With respect to any wall signs facing Interstate Highway 94 on the buildings identified as 100, 200 and 300 Tri-State International, the Owner is granted conceptual approval for exceptions from the Sign Code to permit:

1. Sign faces with a letter height of 3 feet, rather than the permitted 24” maximum height in Village Code section 12-9-1(B)(1).

Notwithstanding the foregoing, all wall signs facing Interstate Highway 94 on the buildings identified as 100, 200 and 300 Tri-State International which exceed the standards described in Section 12-9-1(B) of the Village Code may not be erected without first submitting to the Architectural Review Board for review and recommendation and receiving the approval of the Village Board, without further hearing.

Section 4. Conditions. Section 3 of Ordinance No. 03-1829-06 is hereby amended by striking it in its entirety and replacing it with the following:

SECTION 3: The following exhibits shall be attached to and made a part of this Ordinance and, except as expressly modified by this Ordinance, all covenants, standards, requirements, designs or specifications in such exhibits shall be binding on CDW and the Owner:

A. Presentation Packet from J.T. Garofalo of CBRE, date stamped received February 2, 2016; and

B. .

Section 5. Repealer. All findings, provisions, conditions and limitations described in the Tristate O.C. PUD Ordinance or Ordinance 03-1829-06 which are contrary to or conflict with the provisions hereof, or the findings of fact adopted herein, are hereby repealed. Furthermore, the specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent that there might be any conflict. Except for the foregoing limitation, the development of the Tri-State O.C. is subject to all terms and conditions of applicable ordinances and regulations of the Village of Lincolnshire.

Section 6. Penalties. Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) per offense, with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

Section 7. Inspection. The premises shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other laws or regulations.

Section 8. Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law. Provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by CDW and the Owner of the Subject Property, or such other parties in interest

consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted by the Corporate Authorities by motion.

PASSED this ____ day of _____, 2016, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

APPROVED this ____ day of _____, 2016.

Elizabeth Brandt, Mayor

ATTEST:

Barbara Mastandrea, Village Clerk

Published by me in pamphlet form

this ____ day of _____, 2016.

OWNER:

GA Tri-State Office Park, LLC

ACKNOWLEDGED and ACCEPTED
this ___ day of _____, 2016.

By:

Its:

Subscribed and sworn to before me
This ___ day of _____, 2016.

Notary Public

CDW:

CDW, LLC

ACKNOWLEDGED and ACCEPTED
this ___ day of _____, 2016.

By:

Its:

Subscribed and sworn to before me
This ___ day of _____, 2016.

Notary Public

**REQUEST FOR BOARD ACTION
Architectural Review Board Meeting
January 19, 2016**

Subject:	Tri-State International Office Center – Wall Signage Plan
Action Requested:	Consideration of a Wall Signage Plan for Tri-State International Office Center, located at the southwest corner of Rt. 22 and Interstate Tollway 94
Petitioner:	CDW LLC & GA Tri-State Office Park LLC
Originated By/Contact:	Steve McNellis, Director Department of Community & Economic Development
Advisory Board Review:	Architectural Review Board

Background:

- In early 2003, the Village Board approved Ordinance No. 03-1829-06 (attached), amending the Planned Unit Development for the Tri-State International Office Center (Tri-State O.C.) to permit wall signage on all five buildings in the office campus, with specific conditions. At that time, wall signage on multi-tenant office buildings was not permitted in the Village's Sign Code.
- Two Tri-State tenants took advantage of this new permissibility and installed signs. After both tenants ultimately left the Center, that signage was removed and there have been no requests for wall signage at this property since.
- In 2009, the Village relaxed the long-standing prohibition on wall signage for multi-tenant office buildings throughout the Village, as part of a larger Sign Code revamp (see attached excerpt). At that time, specific size, illumination and locational requirements were approved for multi-tenant office building wall signs. No applications for wall signage at this property have been received since 2009
- CDW recently constructed a parking deck, and renovated 25 & 75 Tri-State International for their new corporate offices.
- This past November, the ARB approved changes to a previously-approved ground signage plan for the Tri-State O.C. to incorporate CDW branding and the new Center name, CDW Center.
- CDW approached the Village last November with a request to permit two wall signs that did not comply with the current Village Code or the 2003 wall signage plan approval for Tri-State International O.C.
- Upon Staff recommendation and the consent of CDW, the Village Board agreed to a request from the owners of the Tri-State International O.C. to consider an expanded wall signage request that addresses CDW's request and future similar requests for all buildings in the Tri-State International O.C.

Project Summary:

- CDW is requesting two wall signs as part of this proposal; one on the top band of the east façade of the 75 Tri-State International building and the other on a glass architectural feature on the Tollway "on-ramp facing" elevation of the new CDW parking deck.
- The signs are identical logo signs and consist of white, backlit letters.
- Proposed illumination meets Village Code, however the signs do not comply with Village Code with regard to the following:
 1. Proposed maximum height of Sign Face = 8'. Code-permitted = 3'

2. Proposed maximum height of logo = 8' (entire sign is a logo). Code-permitted = 30"
 3. Proposed wall signs to cover an architectural feature (glass panels on the parking deck) and a window (partial coverage on 75 building wall sign). Code prohibits such coverage.
- Given the similar setbacks and heights of the 100-300 Tri-State International O.C. buildings, the Village Board agreed it is appropriate to expand this request to an amendment for the entire office complex, setting the baseline size requirements for all wall signage facing the Tollway on all buildings.
 - The ARB is requested to consider CDW's specific request for their two signs, in the context of a larger request to approve a template for consideration of similar-sized signs on all buildings in the Tri-State International O.C. The ARB's recommendation on the design merits of this request will be considered as part of a Public Hearing for an amendment to the Tri-State International O.C. PUD, which will be held by the Village Board in February.
 - The Center-wide request is only for Tollway-facing signs, as depicted on the Site Plan attachment in the presentation packet.

Staff Comments:

- The proposal is to permit wall signs of the sizes noted in the Project Summary and depicted in the CDW specific request. If recommended for approval by the ARB, as presented, this would result in permissibility throughout this specific office campus for overall wall sign faces and logo heights up to 8' tall, and signs would be permitted to extend (overlap) windows and other architectural features, such as the glass feature on the CDW parking deck.
- However, per the Village Board's direction, while each individual request would have these sign rights, the specific design of each individual sign request must still be reviewed by the ARB and Village Board.
- The Petitioners have provided photo simulations of their proposed wall signage at a code-compliant size and location, and the requested size and location. Staff believes the contrast in size is a stark difference and that 30" or even 3' tall signs would be ineffective for the office buildings along the Tollway in this location.
- Conditions for the proposed wall sign on the parking deck are very different, given the approximate 75' distance to the Tollway on-ramp from the deck, as opposed to office building setbacks from the Tollway of between 250' – 450'.
- If the goal is to utilize the parking deck sign for identification southbound on the Tollway, the photo simulation in the packet depicting the sign from the Tollway itself shows a more proportional sign, especially given the length of the parking deck. However, the sign would appear much larger from the on-ramp.

At the Preliminary Evaluation meeting, the Village Board requested views of other wall signs on buildings across the Tollway intersection (in Bannockburn), to be able to make an area-wide comparison (see presentation packet). Note the LTD Commodities sign is approximately 3' tall, which would be slightly larger than the 30" the current Village Code permits for logo wall signs on office buildings. The LaQuinta sign is approximately 8' tall and would be consistent with the height requirement being considered in this request.

Staff Recommendation:

Staff recommends approval of a wall signage plan for the Tri-State International O.C., as depicted in the attached presentation packet, with the following conditions:

- 1) Individual wall sign requests must be reviewed and approved by the ARB and Village Board.
- 2) This approval applies only to tollway-facing signs in locations depicted on the Site Plan in the presentation packet.
- 3) The sign plans and details for the proposed CDW wall signs are approved

Recommendation:

The Architectural Review Board moves to approve and recommend to the Village Board approval of a Wall Signage Plan for the Tri-State International Office Center to permit wall signs at specific dimensions and locations presented in a presentation packet, date stamped received January 14, 2016, subject to the Staff recommendations in a memorandum dated January 19, 2016, and further subject to

{Insert any additional conditions or modifications desired by the Architectural review Board}

Reports and Documents Attached:

- Presentation Packet from J.T. Garofalo of CBRE, dated January 14, 2016.
- Ordinance No. 03-1829-06, granting a Revised Comprehensive Signage Plan for Tri-State Intl. Office Center
- Excerpt from Village Sign Code section 12-9-1(B)

Meeting History	
Preliminary Evaluation Meeting (COW)	December 14, 2015
Current ARB Review	January 19, 2016



have to replace it soon given new Energy Code requirements. **Member Gulatee** recommended the School District consider using a Schott anti-glare glass product for the new windows which are glare-free and used in museums and other buildings (there are examples in Chicago). He also suggested installing vertical fins on the building to prevent glare. **Mr. Gassen** stated he is familiar with this product but am concerned about costs. The proposed glass will produce 12-18% glare.

Member Kennerley recommended swapping some of the proposed plantings along the south with evergreen bushes such as boxwood for added winter interest. They are also hardy enough and kid-friendly. **Mr. Laffin** stated they have no objections to rearranging the landscape plan to incorporate it provided they maintain the same coverage for cost reasons.

***Member Kennerley** moved and **Member Gulatee** seconded a motion to approve and recommend to the Village Board approval of Site and Building Design Plans for a proposed 14,000 square foot building addition for Sprague Elementary School, located at 2425 Riverwoods Road, as presented at a meeting held January 19, 2016 and in a presentation packet dated January 11, 2016 from Wight & Company, with cover letter dated January 14, 2016, and further subject to incorporating aluminum coping into the rooftop screen, installing the rooftop screen flush with the existing wall and replacing some of the proposed plantings along the south elevation with evergreen bushes such as boxwood.*

The motion passed unanimously by voice vote.

Member Jensen departed the meeting at 8:55 p.m.

Trustee Hancock asked staff whether adjacent residents are aware of the school proposal. **Economic Development Coordinator Zozulya** stated all adjacent property owners within a 250' radius of the property were notified of the January 12, 2016 Public Hearing and given the opportunity to review proposed plans in the Community & Economic Development Department office. The Public Hearing was continued to January 26, 2016. The School District's request will then be submitted to the Village Board for final review.

- * 3.3 Consideration of a Wall Signage Plan for Tri-State International Office Center, located at the southwest corner of Rt. 22 and Interstate Tollway 94 (CDW LLC and GA Tri-State Office Park LLC)

Ted Garnett, Garnett Architects, representing the Petitioner, explained CDW's request, reviewed photo simulations for a new wall sign on the Tollway-facing elevation on Building #75, a new CDW sign on the Tollway-facing glass element of the parking garage and approval of 8' tall signage for Tollway-facing elevations for the rest of the campus. All signs would have white lettering with halo illumination. He showed comparable examples from Bannockburn buildings adjacent to the Tollway for LTD Commodities (3' tall, facing Half Day Road) and La Quinta Hotel (8', facing the Tollway). The CDW signs are proposed at 8' tall (with 3' tall letters and a swoosh, for the overall height of 8'). The proposed garage sign would be visible the most as viewed from the on-ramp.



Trustee Hancock stated he is concerned about the size of the proposed sign on the parking deck as it will be very big as viewed from the ramp. He felt the photo simulations underestimated the size of the sign. He is also concerned the glass background makes the sign look like a billboard sign. He recommends the sign be made smaller and relocated from the glass onto the deck wall to the south.

Economic Development Coordinator Zozulya stated staff is in support of the overall request. She noted per the Village Board's direction, while each individual wall sign request would have these sign rights, the specific design of each individual sign request must still be reviewed by the ARB and Village Board. Staff recommends approval of the CDW request as well as the overall sign package for the Center as a whole with the following conditions:

- Individual wall sign requests must be reviewed and approved by the ARB and Village Board.
- This approval applies only to tollway-facing signs in locations depicted on the Site Plan in the presentation packet.
- The sign plans and details for the proposed CDW wall signs are approved.

Chairman Grover inquired why the proposed building sign overhangs and does not fit into the building band. **Mr. Garnett** stated they wanted to install a larger sign. If the sign were to fit the band, it would result in a 25% size reduction.

Member Hardnock said he does not object to the parking deck sign being placed on the glass. He would welcome a red sign in CDW colors. The sign would only be visible at night. He is in favor of the building sign overhanging on the building façade both ways.

Member Baskin stated he believes an 8' tall sign is too big while 3' too small. He believes the sign needs to be scaled down. He requested the parking deck sign be relocated from the glass onto the deck wall.

Member Kennerley stated she likes the look of the new parking deck and has no objections to the building wall sign but feels the parking deck sign is disproportionately big. She is concerned it would be too bright at the proposed size.

Mr. Garnett said they could relocate the sign onto the parking deck wall and make it overhang.

Member Gulatee stated he supports the parking deck sign in the proposed glass location at 8' tall.

Kelly Morrissey, CDW Property Manager, Colliers International, stated the deck is 398' long. **Katie Conroy, Poblocki Signs**, the industry standard for highway-oriented signs is 3' in height due to high speed limits. People will only focus on the letters, which are proposed at 3' tall, not the swoosh.



Chairman Grover asked staff whether they had the height of the previously approved Open Text wall sign which has since been removed. **Economic Development Coordinator Zozulya** stated she did not have that information with her. She said staff will include it in a memo to the Village Board when this request is submitted to them for approval.

Chairman Grover stated he is not able to determine whether 8' tall wall signs are appropriate for the rest of the CDW campus as he does not know the design and placement of those signs (e.g., how tall the letters would be as opposed to other sign elements).

Member Hardnock expressed concerns about allowing 8' tall signs as some tenants could request 8' tall letters.

Ms. Morrissey stated two other companies are interested in applying for wall signs. She asked for the ARB's consideration of allowing 3' tall lettering for future signs so it is part of the approved sign package for consistency. This would allow tenants to install such signs with ARB and Village Board approval without a PUD amendment.

Economic Development Coordinator stated 3' tall letters are already permitted by code for this location. She requested the ARB's affirmation of that in the event the code would not apply to the Tristate PUD. She also stated the code-permitted sign length is 18'. The proposed CDW building sign is approximately 15' in length. **Ms. Morrissey** stated 3' tall letters with the overall sign length of up to 18' would meet their tenant needs. Two companies that are considering wall signage would only install letters and not logos.

As there was no consensus on the ARB regarding the proposed CDW building wall sign, parking deck sign and the overall wall sign height baseline for Tollway-facing buildings within the Center, Chairman Grover requested a roll call.

Building Wall Sign

Member Gulatee moved and **Member Hardnock** seconded a motion to approve and recommend to the Village Board approval of a proposed 75 Tristate building wall sign presented in a presentation packet, date stamped received January 14, 2016, subject to relocating the sign 2' from the edge of the building and centering it on the band so it protrudes 5" above and 5" below the parapet wall allowing it to overhang.

Yeas: Hardnock, Gulatee, Kennerley, Barranco

Nays: Grover, Baskin

The motion passed.

Parking Deck Sign

Member Gulatee moved and **Member Hardnock** seconded a motion to approve and recommend to the Village Board approval of a sign on the parking deck glass



element as presented in a presentation packet, date stamped received January 14, 2016.

Yeas: Hardnock, Gulatee, Barranco

Nays: Grover, Kennerley and Baskin

Economic Development Coordinator Zozulya noted the motion resulted in a tie and will require 2/3 of the Village Board to approve the request.

Center-Wide Tollway-Facing Signage

Member Gulatee moved and **Member Hardnock** seconded a motion to approve and recommend to the Village Board approval of a Wall Signage Plan for the Tri-State International Office Center to permit wall signs in locations presented in a presentation packet, date stamped received January 14, 2016, subject to sign lettering not exceeding 3' in height.

Yeas: Grover, Hardnock, Kennerley, Gulatee and Barranco

Nays: Baskin

The motion passed.

3.4 Preliminary review of Site Design, Landscape Plans and Building Elevations for a 44-unit Lincolnshire Trails Townhome PUD, 14600 Riverside Rd (KZF Development/Stack Real Estate)

Jeff Rothbart of Stack Real Estate, Steve Friedman and Danny Zivin of KZF provided background information on the proposed 44-unit townhome subdivision off Riverside Road. The subdivision is targeted at empty nesters in their 50's as well as divorcees. They believe this will be a successful subdivision due to its safety, security and privacy. This property was previously approved for 6 single-family homes.

The proposed subdivision is modeled after the newly constructed subdivision in Northbrook called Meadow Ridge, located off Techny Road. Village Trustees and staff had the opportunity to tour the subdivision. The homes will have first floor master bedrooms and offices with upstairs intended for storage. No basements are proposed. The buildable area of the property is 6.8 acres due to the floodway.

Economic Development Coordinator Zozulya stated this is a workshop meeting to obtain the ARB's initial feedback about the proposed subdivision. The Petitioner would like to incorporate the ARB's comments into their design plans and bring back a full design packet for the ARB's review and recommendation in February. No recommendation is sought tonight. Staff would like to note the following:

- One of the comments expressed by the Village Board at the preliminary evaluation was a request to adjust the position of the 4-unit building at the eastern entrance (Building #27-30). This can be satisfied by reducing the

REQUEST FOR BOARD ACTION
Committee of the Whole
February 8, 2016

Subject: Building Additions at Half Day School at 239 Olde Half Day Road & Laura B. Sprague Elementary School at 2425 Riverwoods Road.

Action Requested:

3.13 Consideration of a Zoning Board recommendation regarding Rezoning from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for a school parking lot at the NW corner of Half Day school located at 239 Olde Half Day Road

3.14 Consideration of Zoning Board and Architectural Review Board recommendations regarding a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 24,500 square foot building addition, and related design plans for Half Day school located at 239 Olde Half Day Road

3.15 Consideration of Zoning Board and Architectural Review Board recommendations regarding a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 14,000 square foot building addition, and related design plans for Laura B. Sprague Elementary School, located at 2425 Riverwoods Road

Petitioner: Lincolnshire-Prairie View School District 103

Originated By/Contact: Steve McNellis, Director
Department of Community and Economic Development

Referred To: Zoning Board & Architectural Review Board

3.13 & 3.14 Half Day School (239 Olde Half Day Road):

Zoning Board Recommendations –

Rezoning – At their January 26th Special meeting, the Zoning Board unanimously recommended Village Board approval to Rezone the parking lot at the northwest corner of Half Day School from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District, as presented.

Special Use Permit - At their January 26th Special meeting, the Zoning Board unanimously recommended the Village Board approve a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 24,500 square foot building addition for Half Day school with the following stipulations:

1. New “Drop-off/Pick-Up Entrance” sign be added at the west driveway access to the site.
2. School District 103 work with the Village Board and Village Staff to coordinate approvals for a crosswalk on Olde Half Day Road at a mutually-agreeable location.

3. The proposed detention basin location, size and proposed planting plan be approved by Lake County Stormwater Management Commission (SMC).
4. Approval of the seven requested Zoning Exceptions (see attachment)

The School District is amenable to the stipulations of approval.

Architectural Review Board Recommendation –

At their January 19th Regular meeting, the Architectural Review Board unanimously recommend the Village Board approve Site and Building Design Plans for a proposed 24,500 square foot building addition and associated parking lot relocation for Half Day School subject to incorporating the aluminum coping found on the building into the new rooftop screen design.

The School District is amenable to the stipulation for approval.

3.15 Laura B. Sprague Elementary School (2425 Riverwoods Road):

Zoning Board Recommendation –

At their January 26th Special meeting, the Zoning Board unanimously recommended Village Board approval of a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 14,000 square foot building addition, for Laura B. Sprague Elementary School with the following stipulations:

1. Approval of the six requested Zoning Exceptions (see attachment)
2. The Zoning Board requested the Village Board take into consideration other issues, including the School District working with the adjacent neighbors to address concerns.

The second stipulation highlights the Zoning Board's concerns that the School District needs to address other issues not necessarily under the Zoning Board's purview. See attached "Summary of Neighbor Issues" document.

The School District is amenable to the stipulations for approval.

Architectural Review Board Recommendation –

At their January 19th Regular meeting, the Architectural Review Board unanimously recommended Village Board approval of Site and Building Design Plans for a proposed 14,000 square foot building addition for Sprague Elementary School subject to incorporating aluminum coping into the rooftop screen, installing the rooftop screen flush with the existing wall and replacing some of the proposed plantings along the south elevation with evergreen bushes such as boxwood.

The School District is amenable to the stipulations for approval. The revised Rooftop Screening and addition of Boxwood evergreen bushes are depicted on the attached plans.

Staff Recommendation:

Staff recommends requests for a Special use permit and Rezoning at Half Day School and a Special Use Permit at Laura B. Sprague Elementary School be placed on the February 22nd Consent Agenda for approval.

Reports and Documents Attached:

- Correspondence from School District 103 Superintendent Dr. Scott Warren, dated February 2, 2016.
- Summary of Neighbor Issues, prepared by Staff, dated February 3, 2016.
- Requested Zoning Exceptions, prepared by Staff, dated January 12, 2016.
- Presentation packet, submitted by Wight & Company, on behalf of Lincolnshire-Prairie View School District 103, dated February 2, 2016.
- Unapproved Minutes of the January 26, 2016 Special Zoning Board meeting
- Unapproved Minutes of the January 12, 2016 Zoning Board meeting
- Staff Memorandum to the Zoning Board, dated January 12, 2016
- Unapproved Minutes of the January 19, 2016 ARB
- Staff Memorandum to the ARB, dated January 19, 2016

Meeting History	
VB – Preliminary Evaluation (COW):	December 14, 2015
Zoning Board – Public Hearing	January 12, 2016
Architectural Review Board	January 19, 2016
Zoning Board – Continued Public Hearing	January 26, 2016
Current Committee of the Whole review	February 8, 2016



Lincolnshire-Prairie View School District 103
Administration Offices

1370 N. Riverwoods Road • Lincolnshire, IL 60069
847/295-4030 • FAX 847/295-9196
<http://www.d103.org>

Scott H. Warren, Ed.D.
Superintendent

February 2, 2016

Dear Mayor Brandt and Village Trustees,

At the recent Village Zoning Board meetings and emails sent to the Village regarding the construction project at Sprague School, several issues were raised from the neighbors, including construction noise, traffic, light reflection from the windows, lighting, dumpster enclosures, early morning trash pick up, early morning deliveries, flooding on the north side of the property, and onsite storage units. The District is committed to working with our neighbors to address these issues and to create an open dialogue to ensure the impact to our neighboring residents is minimized.

Since the Zoning Board meeting on January 26, 2016, the District has reviewed many of the concerns that were raised and is making adjustments immediately. The lighting in the parking lots and surrounding the school are being reduced at an earlier time and to lower levels to lessen the impact in the neighborhood. Early morning trash pickup and deliveries are being reviewed to see when they can be completed later in the day. The storage units will be removed when construction is completed, as they will no longer be needed with the additional space at Sprague. The District is working with our construction management firm, Gilbane Building Company, regarding the construction schedules, traffic, construction noise and construction hours. Our architect firm, Wight and Co. continues to review the light reflection and dumpster enclosures to minimize the impact to our neighbors. Any flooding issues will be addressed during the construction phase to ensure we are in compliance with Storm Water Management rules.

The District is holding a community meeting on February 4, 2016 at 7:00 p.m. at Sprague School to continue the conversation regarding the impacts of construction and the day-to-day operations of the school. I will update the Village Board summarizing the meeting to keep you informed. Understanding that living near a school poses unique situations for adjacent property owners; the District is committed to working with our neighbors of Sprague School to make the experience a positive one.

Sincerely,

Scott Warren, Superintendent
Lincolnshire- Prairie View School District 103



Summary of Neighbor Issues Raised at January 12th & 26th Zoning Board Public Hearings

Following, is a list of issues discussed at the two January Zoning Board meetings, regarding the District 103 school projects. This recap is provided to aid the Village Board in reviewing neighbor concerns raised related to the proposed addition at Sprague Elementary School.

Drainage & Detention Pond – Neighbors raised concerns regarding the need for a detention pond and drainage study. Lake County Stormwater Management Commission (LCSMC) confirmed the Petitioner's Engineer assessment no detention pond is necessary in this location, given the minimal extent of increased impervious surface. The Village's Staff and Consulting Engineer concur with this assessment.

At the January 26th meeting, Staff was asked why a drainage study was not completed. Staff explained the limited change in topography in an isolated area for the proposed addition is straightforward. The vast majority of stormwater will continue to drain westerly toward Riverwoods Road, as is the current prevailing pattern. Preliminary Grading is depicted on the submitted Site Plan. This is the extent of detail on plans typically received at this juncture for projects throughout the Village. Minimal drainage will be directed from the southeast corner of the new addition to the parking lot, but will then sheet-flow west to Riverwoods Road. The Village will issue a Sitework Permit for this project, at which time Final Engineering and Grading Plans will be submitted and approved.

Traffic – There was an inquiry at the January 26th Zoning Board meeting as to why a Traffic Study was not completed for the proposed Sprague addition. Unlike the proposed Half Day School addition, there is no increased student generation impact anticipated at Sprague School. District 103 staff informed the Village the Sprague addition is designed to assist with existing cramped facilities and not to accommodate additional students. Residents raised a concern about the possibility of a future enrollment increase and related traffic impacts. However, it's important to note the Village reviews projects, whether commercial, office or institutional, based on the conditions projected at the time of review. The school is not projecting an enrollment increase within this new space. Since unknown future conditions cannot be predicted at the time of initial approvals, they are not part of Village review.

Lighting – Neighbors voiced concern regarding an increase in light intensity around the perimeter of Sprague School and in the parking lot in the last couple of years. Any increase in light was undertaken by the School District without the Village's knowledge. Lighting, as it relates to a Building Permit, is a gray area as the School District is subject to State review of any Building Permits, and not local enforcement. The lighting concerns are related only to the existing conditions, as no new lighting is requested for the proposed addition. The School District notes in an attached letter from Superintendent Scott Warren they will be reducing the lighting at an earlier time and to lower levels.

Dumpster Enclosure – Complaints arose at the Zoning Board meetings regarding the lack of a functional dumpster enclosure. The Village’s Dumpster Enclosure requirements were added to the Village Code at the end of 2014. This results in a number of existing properties, throughout the Village, not in compliance with current regulations. Staff’s position has been to push for enclosures as properties seek construction permits and building upgrades. The School District is now addressing this issue, as described in an attached letter from Superintendent Scott Warren in which he notes the District is assessing dumpster enclosures to minimize the impact on neighbors. Staff provided the District the Village dumpster enclosure requirements.

Construction Activity & Hours – The two most cited concerns raised by adjacent property owners at the Zoning Board Public Hearings involved previous construction work at the school. Those concerns included contractors starting work before 7 A.M. on weekdays and construction traffic. Village Building Code provisions found in Section 5-1-11 strictly limit construction hours in Lincolnshire. Attorney Simon confirms the District’s contractors are subject to Village Code provisions pertaining to hours of work. Any Contractor working outside permitted hours is subject to a ticket issued by the Police department and fines. Staff will work with the School District and their General Contractor to impress upon everyone the necessity to conform to Village Code. The School’s General Contractor contacted Staff a few days ago to schedule a meeting to discuss this coordination.

Construction traffic access points and entry roads are not typically discussed during zoning review. This is a matter reviewed by the Village Engineer during review and approval of a Site Work Permit after zoning approvals have been granted. Neighbors stated they would like to see heavy trucks enter the site off a temporary construction road from Riverwoods Road. Staff plans to review all options with the Contractor and the School District. However, a Riverwoods Road access could be problematic as it requires a Lake County Highway Permit. Village Staff will work with the District and their General Contractor to determine a Construction Management Plan that will result in the least disruption reasonable to the adjacent neighborhood.

Fenceline at North Property Line – Residents along the north property line requested a solid fence, to provide screening (visual and sound) and security for the neighbors and School. A concern was raised regarding playground noise being reflected to the north by the new addition, increasing existing sound issues. The Zoning Board did not agree that noise problems would be further exacerbated with the proposed addition. The School District did not indicate security concerns related to the lack of fencing.. The Zoning Board agreed individual property owners could erect their own fence or landscape screening on their property.

South Property Line Screening/Building Window Reflectivity – There was considerable discussion about screening the south property line and whether or not the proposed tree plantings will provide sufficient screening for window glare issues at certain times of the year. The Zoning Board and ARB received a Sun Study showing two homes, one east of the addition and one west, being impacted for a short period of time in the afternoon for a limited number of days in the Winter. The School District’s Architect explained the limited area between the south parking lot curblineline and resident’s property line was too small to accommodate tree planting. The

grade change in that area also makes any plantings difficult and hedgerows would likely be ineffective.

Three trees have been clustered west of the parking lot to provide screening for the home to the west which will likely experience glare issues for an hour or so at the end of a day during a limited period of time in the Winter. Two additional evergreen trees are proposed at the southeast corner of the building to assist with glare issues at the easternmost property. Given the lack of space at the property line, this location is intended to minimize impacts to the home to the east as the trees mature. District 103 indicated they did not prefer this solution given security concerns and proximity to building foundation; however, they believe it addresses neighbors' concerns..

Special Use requests at Half Day School & Sprague Elementary

January 12, 2016

Requested Zoning Exceptions:

Half Day School:

- 1) Section 6-6A-5 of Village Code – permit off-street parking in a Transitional Yard (new proposal).
- 2) Section 6-6A-2(D) of Village Code – Permit greater than 25% of floor area to be non sales-tax producing in a B1, Retail Business Zoning District (existing condition & new proposal).
- 3) Section 6-11-2(E)(1), (2), (4), and (5) – Permit a parking lot without required landscaped parking lot islands and without required 8' landscaped buffer between principal structure and parking/circulation (existing condition & new proposal).
- 4) Section 6-11-2(G) of Village Code – Permit a parking lot with spaces and drive aisles that do not meet size requirements (existing condition & new proposal)
- 5) Section 6-3-8(B)(6) of Village Code – Permit paved surfaces closer than 5' from a property line (existing condition).
- 6) Section 6-6A-6 of Village Code – Permit a building height greater than 30' (existing condition).
- 7) Section 6-15-2(B)(3) of Village Code – Permit a prohibited fence material (chainlink) to remain (existing condition).

Sprague School:

- 1) Section 6-5A-5(A)(6) of Village Code – Permit an impervious surface of 47%, greater than permitted maximum of 40% (existing condition and new proposal).
- 2) Section 6-11-2(B)(3) of Village Code – Permit parking in Front and Side Yard setbacks in a Residential Zoning District (existing condition).
- 3) Section 6-3-8(B)(6) of Village Code – Permit paved surfaces closer than 5' from a property line (existing condition).
- 4) Section 13-2-4(C)(4) of Village Code – Permit a parking lot in a Residential Zoning District without the required 75% screening, with minimum 4' tall plantings, in areas visible to public ways (existing condition)
- 5) Section 6-11-2(E)(1), (2), and (5) – Permit a parking lot without required landscaped parking lot islands (existing condition).
- 6) Section 6-3-5(B) of Village Code – Permit accessory structures (storage shed and free-standing canopy) that are not compliant with location, base material, screening, material and height requirements (existing condition).

Village of Lincolnshire
Village Board Submittal Packet

Lincolnshire – Prairie View School District 103 Additions to Half Day School and Laura B. Sprague Elementary School

February 2, 2016



Lincolnshire Prairie View School District 103
1370 N. Riverwoods Road
Lincolnshire, IL 60069



Prepared by:
Wight & Company
2500 North Frontage Road
Darien, IL 60561
630-969-7000

A/E Project No. 02-5467-06

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103

Additions to Half Day School

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Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Stormwater Management

February 2, 2016

Stormwater Memorandum

GHA Project #: 4521.101

Date: December 30, 2015
 To: Village of Lincolnshire, Plan Commission
 From: Karl Jensen, P.E.
 Re: Half Day School
 Prairie View School District #103, Lincolnshire

850 Forest Edge Drive, Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

820 Lakeside Drive, Suite 5, Gurnee, IL 60031
 TEL 847.855.1100 ■ FAX 847.855.1115

www.gha-engineers.com

The proposed project at Half Day School (239 Olde Half Day Road) is to expand the existing building to the west, relocate the western parking lot and provide an enhanced bus drop-off area on the eastern side of the school.

EXISTING CONDITIONS

The property is 5.91 acres and currently has an impervious coverage of 2.78 acres. The western portion of the property was previously redeveloped in 1996 and provided detention (Lake County SMC Permit #95-28-155) at that time, increasing the impervious area from 2.06 acres to 2.78 acres. The detention facility constructed at that time was to provide 0.45 acre-feet of storage, but based on current topography, only provides 0.22 acre-feet. The existing detention currently discharges to the south into the Illinois Route 22 right-of-way.

PROPOSED CONDITIONS

The proposed project will include the following improvements:

- New building addition to the west, encroaching into the existing parking lot;
- Relocated western parking lot to the west;
- Enlarged detention facility that will utilize the existing outlet pipe;
- New bus drop-off configuration on the eastern side of the school; and
- Future synthetic turf playground area.

The above improvements will increase the impervious area and require additional detention as summarized in the table below.

	Total Impervious Area	2 Year Detention Required	100 Year Detention Required
Pre-1992 Conditions	2.06 Acres	0.00 Acre-Feet	0.00 Acre-Feet
1995 Designed Improvements	2.78 Acres	0.15 Acre-Feet	0.45 Acre-Feet
Current Improvements	3.05 Acres	0.60 Acre-Feet	0.60 Acre-Feet
Future Synthetic Turf Playground	3.27 Acres	0.72 Acre-Feet	0.72 Acre-Feet

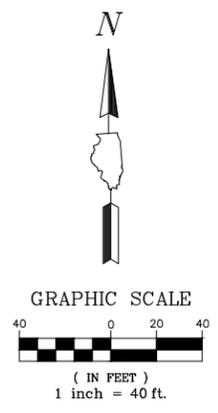
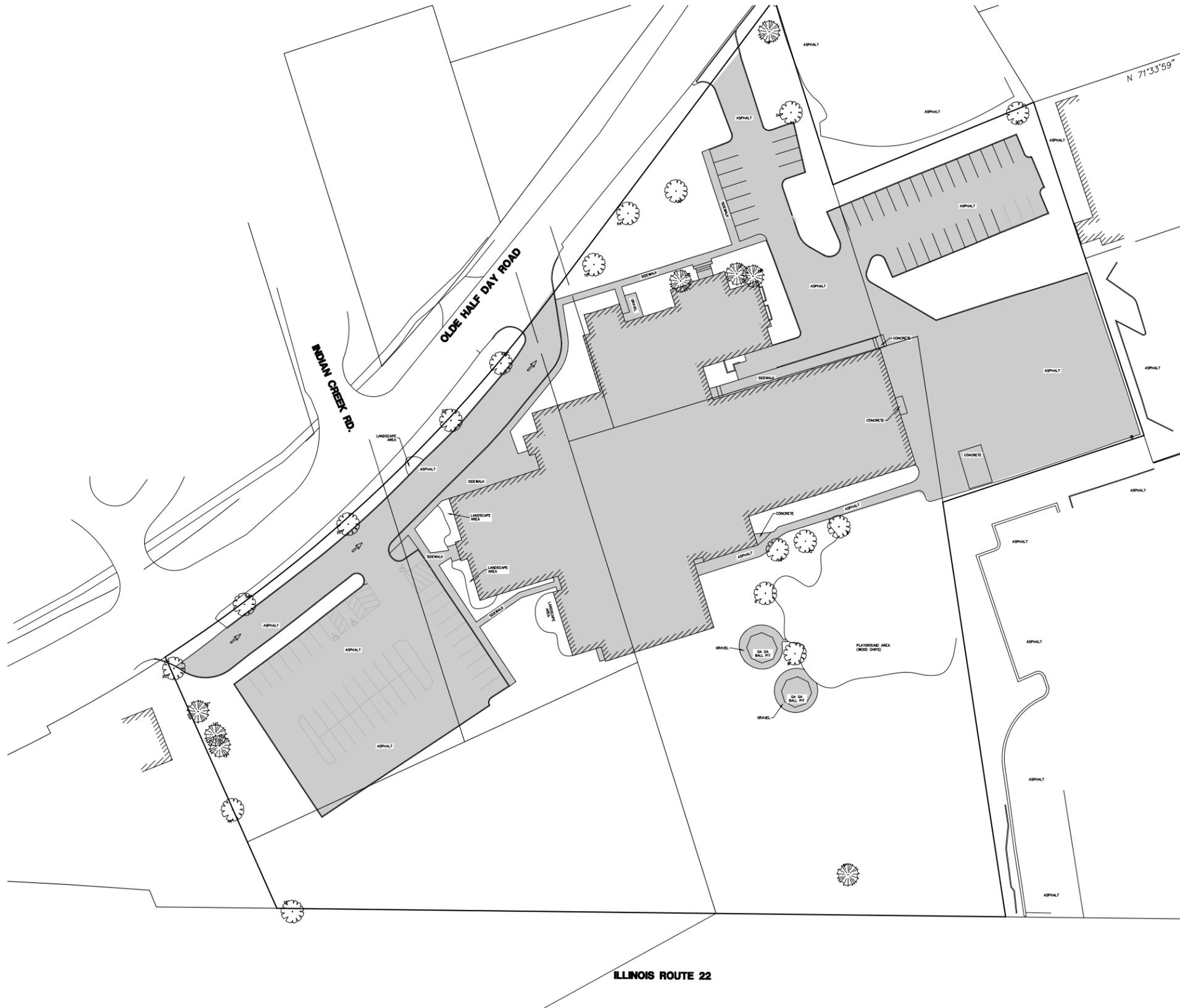
The current design provides 0.72 Acre-Feet of detention storage in the expanded basin at the southwestern corner property. An additional 0.05 Acre-Feet of detention volume is in an existing smaller basin at the northeastern corner adjacent to the new drop-off route. The two detention areas total a volume of 0.77 Acre-Feet, which exceeds the 0.72 Acre-Feet required.

The design of the expanded southwestern basin includes increasing the detaining berm elevation to match that of the original 1995 designed improvements design along with a lower bottom elevation and small wetland area to provide the required water quality. The allowable release rate from 1995 design will also remain the same at 4.73 CFS in the proposed conditions.

CONCLUSION

The Prairie View School District proposes to expand the building and relocate the western parking lot at Half Day School in Lincolnshire. Detention, water quality and soil erosion and sediment control measures are included as part of this project. Based on the design our office believes they are in conformance with the WDO.

Enc. Half Day School Existing vs Proposed Impervious Coverage Exhibits
 Half Day School Detention Requirements
 Half Day School Detention Volume Provided Calculations
 Half Day School Restrictor Calculations



TOTAL PROPERTY AREA - 5.91 ACRES
PRE-1992 IMPERVIOUS AREA - 2.06 ACRES
CURRENT IMPERVIOUS AREA - 2.78 ACRES

GHA GEWALT HAMILTON ASSOCIATES, INC.
 625 Forest Edge Drive ■ Vernon Hills, IL. 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

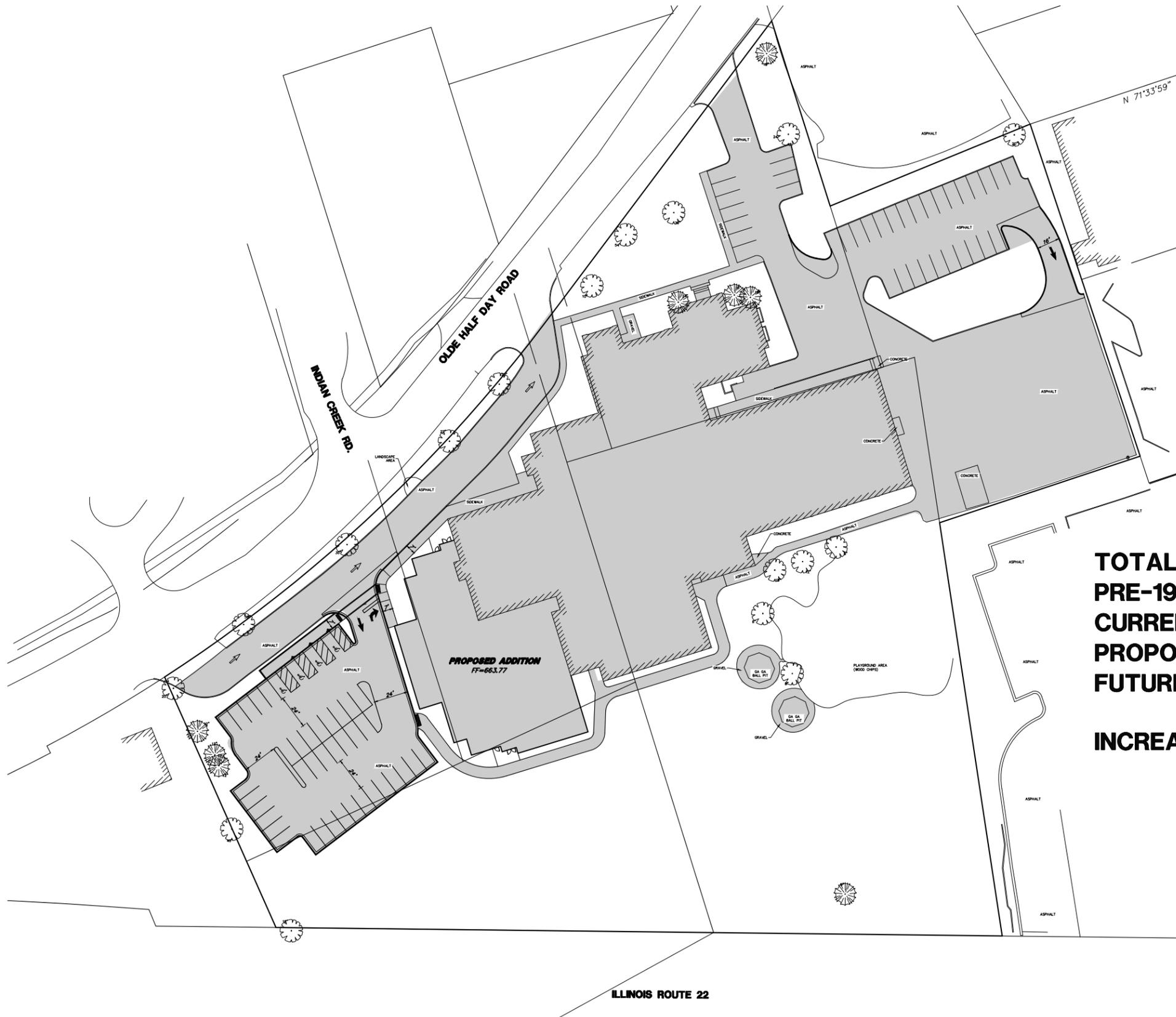
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IMPERVIOUS SURFACE - EXISTING
HALF DAY INTERMEDIATE SCHOOL IMPROVEMENTS
PRAIRIEVIEW SCHOOL DISTRICT 103
LINCOLNSHIRE, ILLINOIS

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

FILE: Drainage.dwg
 DRAWN BY: MXH
 DATE: 12/29/15
 GHA PROJECT # 4521.100
 CHECKED BY: KAJ
 DATE: 12/29/15
 SCALE: 1"=40'

SHEET NUMBER: **1**
 OF 2 SHEETS



TOTAL PROPERTY AREA - 5.91 ACRES
PRE-1992 IMPERVIOUS AREA - 2.06 ACRES
CURRENT IMPERVIOUS AREA - 2.78 ACRES
PROPOSED IMPERVIOUS AREA - 3.05 ACRES
FUTURE PLAYGROUND IMPERVIOUS AREA - 3.27 ACRES
INCREASE IN IMPERVIOUS AREA SINCE 1992 - 1.21 ACRES

NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

Half Day School Detention Requirements

Rev 12-30-15

Detention Required Per Lake County SMC Permit 95-28-155 \Rightarrow 0.45 Acre-Ft
2yr 0.15 Acre-Ft

\rightarrow Proposed new impervious area (bldg expansion, parking lot relocation and walk) \Rightarrow 0.27 Acres

100yr detention required (Per LCSMC Appendix K) 0.53 Ac-Ft/Ac Impervious 2yr - 0.20 Ac-Ft/Ac Impervious

$$0.27 \text{ Acres} \times 0.53 \text{ Ac-Ft/Acre} \Rightarrow \underline{0.15 \text{ Ac-Ft}}$$

$$0.27 \text{ Acres} \times 0.20 \text{ Ac-Ft/Acre} \Rightarrow \underline{0.05 \text{ Ac-Ft}}$$

\rightarrow Future new impervious area (playground area to synthetic turf) \Rightarrow 0.22 Acres

$$0.22 \text{ Acres} \times 0.53 \text{ Ac-Ft/Acre} \Rightarrow \underline{0.12 \text{ Ac-Ft}}$$

$$0.22 \text{ Acres} \times 0.20 \text{ Ac-Ft/Acre} \Rightarrow \underline{0.04 \text{ Ac-Ft}}$$

Total 100 yr detention volume required

$$0.45 \text{ Acre-Feet} + 0.15 \text{ Acre-Feet} + 0.12 \text{ Acre-Feet}$$

$$\Rightarrow \underline{\underline{0.72 \text{ Acre-Feet}}}$$

Total 2yr detention volume required

$$0.15 \text{ Acre-Feet} + 0.05 \text{ Acre-Feet} + 0.04 \text{ Acre-Feet}$$

$$\Rightarrow \underline{\underline{0.24 \text{ Acre-Feet}}}$$

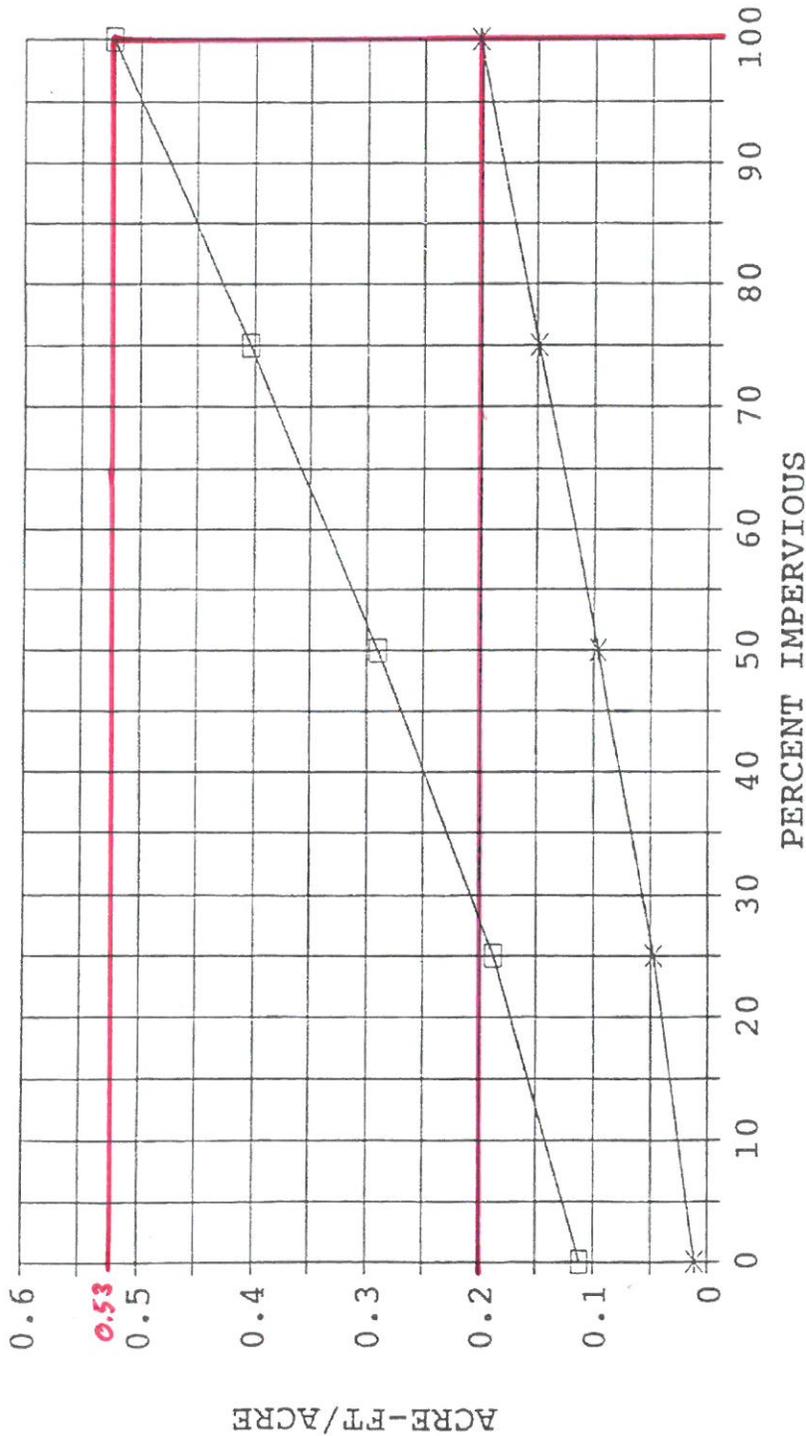
Water Quality Volume

100% Impervious

$$\frac{1 \text{ in}}{2.4 \text{ ft}} \times (0.27 \text{ Acres} + 0.22 \text{ Acres}) \Rightarrow \underline{\underline{0.04 \text{ Acre-Feet}}}$$

Appendix K: Detention Volume Versus Percent Impervious

DETENTION VOLUME VS PERCENT IMPERVIOUS
2-YEAR AND 100-YEAR UNIT AREA DETENTION



2-year release = 0.04 cfs/acre, 100-year release = 0.15 cfs/acre

—*— 2-YEAR —□— 100-YEAR

Reference: Northeastern Illinois Planning Commission, Investigation of Hydrologic Methods for Urban Development in Northeastern Illinois

Gewalt Hamilton Associates, Inc.
Detention Volume Calculations
Half Day School - Lincolnshire, Illinois
Northeastern Basin

Project #: 4521.101

By: KAJ

Date: 12/30/2015

Revised:

Water Quality Volume: 0.02 Acre-Feet (Below NWL)
 100 Year Detention Provided: 0.05 Acre-Feet (Between NWL & HWL)

	Elevation	Area SF	H FT	Avg. Area SF	Volume CF	Vol. AC-FT	Sum Vol. AC-FT
(1)	658.00	871					
			0.70	1,014	710	0.02	0.02
(2)	658.70	1,165					
			0.30	1,285	385	0.01	0.01
	659.00	1,408					
			1.00	1,694	1,694	0.04	0.05
(3)	660.00	1,997					
			TOTAL STORAGE VOLUME:			0.05	Ac-Ft

Volume Table Notation

- (1) Bottom of Basin
- (2) Normal Water Level
- (3) 100-Yr High Water Level

Gewalt Hamilton Associates, Inc.

Detention Volume Calculations

Half Day School - Lincolnshire, Illinois

Southwestern Basin - Increase HWL to 1995 Design Elevation

Project #: 4521.101

By: KAJ

Date: 12/30/2015

Revised:

Water Quality Volume: 0.02 Acre-Feet (Below NWL)
2 Year Detention Provided: 0.24 Acre-Feet (Between NWL & 2-Yr HWL)
100 Year Detention Provided: 0.72 Acre-Feet (Between NWL & 100-Yr HWL)

	Elevation	Area SF	H FT	Avg. Area SF	Volume CF	Vol. AC-FT	Sum Vol. AC-FT
(1)	653.9	1708					
			0.50	1,853	926	0.02	0.02
(2)	654.40	2,001					
			0.60	4,931	2,959	0.07	0.07
	655.00	8,636					
			0.80	9,469	7,576	0.17	0.24
(3)	655.80	10,328					
			0.20	10,539	2,108	0.05	0.29
	656.00	10,751					
			1.00	11,838	11,838	0.27	0.56
	657.00	12,960					
			0.50	13,652	6,826	0.16	0.72
(4)	657.50	14,356					

TOTAL STORAGE VOLUME: 0.72 Ac-Ft

Volume Table Notation

- (1) Bottom of Basin
- (2) Normal Water Level
- (3) 2-Yr High Water Level
- (4) 100-Yr High Water Level

Gewalt Hamilton Associates, Inc.

Detention Basin Restrictor Calculations

Half Day School - Prairie View School District - Lincolnshire, Illinois

Project #: 4521.101

By: KAJ

Date: 12/30/2015

Revised:

Property Area: 5.91 Acres

2 Year HWL: 656.00
 2 Year Allowable Release: 1.85 CFS
 2 Year Actual Release: 1.82 CFS
 100 Year HWL: 659.00
 100 Year Allowable Release: 4.75 CFS
 100 Year Actual Release: 4.70 CFS

Orifice Flow Equation:

$$Q = CA (2gH)^{0.5}$$

Q = Flow (cfs)
 C = Orifice Coefficient
 A = Area (sf)
 g = 32.2 ft/sec²
 H = Head (ft)

Weir Flow Equation:

$$Q = CL (H)^{1.5}$$

Q = Flow (cfs)
 C = Weir Coefficient
 L = Length (ft)
 H = Head (ft)

ORIFICE DATA:

Orifice 1 (low orifice)

Orifice diameter (inches)	8.13
Orifice area (sf)	0.360
Proposed invert elevation	654.40
Centerline of flow	654.74
Orifice Coefficient	0.61

Orifice 2 (high orifice)

Orifice diameter (inches)	7.50
Orifice area (sf)	0.307
Proposed invert elevation	655.80
Centerline of flow	656.11
Orifice Coefficient	0.61

WEIR DATA:

Weir length (ft)	40.0
Crest elevation	657.50
Weir Coefficient	2.8
100 Year Flow	

Increment for water elevation increase 0.25

RATING TABLE:

Water Elevation (ft)	Orifice 1 (low)		Orifice 2 (high)		1 & 2	Weir		System
	Head ₁ (ft)	Q ₁ (cfs)	Head ₂ (ft)	Q ₂ (cfs)	Q _{total} (cfs)	Head (ft)	Q (cfs)	Q _{total} (cfs)
654.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
654.75	0.01	0.19	0.00	0.00	0.19	0.00	0.00	0.19
655.00	0.26	0.90	0.00	0.00	0.90	0.00	0.00	0.90
655.25	0.51	1.26	0.00	0.00	1.26	0.00	0.00	1.26
655.50	0.76	1.54	0.00	0.00	1.54	0.00	0.00	1.54
655.75	1.01	1.77	0.00	0.00	1.77	0.00	0.00	1.77
655.80	1.06	1.82	0.00	0.00	1.82	0.00	0.00	1.82
656.00	1.26	1.98	0.00	0.00	1.98	0.00	0.00	1.98
656.25	1.51	2.17	0.14	0.56	2.72	0.00	0.00	2.72
656.50	1.76	2.34	0.39	0.93	3.27	0.00	0.00	3.27
656.75	2.01	2.50	0.64	1.20	3.70	0.00	0.00	3.70
657.00	2.26	2.65	0.89	1.41	4.07	0.00	0.00	4.07
657.25	2.51	2.79	1.14	1.60	4.40	0.00	0.00	4.40
657.50	2.76	2.93	1.39	1.77	4.70	0.00	0.00	4.70
657.75	3.01	3.06	1.64	1.92	4.98	0.25	14.00	18.98
658.00	3.26	3.18	1.89	2.06	5.25	0.50	39.60	44.84
658.25	3.51	3.30	2.14	2.20	5.50	0.75	72.75	78.24
658.50	3.76	3.42	2.39	2.32	5.74	1.00	112.00	117.74

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Civil Drawings

February 2, 2016

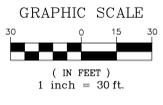


Wight

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625 Forest Edge Drive ■ Vernon Hills, IL 60061
Tel. 847.478.9700 ■ Fax 847.478.9701



STANDARD SYMBOLS

FEATURE	EXISTING	PROPOSED
BUFFALO BOX		
BUSH/SHRUB		
CATCH BASIN		
CLEANOUT		
COMBINE SEWER LINE		
CONTOUR		
CULVERT		
DITCH/SWALE		
ELECTRIC LINE		
ELECTRIC MANHOLE		
FENCE		
FIRE HYDRANT		
FLARED END SECTION		
GAS LINE		
GAS MANHOLE		
GAS VALVE		
INLET		
LIGHT POLE		
OVERHEAD WIRES		
POWER POLE		
R.O.W LINE		
R.O.W MARKER		
SANITARY FORCEMAIN LINE		
SANITARY SEWER LINE		
SANITARY SEWER MANHOLE		
SIGN		
SPOT ELEVATION		
STORM SEWER LINE		
STORM SEWER MANHOLE		
TELEPHONE LINE		
TELEPHONE MANHOLE		
TELEPHONE BOX/PEDESTAL		
TREE-CONIFEROUS (SIZE/TAG#)		
TREE-DECIDUOUS (SIZE/TAG#)		
VALVE BOX		
VALVE VAULT		
WATER VALVE		
WATERMAIN LINE		



LEGEND

BITUMINOUS SURFACE REMOVAL	
2" COLD MILL	
SIDEWALK REMOVAL	
CONCRETE CURB REMOVAL	
SAWCUT	
FENCE REMOVAL	
UTILITY ABANDON	
STRUCTURE REMOVAL	
TREE/SHRUB REMOVAL	
ROOT PRUNE	
CONSTRUCTION FENCE	
TREE PROTECTION FENCE	

REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02.02.2016
PER VILLAGE COMMENTS		01.08.2016
ZONING BOARD SUBMITTAL		01.04.2015
COMMITTEE OF THE WHOLE SUBMITTAL		12.04.2015
	DESCRIPTION	DATE

HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

EXISTING CONDITIONS / DEMOLITION PLAN

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

C1.0

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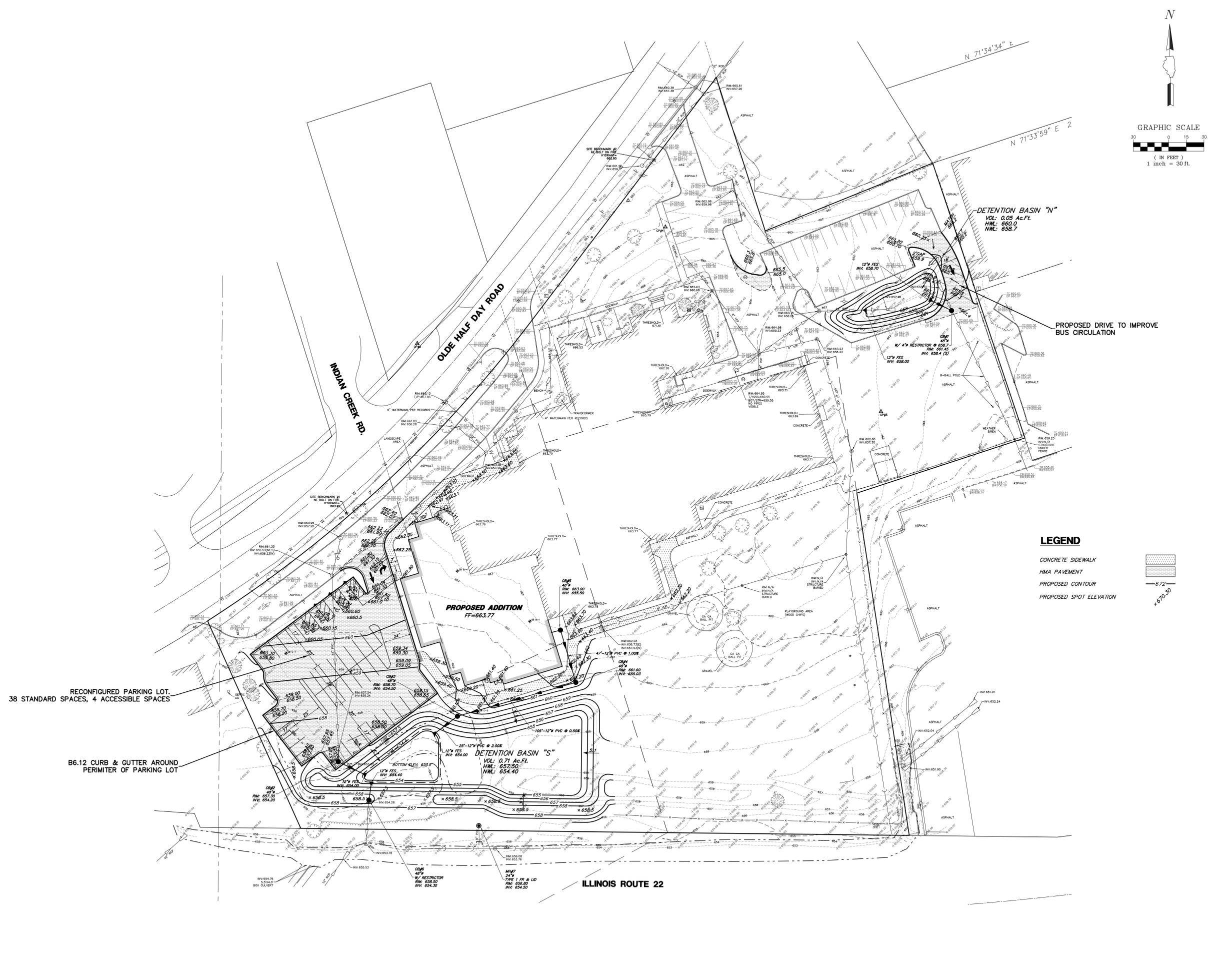
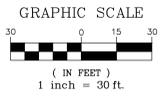


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P 630.969.7000
F 630.969.7979

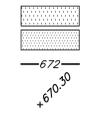
GHA JOB #4521.100

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LEGEND

- CONCRETE SIDEWALK
- HMA PAVEMENT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION



RECONFIGURED PARKING LOT.
38 STANDARD SPACES, 4 ACCESSIBLE SPACES

B6.12 CURB & GUTTER AROUND
PERIMETER OF PARKING LOT

PROPOSED ADDITION
FF=663.77

DETONATION BASIN "S"
VOL: 0.71 AC.FT.
HWL: 657.50
NWL: 654.40

DETONATION BASIN "N"
VOL: 0.05 AC.FT.
HWL: 660.0
NWL: 658.7

PROPOSED DRIVE TO IMPROVE
BUS CIRCULATION

REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	PER VILLAGE COMMENTS	01.08.2016
	ZONING BOARD SUBMITTAL	01.04.2015
	COMMITTEE OF THE WHOLE SUBMITTAL	12.04.2015
	DESCRIPTION	DATE

HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

PRELIMINARY SITE PLAN

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

C2.0

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Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Landscape Drawings

February 2, 2016



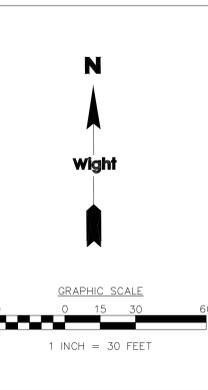
Wight

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wightco.com
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F 630.969.7979

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REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02.02.2016
ZONING BOARD REVISION 1		01.12.2016
ZONING BOARD SUBMITTAL		01.04.2016
	DESCRIPTION	DATE

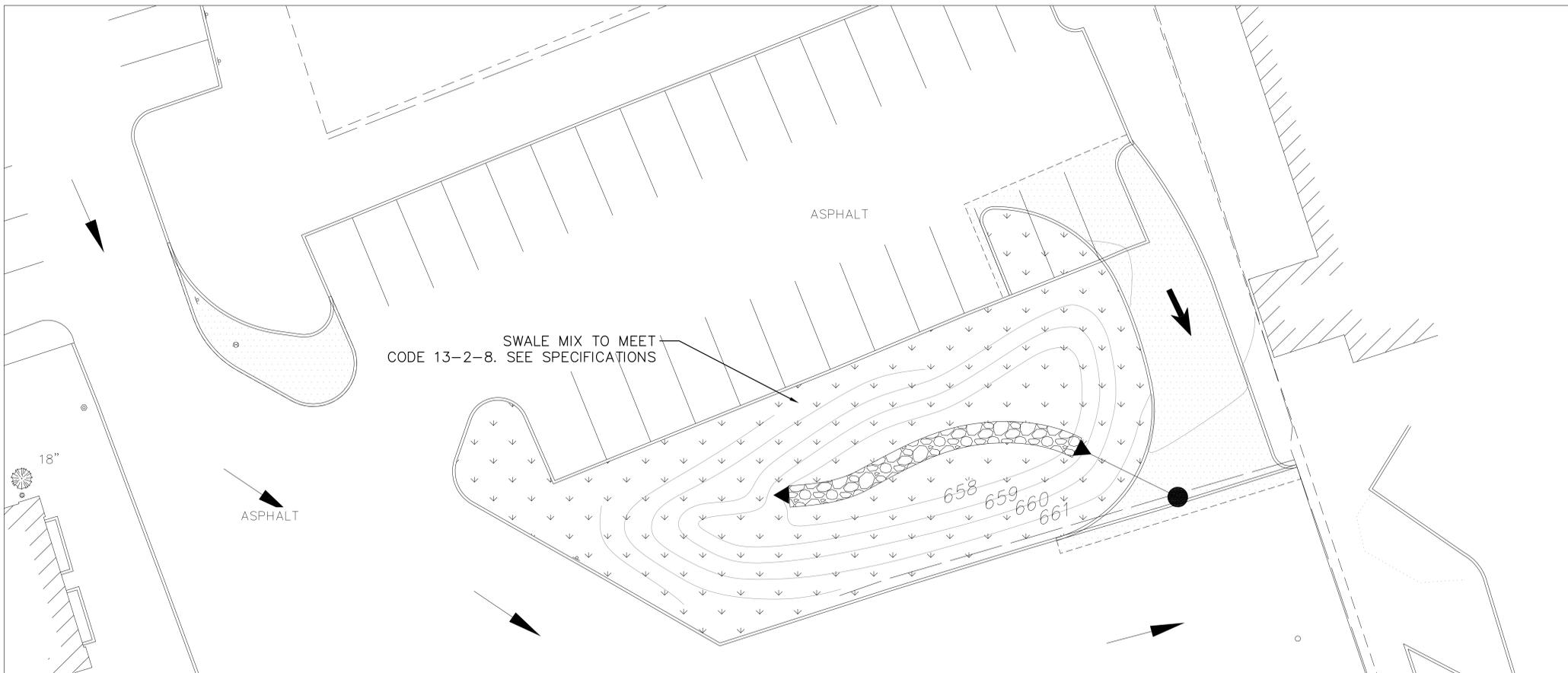
HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

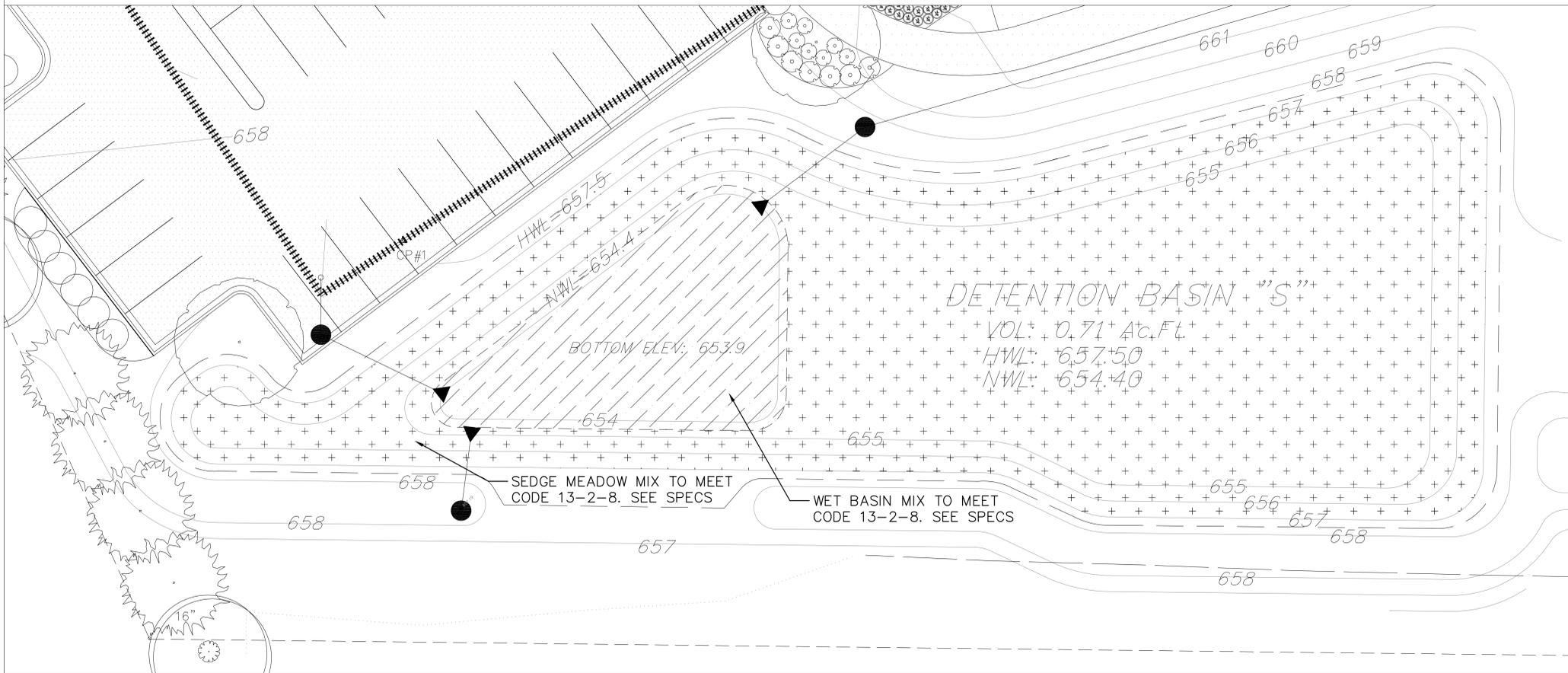
OVERALL LANDSCAPE PLAN

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

L1.00



ES1 ENLARGED LANDSCAPE PLAN-DETENTION AREA 'N'
L1.01 SCALE: 1"=10'



ES2 ENLARGED LANDSCAPE PLAN-DETENTION AREA 'S'
L1.01 SCALE: 1"=10'

LEGEND

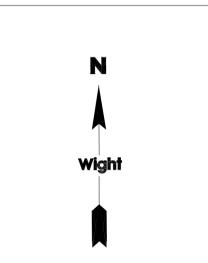
- CONCRETE SIDEWALK
- HMA PAVEMENT
- PROPOSED CONTOUR
- RIVER COBBLE (4-8" DIA.)
- LOW GROWING SWALE MIX
- WET BASIN MIX
- SEdge MEADOW MIX
- GROUND COVER
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED LARGE SHRUB (4-8' WIDTH)
- PROPOSED MEDIUM SHRUB (3-4' WIDTH)
- PROPOSED SMALL SHRUB/ GRASS
- PROPOSED PERENNIAL

QTY	KEY	Botanical Name	Common Name	Size	Root	Spacing
SHADE TREES						
5	GIBI	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3" caliper	B&B	as shown
1	QUBI	Quercus bicolor	Swamp White Oak	3" caliper	B&B	as shown
ORNAMENTAL EVERGREEN TREES						
3	ABCO	Abies concolor	White Fir	8'	B&B	as shown
2	MAAN	Magnolia 'Ann'	Ann Magnolia	8'	B&B	as shown
5	PIPU	Picea pungens	Colorado Blue Spruce	8'	B&B	as shown
EVERGREEN SHRUBS						
1	BUVY	Rhus x 'Green Velvet'	Green Velvet Boxwood	#5	cont.	as shown
1	JUMI	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	36"	B&B	as shown
DECIDUOUS SHRUBS						
1	CDST	Cornus stolonifera 'Farrow'	Arctic Fire Red Twig Dogwood	#5	cont.	as shown
1	HYQU	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	#5	cont.	as shown
1	RHAB	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#7	cont.	as shown
1	RIAL	Ribes alpinum	Alpine Currant	#5	cont.	as shown
1	SYPA	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	#7	cont.	as shown
PERENNIALS						
1	ACOG	Acorus gramineus 'Ogon'	Golden Variegated Sweet Flag	#1	cont.	18" o.c.
1	ADAR	Adiantum arifolium 'Deutschland'	Deutschland Asplenium	#2	cont.	as shown
1	DSGR	Deszite gracilis	Crème Fraîche Daylily	#1	cont.	as shown
1	CDVE	Carex verticillata 'Moonbeam'	Moonbeam Carex	#1	cont.	as shown
1	EPVD	Eupatorium x youngianum 'Niveum'	Bishop's Hat	#1	cont.	as shown
1	FEGL	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1	cont.	as shown
1	HEOB	Heuchera x 'Obsidian'	Obsidian Coral Bell	#1	cont.	as shown
1	HDBL	Hosta x 'Bright Light'	Bright Light Hosta	#2	cont.	as shown
1	HOPA	Hosta x 'Patriot'	Patriot Hosta	#2	cont.	as shown
1	MAST	Marticaea struthiopteris	Ostrich Fern	#2	cont.	as shown
1	PAVI	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	#2	cont.	as shown
1	PEAL	Pennisetum alopecuroides 'Hamel'	Dwarf Fountaingrass	#1	cont.	as shown
1	SAMA	Salvia 'May Night'	May Night Sage	#1	cont.	as shown
GROUND COVER						
1	CDAL	Carex acutata 'Nana'	Dwarf Tickseed	PLG	TRAY	10" o.c.
1	OPPL	Ophiopogon planiscapus 'Ebklizam'	Ebony Knight Mondo Grass	PLG	TRAY	10" o.c.
1	VIMI	Vinca minor	Periwinkle	PLG	TRAY	10" o.c.



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Tel 847.478.9700 • Fax 847.478.9701



REV	DESCRIPTION	DATE

HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

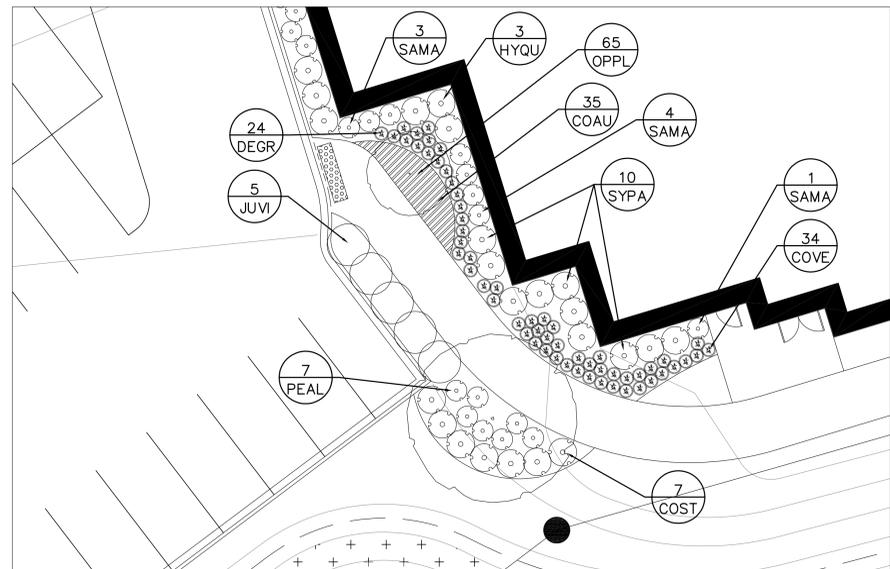
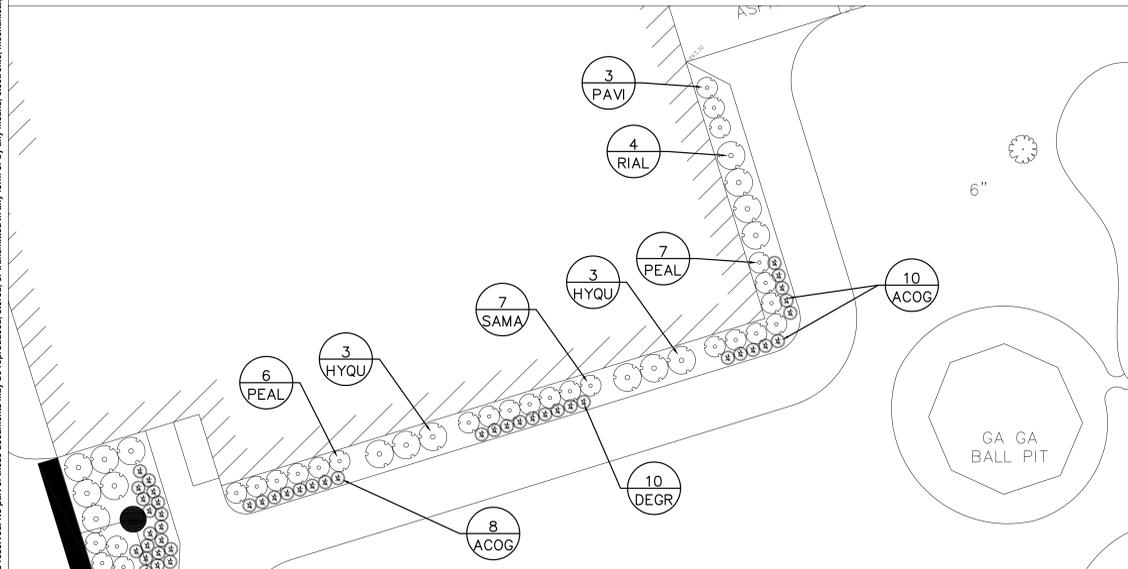
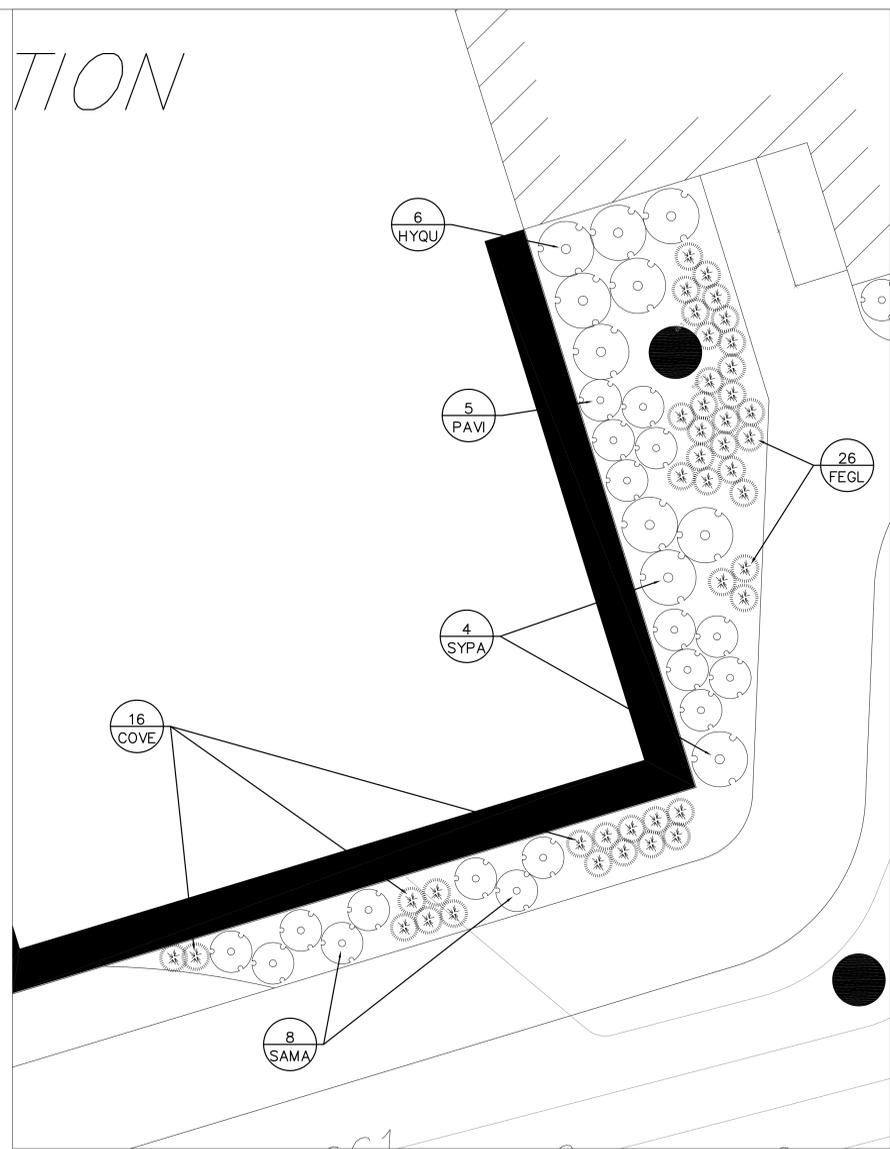
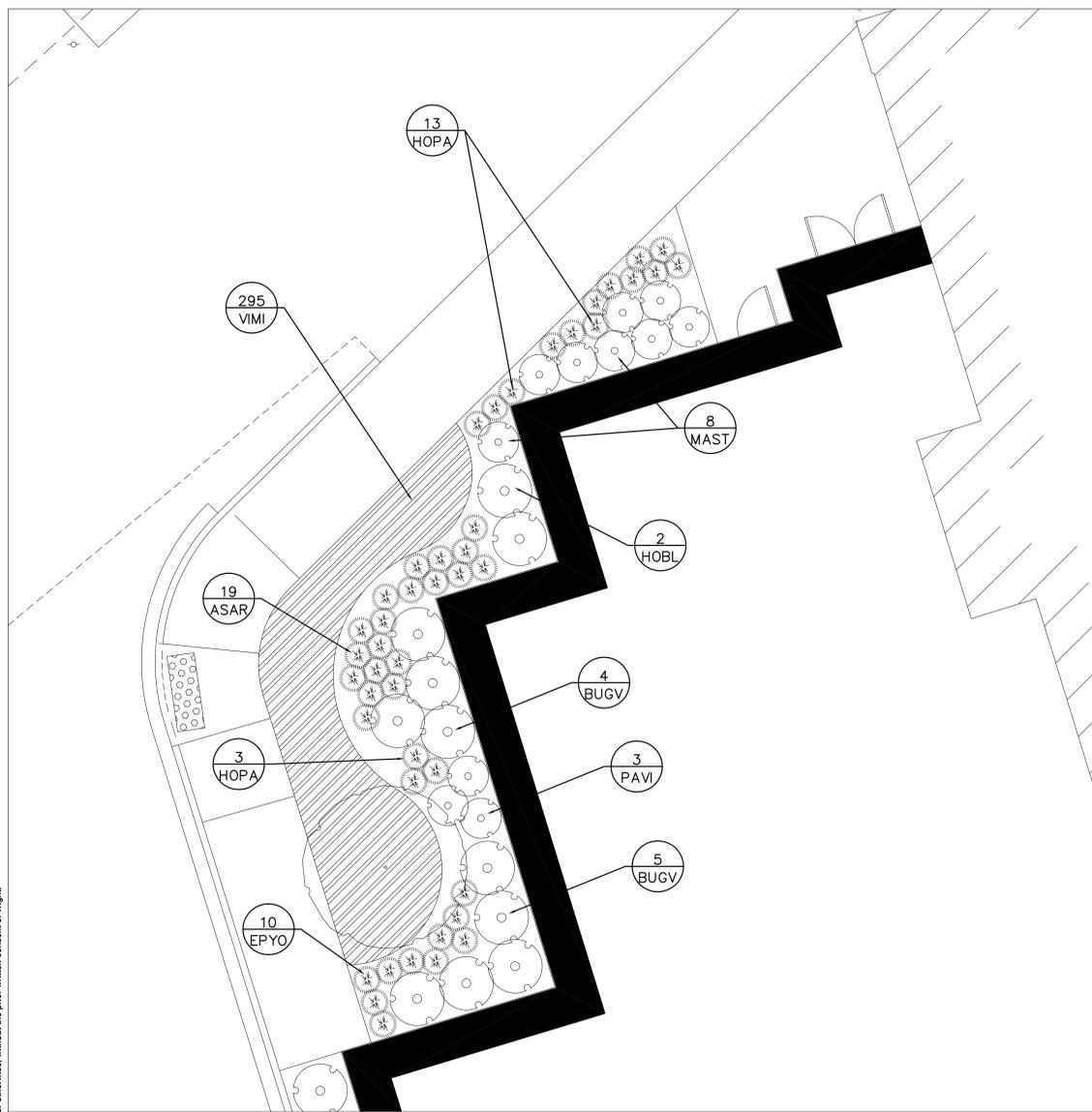
ENLARGED DETENTION AREAS

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

L1.01

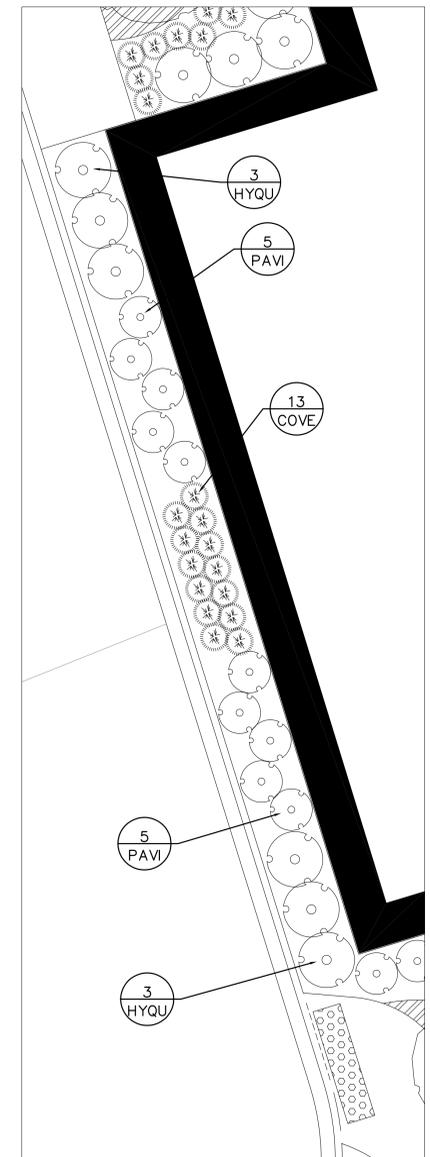
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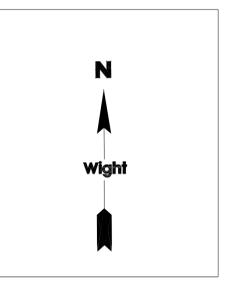
LEGEND

CONCRETE SIDEWALK	
HMA PAVEMENT	
PROPOSED CONTOUR	-6.72
RIVER COBBLE (4-8" DIA.)	
LOW GROWING SWALE MIX	
WET BASIN MIX	
SEDGE MEADOW MIX	
GROUND COVER	
PROPOSED EVERGREEN TREE	
PROPOSED DECIDUOUS TREE	
PROPOSED LARGE SHRUB (4-8' WIDTH)	
PROPOSED MEDIUM SHRUB (3-4' WIDTH)	
PROPOSED SMALL SHRUB/ GRASS	
PROPOSED PERENNIAL	



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REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02.02.2016
ZONING BOARD REVISION 1		01.12.2016
ZONING BOARD SUBMITTAL		01.04.2016
	DESCRIPTION	DATE

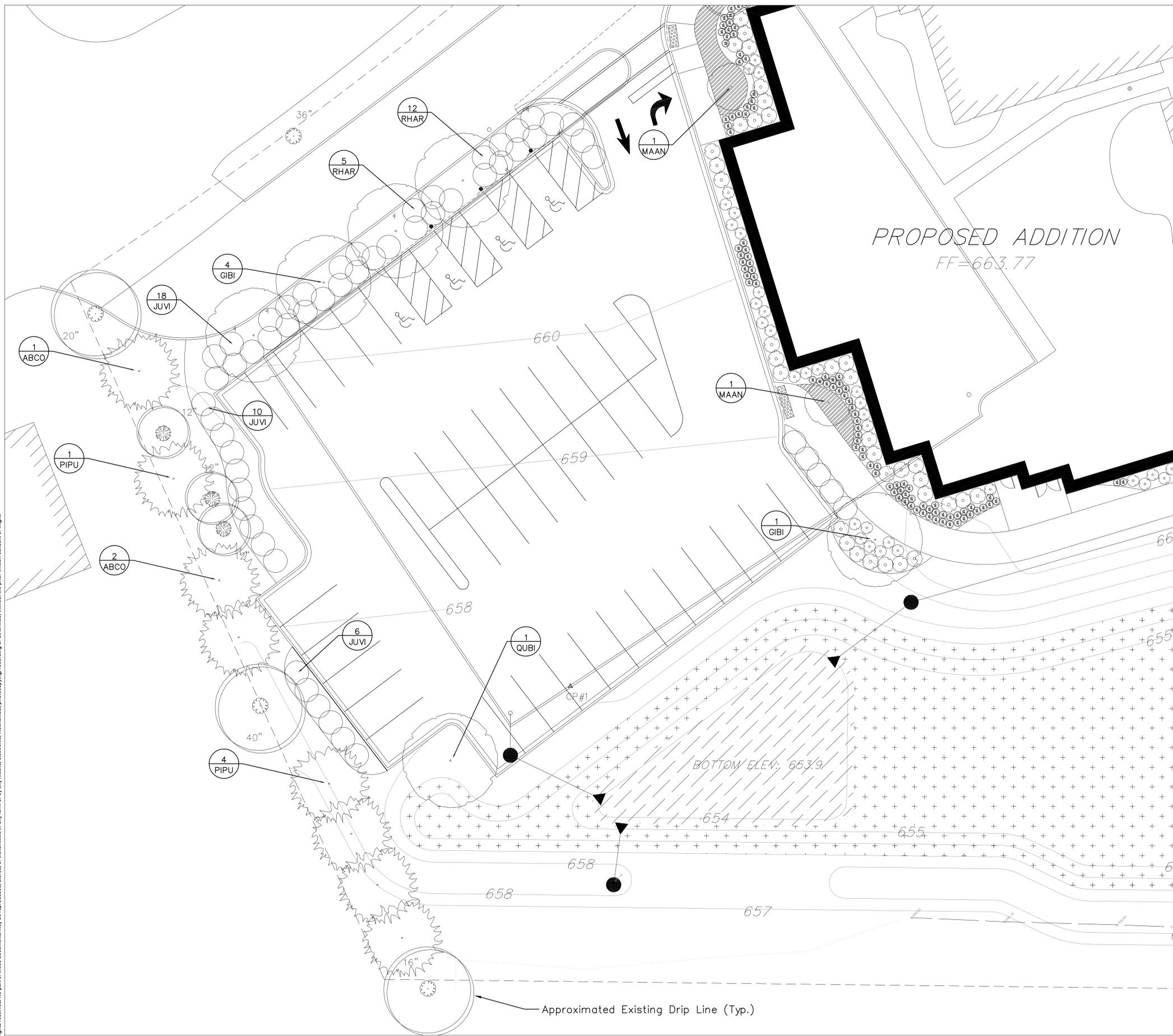
HALF DAY INTERMEDIATE SCHOOL
2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

ENLARGED LANDSCAPE PLANS

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

L1.02

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LEGEND

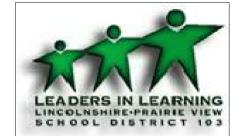
- CONCRETE SIDEWALK
- HMA PAVEMENT
- PROPOSED CONTOUR
- RIVER COBBLE (4-8" DIA.)
- LOW GROWING SWALE MIX
- WET BASIN MIX
- SEDEGE MEADOW MIX
- GROUND COVER
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS TREE
- PROPOSED LARGE SHRUB (4-8' WIDTH)
- PROPOSED MEDIUM SHRUB (3-4' WIDTH)
- PROPOSED SMALL SHRUB/ GRASS
- PROPOSED PERENNIAL

PROPOSED ADDITION
FF=663.77

BOTTOM ELEV: 653/9

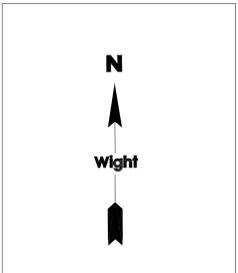
Approximated Existing Drip Line (Typ.)

QTY	KEY	Botanical Name	Common Name	Size	Root	Spacing
SHADE TREES						
3	GIBI	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	3" caliper	B&B	as shown
1	QUBI	Quercus bicolor	Swamp White Oak	3" caliper	B&B	as shown
ORNAMENTAL/ EVERGREEN TREES						
3	ABCO	Abies concolor	White Fir	8'	B&B	as shown
2	MAAN	Magnolia 'em'	Ann Magnolia	8'	B&B	as shown
5	PIPU	Picea pungens	Colorado Blue Spruce	8'	B&B	as shown
EVERGREEN SHRUBS						
BUSV	Buxus x 'Green Velvet'	Green Velvet Boxwood	45	cont.	as shown	
JUNV	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	36"	B&B	as shown	
DECIDUOUS SHRUBS						
ECST	Cornus stolonifera 'Farrow'	Arctic Fire Red Twig Dogwood	45	cont.	as shown	
HVGL	Hydrangea quercifolia 'Munchkin'	Munchkin Oakleaf Hydrangea	45	cont.	as shown	
RHAR	Rhus aromatica 'Gro-low'	Gro-Low Fragrant Sumac	47	cont.	as shown	
RHAL	Ribes alpinum	Alpine Currant	45	cont.	as shown	
SYPA	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	47	cont.	as shown	
PERENNIALS						
ACOG	Acorus gramineus 'Oignon'	Golden Variegated Sweet Flag	41	cont.	18" o.c.	
ASAR	Astilbe x oregonii 'Deutschland'	Deutschland Astilbe	42	cont.	as shown	
DEGR	Deutzia gracilis	Crème Fraiche Deutzia	41	cont.	as shown	
COVE	Coneopogon verticillatus 'Moonbeam'	Moonbeam Careopsis	41	cont.	as shown	
EPYO	Eupatorium x youngianum 'Nivium'	Bishop's Hat	41	cont.	as shown	
FEGL	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	41	cont.	as shown	
HEOB	Heuchera x 'Obsidian'	Obsidian Coral Bells	41	cont.	as shown	
HOBE	Hosta x 'Bright Lights'	Bright Lights Hosta	42	cont.	as shown	
HOFA	Hosta x 'Patriot'	Patriot Hosta	42	cont.	as shown	
MAST	Mertensia struthioflora	Ostrich Fern	42	cont.	as shown	
PAMV	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	42	cont.	as shown	
PEAL	Pennisetum alopecuroides 'Hamelii'	Dwarf Fountaingrass	41	cont.	as shown	
SAMA	Salvia 'May Night'	May Night Sage	41	cont.	as shown	
GROUND COVER						
COAU	Carexpsis aunculata 'Nana'	Dwarf Tickseed	PLG	TRAY	10" o.c.	
OPPL	Ophiopogon planiscapus 'Eblizenzi'	Ebony Knight Mondo Grass	PLG	TRAY	10" o.c.	
MMI	Mnioc minor	Parvula	PLG	TRAY	10" o.c.	



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REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02.02.2016
ZONING BOARD REVISION 1		01.12.2016
ZONING BOARD SUBMITTAL		01.04.2016

HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

TREE PLAN

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

L1.03

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Architectural Drawings

February 2, 2016



NOT FOR CONSTRUCTION

REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02.02.2016
ARCHITECTURAL REVIEW BOARD SUBMITTAL		01.11.2016
ZONING BOARD SUBMITTAL		01.04.2016
COMMITTEE OF THE WHOLE SUBMITTAL		12.04.2015

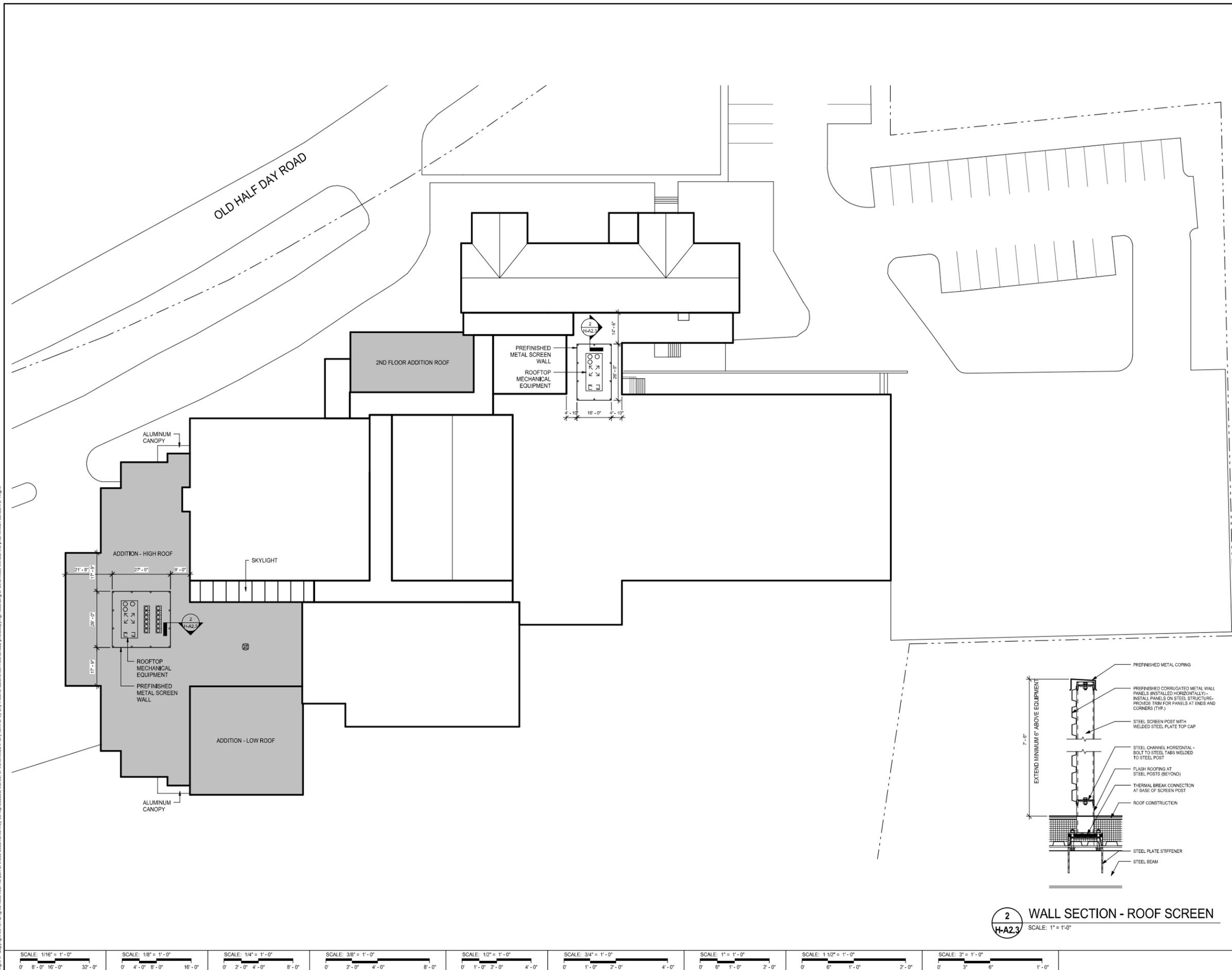
HALF DAY INTERMEDIATE SCHOOL

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

ROOF PLAN

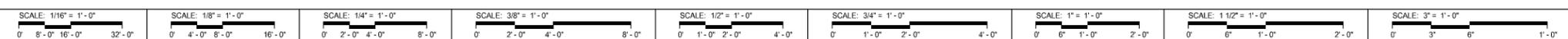
Project Number:
02-5467-05
Drawn By:
Author
Sheet:

H-A2.3



2 WALL SECTION - ROOF SCREEN
SCALE: 1" = 1'-0"

14/2016 9:07:41 AM
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REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMITTAL	01.04.2016
	COMMITTEE OF THE WHOLE SUBMITTAL	12.04.2015
	DESCRIPTION	DATE

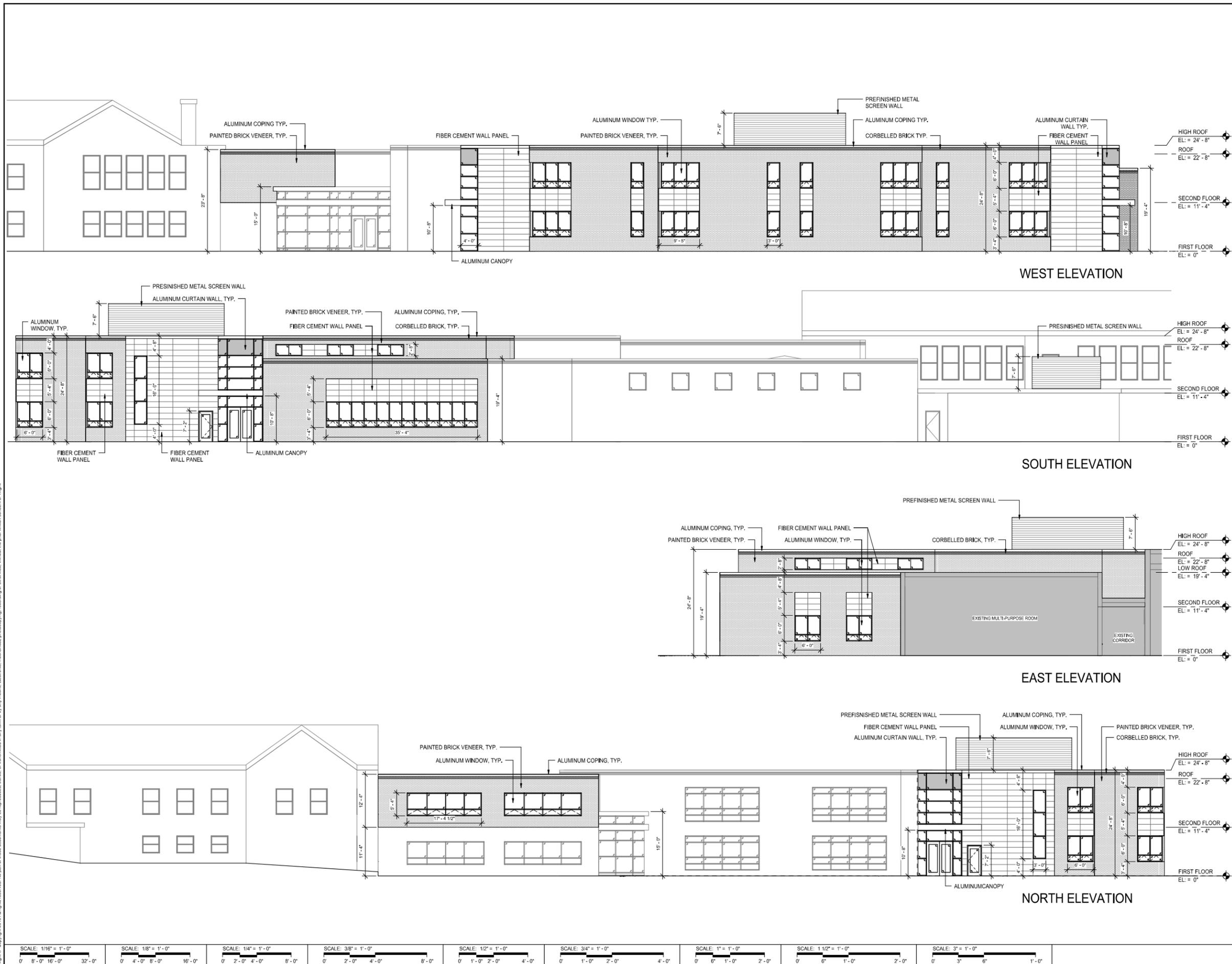
**HALF DAY
INTERMEDIATE
SCHOOL**

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

EXTERIOR ELEVATIONS

Project Number:
02-5467-05
Drawn By:
Author:
Sheet:

H-A3.0



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REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMITTAL	01.04.2016
	DESCRIPTION	DATE

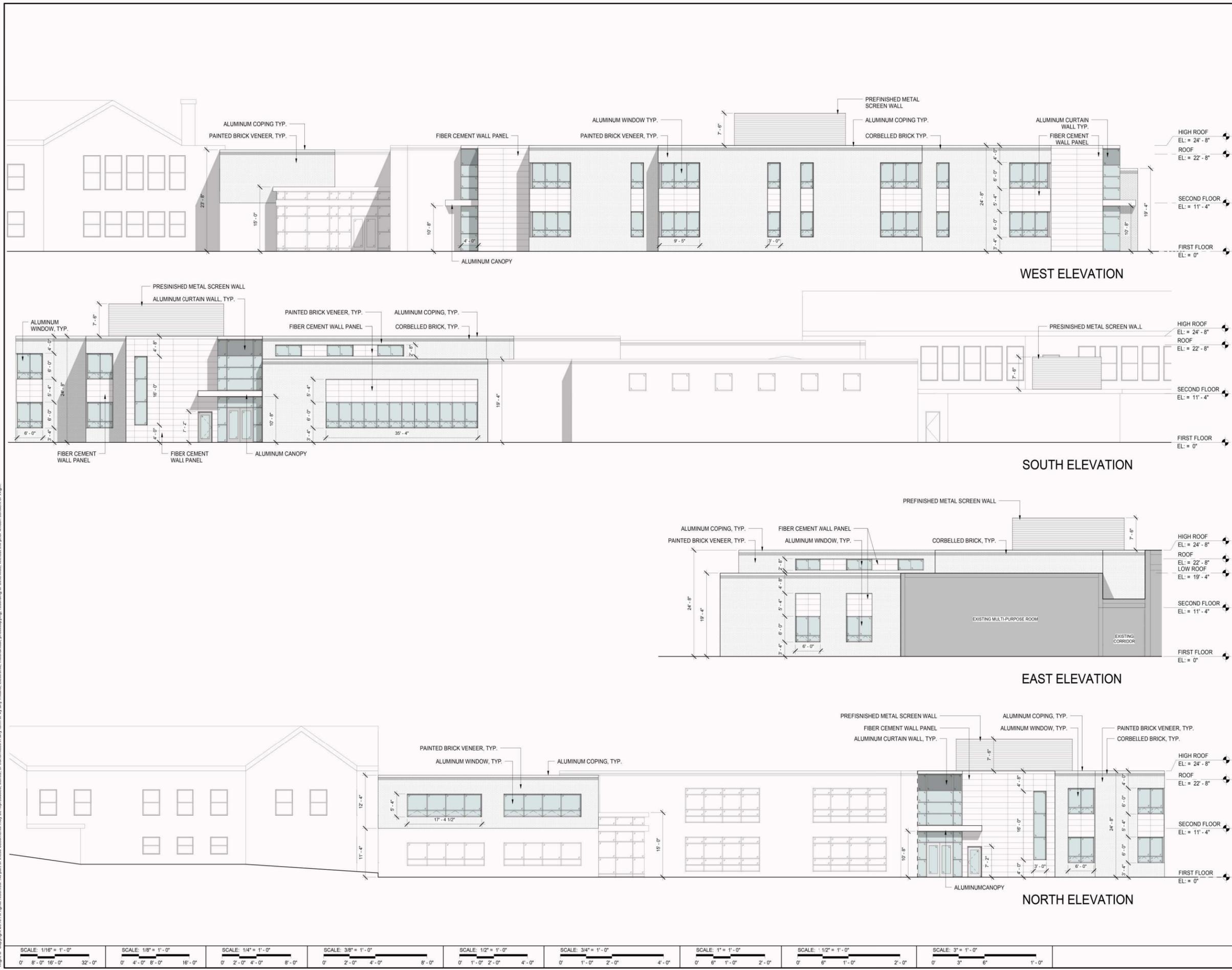
HALF DAY INTERMEDIATE SCHOOL

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

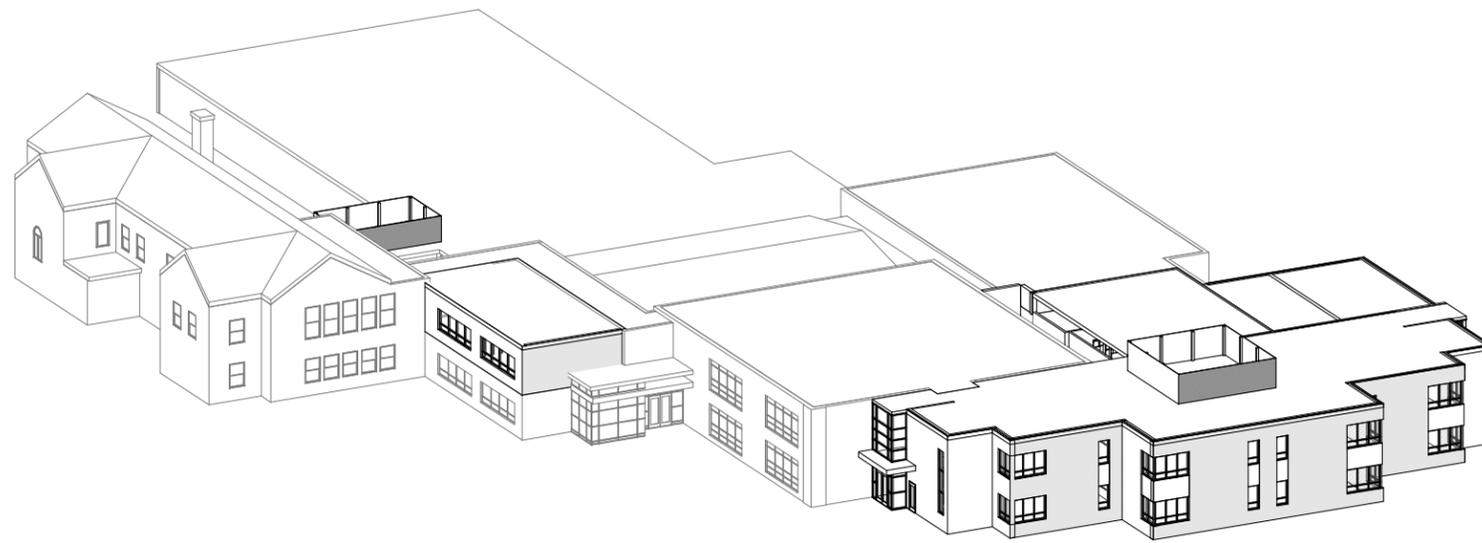
EXTERIOR ELEVATION RENDERINGS

Project Number:
02-5467-05
Drawn By:
Author
Sheet:

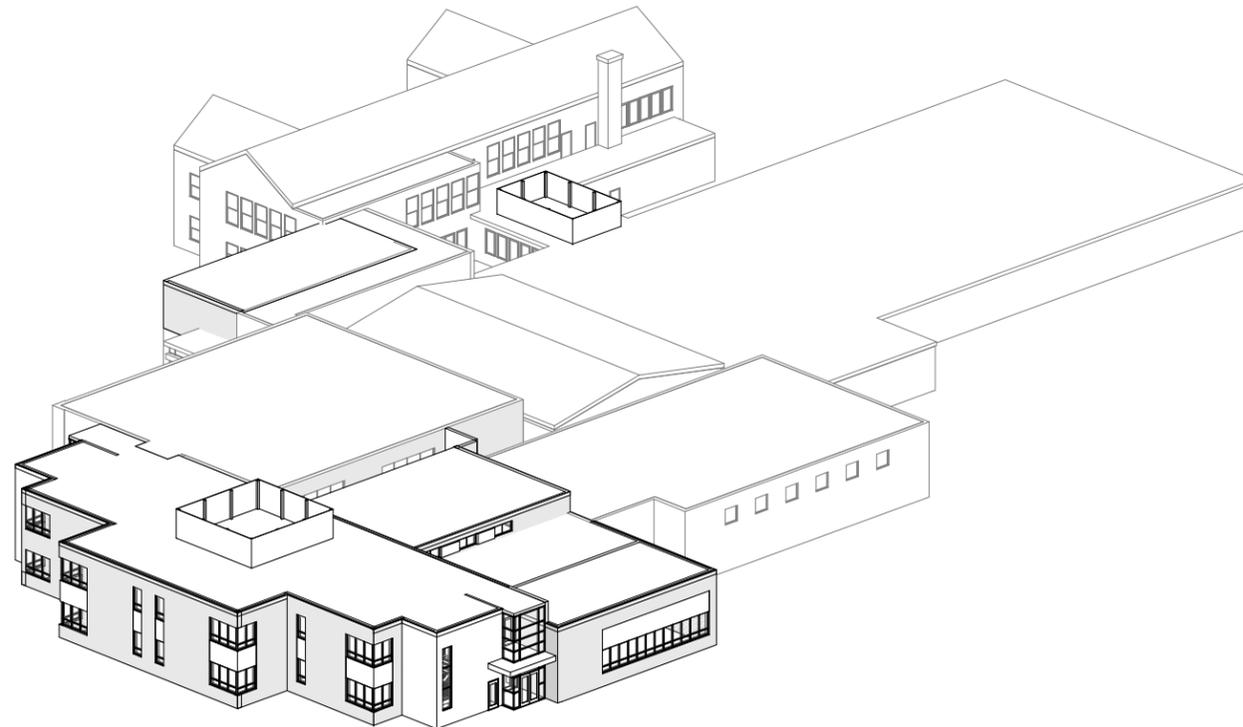
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1
H-A3.2 3-D MASSING
VIEW FROM NORTHWEST
SCALE:



2
H-A3.2 3-D MASSING
VIEW FROM SOUTHWEST
SCALE:

**NOT FOR
CONSTRUCTION**

REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	SUPPLEMENTAL ZONING BOARD SUBMITTAL	01.08.2016
	DESCRIPTION	DATE

**HALF DAY
INTERMEDIATE
SCHOOL**

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

3-D MASSING MODEL

Project Number:
02-5467-05
Drawn By:
Author
Sheet:

H-A3.2

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REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	SUPPLEMENTAL ZONING BOARD SUBMITTAL	01.08.2016
REV	DESCRIPTION	DATE

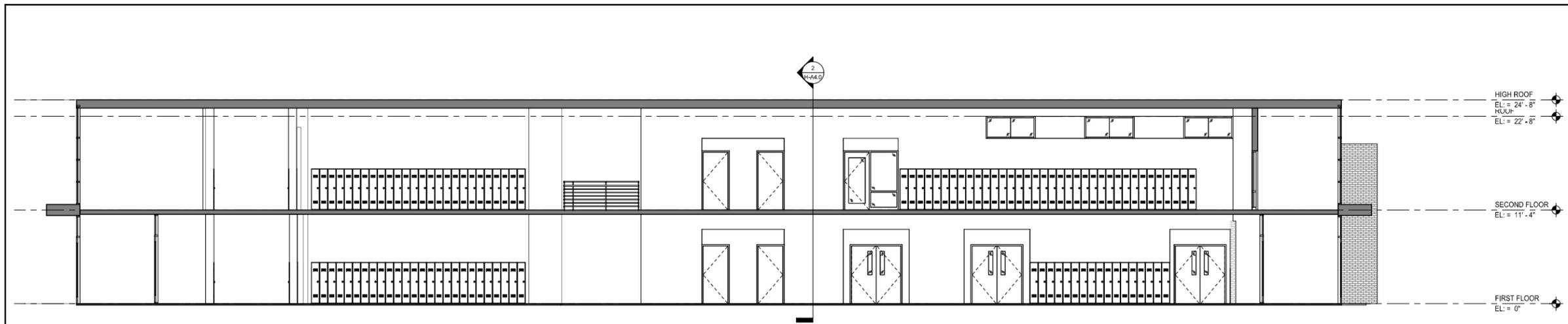
**HALF DAY
INTERMEDIATE
SCHOOL**

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

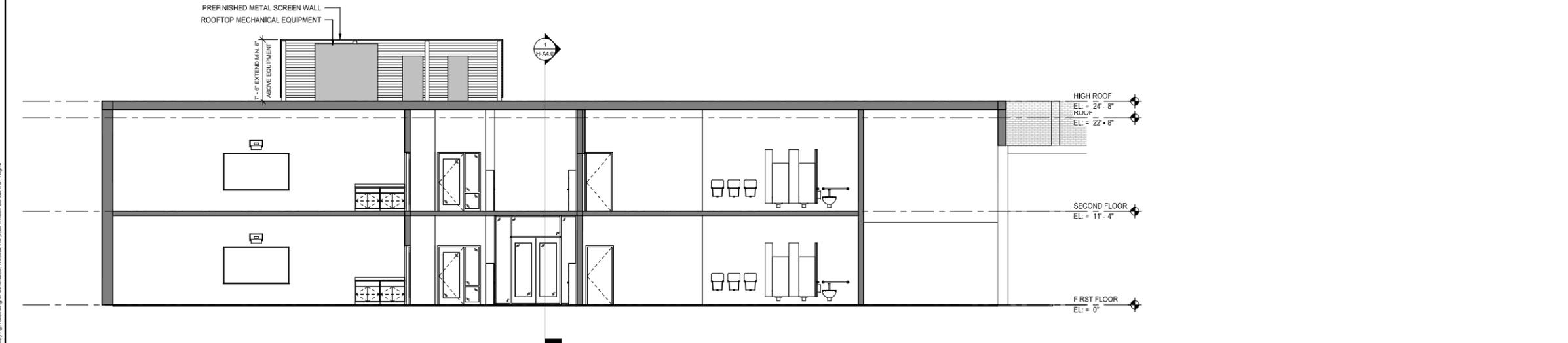
BUILDING SECTIONS

Project Number:
02-5467-05
Drawn By:
Author:
Sheet:

H-A4.0

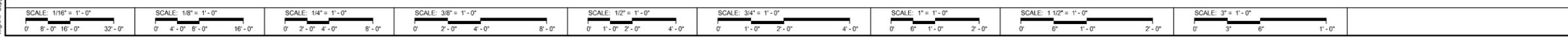


1 SECTION THRU N-S CORRIDOR
SCALE: 3/16" = 1'-0"



2 SECTION E-W
SCALE: 3/16" = 1'-0"

14/02/16 2:59:30 PM
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Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

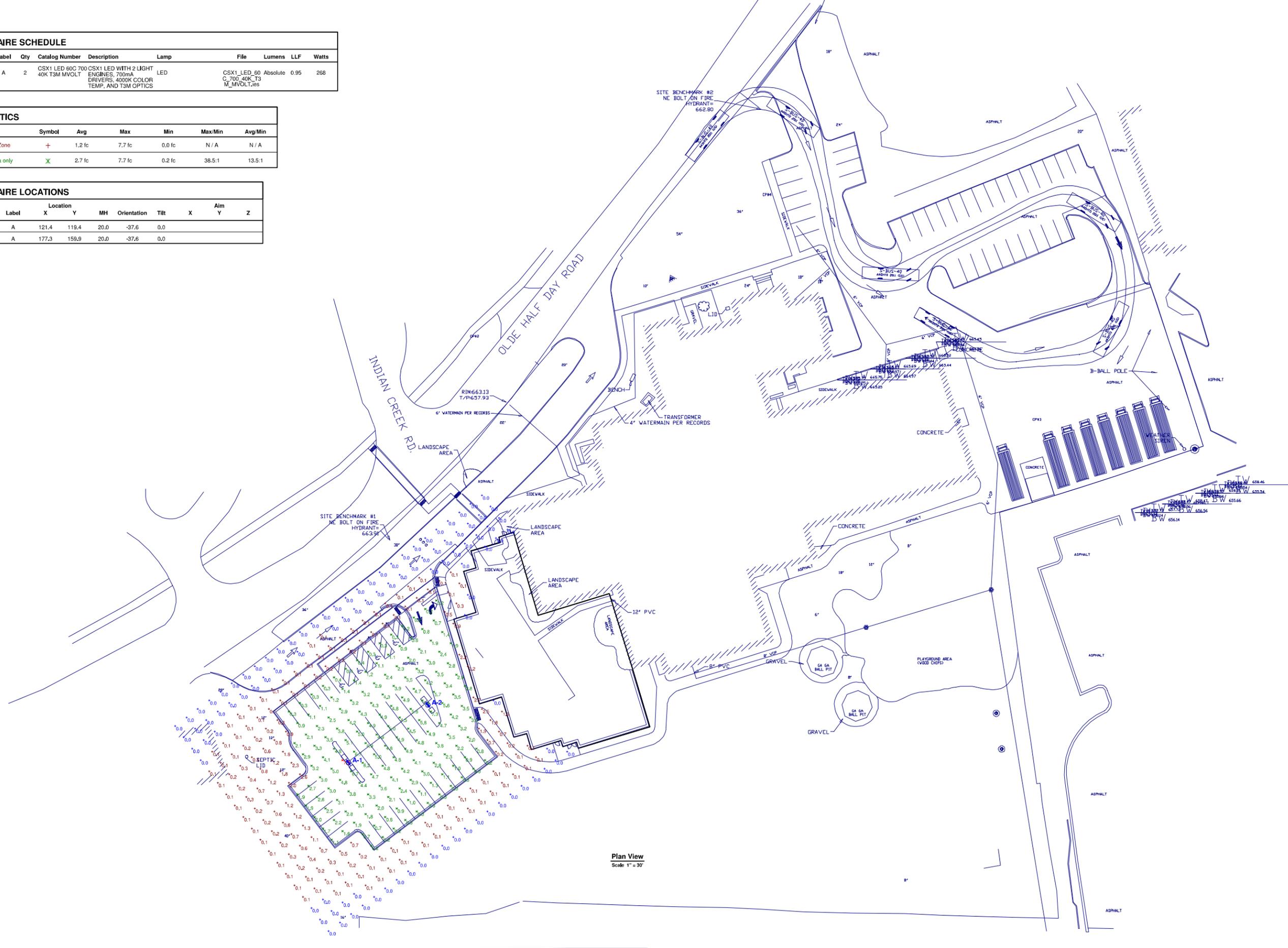
Site Photometrics

February 2, 2016

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	2	CSX1 LED 600 700 40K T3M MVOLT	CSX1 LED WITH 2 LIGHT ENGINES, 700mA DRIVERS, 4000K COLOR TEMP, AND T3M OPTICS	LED	CSX1_LED_60 C_700_40K_T3 M_MVOLT.ras	Absolute	0.95	268

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entire Calc Zone	+	1.2 fc	7.7 fc	0.0 fc	N / A	N / A
Parking Area only	X	2.7 fc	7.7 fc	0.2 fc	38.5:1	13.5:1

LUMINAIRE LOCATIONS									
No.	Label	Location		MH	Orientation	Tilt	X	Alm Y	Z
1	A	121.4	119.4	20.0	-37.6	0.0			
2	A	177.3	159.9	20.0	-37.6	0.0			



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VILLAGE BOARD SUBMITTAL		02.02.2016
ARCHITECTURAL REVIEW BOARD SUBMITTAL		01.11.2016
ZONING BOARD SUBMITTAL		01.04.2016
DESCRIPTION		DATE

HALF DAY INTERMEDIATE SCHOOL

239 OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069

SITE PHOTOMETRICS

Project Number:
02-5467-05
Drawn By:
Author
Sheet



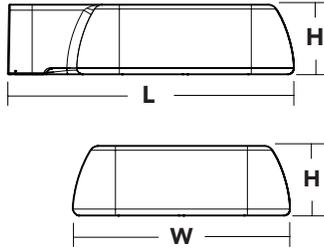
CSX1 LED LED Area Luminaire



CONTOUR
Series

Specifications

EPA:	0.7 ft ² (0.07 m ²)
Length:	23-1/2" (59.7 cm)
Width:	18-1/2" (46.9 cm)
Height:	5-7/8" (14.9 cm)
Weight (max):	37 lbs (16.8 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

The CSX1 combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing traditional metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: CSX1 LED 60C 1000 40K T3M MVOLT SPA DDBXD

CSX1 LED	60C							
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting	Options	Finish (required)
CSX1 LED	60C 60 LEDs	700 700 mA 1000 1000 mA (1 A)	40K 4000 K 50K 5000 K	T2M Type II T3M Type III T4M Type IV T5M Type V TFTM Forward throw	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket Shipped Separately² SPUMBA Square pole universal mounting adaptor ³ RPUMBA Round pole universal mounting adaptor ³ KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁴	Shipped installed PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) ⁵ DMG 0-10V dimming driver (no controls) ⁶ HS House-side shield ² SF Single fuse (120, 277, 347V) ⁷ DF Double fuse (208, 240, 480V) ⁷ DS Dual switching ^{8,9} ZELED Emergency LED secondary source (2 modules) battery pack (-20°C min. operating temperature) BL30 Bi-level switched dimming, nominal 30% ^{9,10} BL50 Bi-level switched dimming, nominal 50% ^{9,10} Shipped separately² VG Vandal guard BS Bird-deterrent spikes	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Drilling

Template #8

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹¹
SCU	Shorting cap ¹¹
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴
PUMBA DDBXD U*	Round and square pole universal mounting bracket adaptor (specify finish)
CSX1HS U	House-side shield (includes 2 shields)
CSX1VG U	Vandal guard accessory
CSX1BS U	Bird-deterrent spikes accessory

CSX1 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles.

DM19AS	Single unit	DM29AS	2 at 90° *
DM28AS	2 at 180°	DM39AS	3 at 90° *
DM49AS	4 at 90° *	DM32AS	3 at 120° **

Example: SSA 20 4C DM19AS DDBXD

Visit [Lithonia Lighting's POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.
**For round pole mounting (RPA) only.

Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as a separate accessory; see Accessories information at left.
- 1.5 G vibration load rating per ANCI C136.31.
- Requires "SPA" mounting option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Add'l hardware and services required for ROAM® deployment; call 1-800-442-6745.
- Not available with 347 or 480V.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50% dimming capability via two independent drivers, each operating half the luminaire. Available with MVOLT and two light engines only. N/A with PER, DCR, DMG or ZELED.
- Requires an additional switched line.
- Dimming driver standard. MVOLT only. Not available with DCR.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000 K, 70 CRI)					50K (5000 K, 67 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60C (60 LEDs)	700 mA	60C 700 --K	134W	T2M	13,662	3	0	3	102	14,651	3	0	3	109
				T3M	14,461	3	0	3	108	15,508	3	0	3	116
				T4M	14,441	2	0	3	108	15,486	3	0	3	116
				T5M	14,494	4	0	2	108	15,543	4	0	2	116
				TFTM	14,643	2	0	3	109	15,703	2	0	3	117
	1000 mA	60C 1000 --K	209W	T2M	17,652	3	0	3	84	19,028	3	0	3	91
				T3M	18,684	3	0	3	89	20,141	3	0	4	96
				T4M	18,658	3	0	4	89	20,113	3	0	4	96
				T5M	18,726	5	0	3	90	20,187	5	0	3	97
				TFTM	18,919	3	0	3	91	20,395	3	0	4	98

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	1.00
40°C	104°F	0.99

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the CSX1 LED 60C platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.83

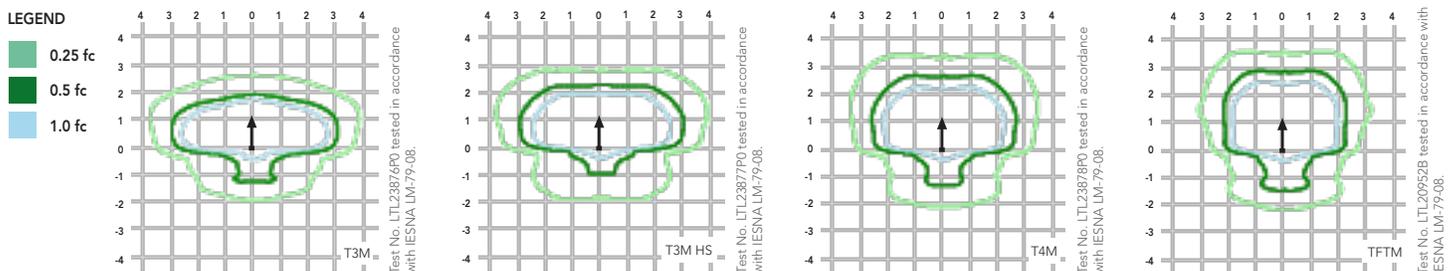
Electrical Load

Number of LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
60C	700	134W	1.321	0.756	0.659	0.580	0.462	0.337
	1000	209W	2.068	1.198	1.056	0.943	0.764	0.605

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSX1 homepage](#).

Isofootcandle plots for the CSX1 LED 60C 1000 40K. Distances are in units of mounting height (20').



FEATURES & SPECIFICATIONS

INTENDED USE

The Contour Series LED area luminaire is ideal for streets, walkways, parking lots, and surrounding areas that call for high-performance LED lighting in a transitional dayform.

CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A metallic screen covers the top of the housing, preventing debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver and electronics are thermally isolated from the light engine(s), ensuring long life. Housing is completely sealed against moisture and environmental contaminants.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000 K (70 CRI) or optional 5000 K (67 CRI) configurations. The CSX1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engines consist of 60 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L70). Class 1 electronic driver

designed to have a power factor >90%, THD <20%, with an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 3.0 G vibration load rating per ANSI C136.31. The CSX1 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options; wall mounting bracket also available. Available mast arm adapter accessory accepts horizontal tenons up to 2-3/8" O.D.

LISTINGS

CSA Certified to U.S. and Canadian standards. Light engines and luminaire are IP66 rated. **U.S. Patent No. D632830. U.S. Patent No. D653,382 S.**

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Building Materials

February 2, 2016

Building Materials

February 2, 2016

Brick Veneer



Manufacturer: To be determined

Product: To be determined

Description: Brick veneer painted white to match existing brick

Color: White

Fiber Cement Siding



Manufacturer: Nichiha

Product: Illumination Series

Description: Smooth fiber cement panels installed horizontally with vertical score.

Color: White

Aluminum Window System



Manufacturer: Kawneer

Product: 1600 Wall System 1

Description: Frames to be clear anodized aluminum

Color: Clear

Glazing



Manufacturer: Old Castle

Product: Solarban 70XL

Description: 1" insulated glass unit with Low-E. Spandrel panels warm gray frit on glass surface #4

Color: Clear at vision glass, Warm gray spandrel glass



REQUEST A SAMPLE



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 - WHY NICHIIHA
 - BLOG

PRODUCTS

- ARCHITECTURAL WALL PANELS
- PREMIUM SIDING PRODUCTS
- NICHIPRODUCTS
- FEATURES & BENEFITS
- ESSENTIAL FLASHING SYSTEM

Illumination Series

Nichiha's Illumination Series delivers sleek sophistication with a custom flair. Sleek, bold, vibrant. These are the words industry professionals are using to describe Nichiha's Illumination Series line of fiber cement panels. Its smooth satin finish, easy installation and a virtually limitless color pallet give you a degree of design freedom that most cladding products simply can't match; at a price your budget can always accommodate. Delivering sleek sophistication comes naturally for the Illumination Series. But don't let the pretty face fool you. There's more than meets the eye.



- CAD DETAILS
- PRODUCT SPECS
- GALLERY
- CASE STUDY
- SIX FOOT PANELS - HORIZONTAL INSTALLATION GUIDE
- TEN FOOT PANELS - VERTICAL INSTALLATION GUIDE
- TEN FOOT PANELS - HORIZONTAL INSTALLATION GUIDE
- LITERATURE

6' PANEL



PROFILE	LARGE 18" x 6' WITHOUT SCORE SMALL 18" x 6' WITH SCORE
DIMENSIONS (NOM. FT. ~ ACTUAL MM)	18" [H] x 6' [L] (455MM [H] x 1,818MM [L])
THICKNESS (NOM. IN. ~ ACTUAL MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	35.2
WEIGHT (LBS. PER SQ. FT.)	3.9
EXPOSED COVERAGE (SQ. FT. PER PANEL)	9
PACKAGING (PIECES PER PACK)	2 [18 SQ. FT.]
NOTE: CAN BE INSTALLED HORIZONTALLY	

10' PANEL

DIMENSIONS (NOM. FT. ~ ACTUAL MM)	18" [H] x 10' [L] (455MM [H] x 3,030MM [L])
THICKNESS (NOM. IN. ~ ACTUAL MM)	5/8 (16MM)
WEIGHT (LBS. PER PANEL)	57.2
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	15
PACKAGING (PIECES PER PACK)	2 [30 SQ. FT.]
NOTE: CAN BE INSTALLED HORIZONTALLY OR VERTICALLY	

Nichiha Fiber Cement, Architectural Wall Panels, wall cladding, 3d, texture, exterior walls, custom color, stackable panels, brick, stone, block, wood, grain, 3-D, rainscreen, rain, screen, rain screen, moisture management, moisture, management, Illumination, illumination series, architecture

TECHNICAL
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1600 Wall System®1 / System®2

Imposing Statements –
Used Together
Or Independently



Knight Oil Tools Corporate Facility, Lafayette, LA
Architect: Donald J. Breaux Architect, Lafayette, LA
Glazing Contractor: Advantage Glass & Mirror, New Iberia, LA, with
installation assistance from DeGeorge Glass Company, Inc., Metairie, LA

Building on the proven success of Kawneer's 1600 Wall System® which set the standards for curtain wall engineering, 1600 Wall System®1 and 1600 Wall System®2 provide reliability with versatile features. Both are stick-fabricated, pressure glazed curtain walls for low-to-mid-rise applications and are designed to be used independently or as an integrated system to provide visual impact for almost any type of building.

- 1600 Wall System®1 is an outside glazed, captured curtain wall
- 1600 Wall System®2 is a Structural Silicone Glazed (SSG) curtain wall

Aesthetics

Even the smallest details of 1600 System®1/1600 Wall System®2 reflect the aesthetics and reliability that derive from Kawneer's precise engineering and experience. The joinery for both systems is accomplished with concealed fasteners to create unbroken lines and a monolithic appearance. When using optional, open back horizontal mullions, the fillers snap at the edge, producing an uninterrupted sight line.

Performance

Key aspects of 1600 System®1 and 1600 Wall System®2 are enhanced for higher performance. Pressure equalization has been designed into the system and all components are silicone compatible to provide superior longevity. For installations where severe weather conditions are prevalent, 1600 Wall System®1 has been large missile hurricane impact and cycle tested. Proven through years of high performance, both systems are tested according to industry standards:

Air Performance	ASTM E-283
Static Water Penetration	ASTM E-331
Dynamic Water Penetration	AAMA 501.1
Structural Performance	ASTM E-330
"U" Value, CRF	AAMA 1503.1
Sound Transmission Rating	ASTM E 90-90
Seismic Performance	AAMA 501.4

For the Finishing Touch

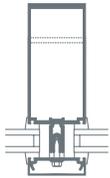
Permadonic Anodized finishes are available in Class I and Class II in seven different colors.

Painted Finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

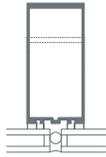
Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.



Hunter Henry Center at Mississippi State University,
Mississippi State, MS
Architect: Foil Wyatt Architects & Planners, P.A., Jackson, MS
Glazing Contractor: American Glass Company, Inc., Columbus, MS



1600 Wall System®1



1600 Wall System®2

1600 Wall System®1/1600 Wall System®2:

- for reliability
- for performance
- for versatility
- for a smooth, monolithic appearance
- for uninterrupted sight lines

Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555

 **KAWNEER**
AN ALCOA COMPANY



Aesthetic Description

Solarban[®] 70XL glass is a revolutionary new Solar Control Low-E glass that brilliantly combines the clear appearance of transparent, color-neutral glass with an unprecedented combination of solar control and visible light transmittance.

With the introduction of **Solarban 70XL** Magnetic Sputter Vacuum Deposition (MSVD) coated glass, PPG has expanded the universe of design possibilities in two important ways. First, this product allows architects to incorporate vast areas of vision glass into a building's design without a requisite expansion of its cooling capabilities. Second, architects can now specify a clear aesthetic while achieving solar control performance that was previously attainable only through the use of tinted glass and a Solar Control Low-E coating in an insulating glass unit.

Performance Options

When coupled with conventional clear glass in a one-inch insulating glass unit, **Solarban 70XL** surpasses, by far, the performance of any other Solar Control Low-E glass on the market today.

- Solar Heat Gain Coefficient (SHGC): 0.27
- Visible Light Transmittance (VLT): 64%
- Light to Solar Gain (LSG) ratio: 2.37

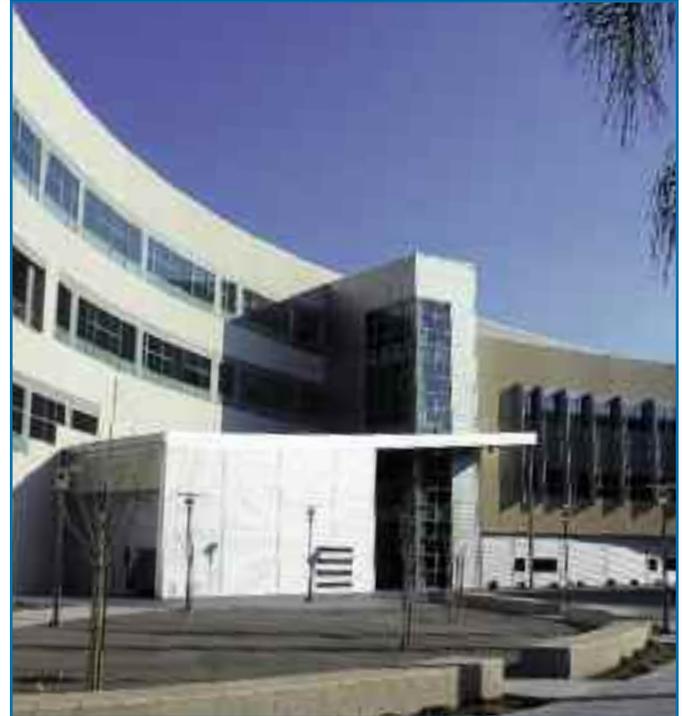
For architects who desire a tinted glass aesthetic and enhanced solar control, **Solarban 70XL** glass can be combined in an insulating glass unit with any tinted glass from PPG, including the four tints from the **Oceans of Color[®]** collection of ocean inspired tinted glasses, as well as any PPG performance or high-performance earth-toned tint.

Lower Upfront Equipment Costs. Long-Term Energy Savings.

While architects will appreciate **Solarban 70XL** sputter coated glass for its aesthetic qualities, their clients and building owners will truly value the energy-related cost savings it provides. According to a recent study by an independent energy and environmental research firm, **Solarban 70XL** glass has the potential to reduce annual energy costs by 5 percent or more in comparison with leading Solar Control Low-E coated glasses.

The greatest benefit of specifying this glass may be realized before the building is even occupied. Thanks to the unequalled solar control characteristics of **Solarban 70XL** glass, architects can specify smaller HVAC systems for buildings glazed with this product, potentially reducing the associated upfront capital investment by as much as \$124,000.

As a result, architects and building owners who specify **Solarban 70XL** glass instead of other Solar Control Low-E coated glass products may have their investment repaid in a matter of months.



*The College of Business Administration at California State University's San Marcos campus features **Solarban 70XL** glass, a revolutionary Solar Control Low-E coated glass that offers an unprecedented combination of visible light transmittance and solar control characteristics in a clear, color-neutral glass.*
Architect: A.C. Martin Partners, Los Angeles
Glass Fabricator: Oldcastle BuildingEnvelope[™]
Glazing Contractor: Division 8, Inc.
CSUSM photo by George Cagala

Eight-Story Office Building, Window Wall

City	Annual Operating Expenses		Annual Savings	Total HVAC Equipment Cost		Immediate Equipment Savings	1st Year Savings
	SB60	SB70XL		SB60	SB70XL		
Atlanta	\$622,492	\$586,400	\$36,092	\$1,267,770	\$1,146,495	\$121,275	\$157,367
Boston	\$764,793	\$729,696	\$35,097	\$1,251,705	\$1,136,450	\$115,255	\$150,352
Chicago	\$370,681	\$352,779	\$17,902	\$1,252,297	\$1,137,731	\$114,566	\$132,468
Denver	\$397,799	\$375,521	\$22,278	\$1,292,788	\$1,168,451	\$124,337	\$146,615
Houston	\$761,534	\$718,618	\$42,916	\$1,253,879	\$1,140,825	\$113,054	\$155,970
Los Angeles	\$623,649	\$582,454	\$41,195	\$1,263,556	\$1,144,014	\$119,542	\$160,737
Mexico City	\$707,060	\$668,434	\$38,626	\$1,278,536	\$1,154,115	\$124,421	\$163,047
Ottawa	\$431,308	\$412,595	\$18,713	\$1,247,862	\$1,133,965	\$113,897	\$132,610
Philadelphia	\$378,447	\$365,425	\$13,022	\$1,249,329	\$1,132,635	\$116,694	\$129,716
Phoenix	\$394,492	\$374,898	\$19,594	\$1,256,077	\$1,140,972	\$115,105	\$134,699
St. Louis	\$310,660	\$294,417	\$16,243	\$1,274,889	\$1,156,292	\$118,597	\$134,840
Seattle	\$299,472	\$284,629	\$14,843	\$1,237,408	\$1,125,334	\$112,074	\$126,917

Total Glass Area: 56,640 ft²

*The chart above is taken from a study conducted by an independent energy and environmental research firm. It shows that **Solarban 70XL** glass can dramatically reduce costs for cooling equipment while generating significant savings on annual cooling costs when compared with other industry-leading high-performance glasses such as **Solarban 60** Solar Control Low-E Glass.*



Fabrication and Availability

Solarban 70XL glass is available through more than 60 locations of the PPG Certified Fabricator Network. PPG Certified Fabricators can meet tight construction deadlines and accelerate the delivery of replacement glass before, during and after construction. **Solarban** 70XL glass, manufactured utilizing the MSVD sputter-coating process, is available for annealed, heat strengthened and tempered applications.



More Information

PPG has published a paper detailing the results of a comprehensive energy simulation study of **Solarban** 70XL coated glass in 12 major North American cities. To order

a copy of *Immediate and Long-Term Economic Advantages of Specifying Solarban® 70XL Solar Control Low E-Glass*, call 1-888-PPG-IDEA (774-4332), call your local PPG Architectural Glass representative or visit www.ppgideascales.com.

Additional Resources

Solarban 70XL glass is just one of the **ecological Building Solutions™** from PPG. For more information, or to obtain samples of this product, call 1-888-PPG-IDEA, or visit www.ppgideascales.com. All PPG architectural glass is Cradle to Cradle Certified.™



PPG IdeaScapes.™ Integrated products, people and services to inspire your design and color vision.

Solarban® 70XL Glass Performance — Commercial Insulating Glass Unit

Insulating Vision Unit Performance Comparisons 1-inch (25mm) units with 1/2-inch (13mm) airspace and two 1/4-inch (6mm) lites; interior lite clear unless otherwise noted											
Glass Type	Transmittance			Reflectance		U-Value (Imperial)		European U-Value	Shading Coefficient	Solar Heat Gain Coefficient	Light to Solar Gain (LSG)
	Ultra-violet %	Visible %	Total Solar Energy %	Visible Light %	Total Solar Energy %	Winter Night-time	Summer Day-time				
Coated											
SOLARBAN® 70XL Solar Control Low-E Glass											
SOLARBAN 70XL (2)* + Clear	6	64	25	12	52	0.28	0.26	1.50	0.32	0.27	2.37
SOLEXIA + SOLARBAN 70XL (3)*	3	56	20	11	13	0.28	0.26	1.50	0.37	0.32	1.74
ATLANTICA + SOLARBAN 70XL (3)*	2	49	17	10	8	0.28	0.26	1.50	0.32	0.28	1.74
CARIBIA + SOLARBAN 70XL (3)*	2	49	17	9	8	0.28	0.26	1.50	0.32	0.28	1.75
AZURIA + SOLARBAN 70XL (3)*	4	49	17	10	8	0.28	0.26	1.50	0.33	0.29	1.70
PACIFICA + SOLARBAN 70XL (3)*	2	31	12	6	7	0.28	0.26	1.50	0.26	0.22	1.38
SOLARBLUE + SOLARBAN 70XL (3)*	3	41	16	8	16	0.28	0.26	1.50	0.32	0.27	1.48
SOLARBRONZE + SOLARBAN 70XL (3)*	3	38	15	8	20	0.28	0.26	1.50	0.30	0.26	1.48
SOLARGRAY + SOLARBAN 70XL (3)*	2	32	13	7	15	0.28	0.26	1.50	0.27	0.24	1.34
OPTIGRAY23 + SOLARBAN 70XL (3)*	1	17	7	5	7	0.28	0.26	1.50	0.19	0.16	1.04
GRAYLITE + SOLARBAN 70XL (3)*	1	10	5	5	11	0.28	0.26	1.50	0.16	0.14	0.71
VISTACOOL™ and SOLARCOOL® with SOLARBAN® 70XL Solar Control Low-E (3)*											
VISTACOOL (2) AZURIA + Low-E	4	38	14	21	12	0.28	0.26	1.50	0.27	0.24	1.59
VISTACOOL (2) PACIFICA + Low-E	1	24	9	11	9	0.28	0.26	1.50	0.22	0.19	1.24
VISTACOOL (2) CARIBIA + Low-E	2	38	13	20	11	0.28	0.26	1.50	0.27	0.23	1.65
VISTACOOL (2) SOLARGRAY + Low-E	2	25	10	11	17	0.28	0.26	1.50	0.23	0.20	1.24
SOLARCOOL (2) SOLEXIA + Low-E	1	22	8	24	16	0.28	0.26	1.50	0.20	0.17	1.28
SOLARCOOL (2) CARIBIA + Low-E	1	19	6	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) AZURIA + Low-E	1	19	7	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) PACIFICA + Low-E	1	12	4	10	8	0.28	0.26	1.50	0.15	0.13	0.89
SOLARCOOL (2) SOLARBLUE + Low-E	1	16	6	14	16	0.28	0.26	1.50	0.18	0.15	1.03
SOLARCOOL (2) SOLARBRONZE + Low-E	1	15	6	14	19	0.28	0.26	1.50	0.17	0.15	1.01
SOLARCOOL (2) SOLARGRAY + Low-E	1	13	5	11	15	0.28	0.26	1.50	0.16	0.14	0.89
SOLARCOOL (2) GRAYLITE + Low-E	<1	3	1	5	5	0.28	0.26	1.50	0.11	0.09	0.27

*Solarban 70XL for annealed applications is applied to **Starphire** glass, heat treated applications will require either clear or **Starphire** glass depending on manufacturing process.

All performance data calculated using LBNL Window 5.2 software, except European U-Value, which is calculated using WinDat version 3.0.1 software. For detailed information on the methodologies used to calculate the aesthetic and performance values in this table, please visit www.ppgideascales.com or request our Architectural Glass Catalog.

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PROFILE SERIES

EXPOSED FASTENER PANELS

Exposed Fastener panels provide ultimate flexibility with panels that can be used as exterior or interior walls, roofs or soffits.



MR3-36

FEATURES & BENEFITS

- Extremely versatile panels can be used as exterior or interior walls, roofs and soffits
- Ribs can be run either horizontally* or vertically
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DESCRIPTION

SUBSTRATES

- Standard 24*-18 gage G90 Galvanized Steel
- Aluminum or stainless steel—optional
- Smooth or embossed surface textures

*24 gage only available in certain profiles.
Consult CENTRIA.

EXPOSED FASTENER PROFILES

- Horizontal or vertical wall installation
- Wall and roof installation
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Consult CENTRIA for more information

COATINGS & COLORS

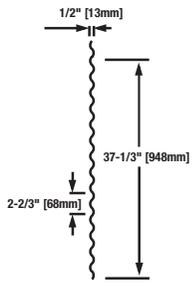
Available in a wide range of coil coated colors and finishes. See charts on pages 45-49



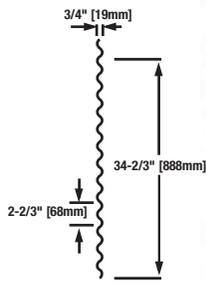
Kennedy Space Center
Titusville, FL
BRPH



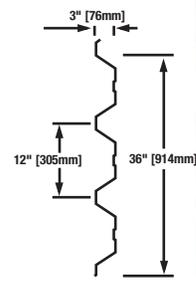
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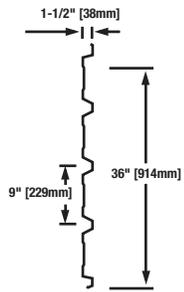
ECONOLAP 3/4"



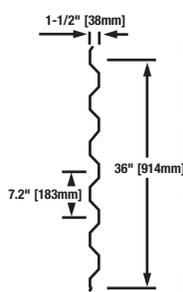
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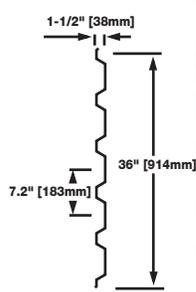
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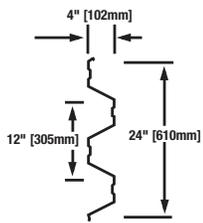
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BR5-36



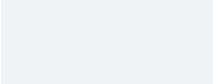
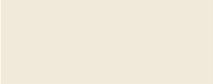
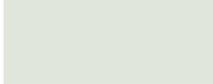
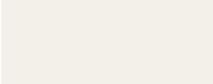
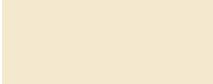
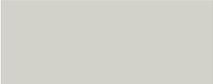
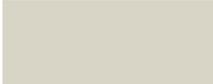
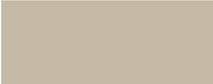
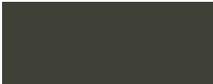
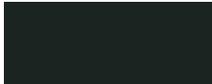
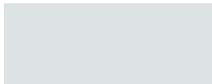
SUPER-RIB



Stage AE
Pittsburgh, PA
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COLORS

PRISMATIC™ SERIES COLORS—FLUOROFINISH, DURAGARD AND DURAGARD PLUS

				
179 Regal White	996 Crushed Ice	993 Off-White †	995 Cambridge White	310 Bone White
				
994 Colonial White	5012 Marble	992 Lee Ivory †	133 Sandstone	1760 Limestone †
				
142 Surrey Beige †	9910 Light Seawolf †	9911 Pebble	997 Prism Yellow	5444 Aged Copper
				
977 Moss	9933 Cypress Olive	978 Hunter Green	183 Evergreen	9932 Hartford Green
				
177 Slate Blue	9926 Arabian Blue	974 Teal Blue	9928 Cherokee Blue	200 Deep Blue Sea
			<p>Unless specified otherwise, CENTRIA will provide a standard backer coat on the reverse side of single skin panels. Color may vary.</p> <p>Polyester Arctic Ice is the standard finish offering for the interior surfaces of foam panels. Other finishes available upon request.</p> <p>† Standard Duracast finish color. Consult CENTRIA for custom colors.</p> <p>Colors shown are for preliminary selection only. Printed colors can vary from actual painted material.</p> <p>Contact CENTRIA for painted metal samples before final selection.</p> <p>NOTE: Because of the differences in the formulation and application properties of spray-applied coatings versus coil coatings, a slight color variation is likely to occur when matching coatings of these different types..</p>	
9930 Night Horizon	9923 Granite	971 Chromium Gray		
				
9917 Light Gray †	9918 Dove Gray †	9919 Fashion Gray		
				
181 Slate Gray †	9922 Steel Gray	9921 Charcoal Gray		
				
9914 Midnight Bronze	154 Dark Bronze	9916 Rich Black		
				
9912 Sage Brown	1243 Mocha	9937 Mauve		
				
156 Colonial Red	999 Aspen Gold	5913 Polyester Arctic Ice Interior Use Only		

Village of Lincolnshire
Zoning Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Half Day School

Traffic Study

February 2, 2016

Traffic Planning Study

To: Dan Stanley – Lincolnshire-Prairie View School District 103

625 Forest Edge Drive, Vernon Hills, IL 60061

TEL 847.478.9700 ■ FAX 847.478.9701

Copy: Leanne Meyer-Smith – Wight & Company
Don Matthews - GHA

www.gha-engineers.com

From: Daniel P. Brinkman, PE, PTOE

Date: January 8, 2016

Subject: Proposed School Addition & Site Improvements
Half Day School
239 Olde Half Day Road
Lincolnshire, Illinois

Part I. Project Context

Per your request, GEWALT HAMILTON ASSOCIATES, INC. (GHA) has conducted a Traffic Planning Study for the above captioned project. The following report summarizes our findings and recommendations for your consideration. The Exhibits and Appendices referenced throughout this report are conveniently located in the Technical Addendum at the end of this document.

School District 103 proposes to make two additions to the existing Half Day School located at 239 Olde Half Day Road in Lincolnshire. Per the Architectural Site Plan prepared by Wight & Company (see Appendix A) a small 2nd floor classroom addition over existing 1st floor space is proposed as well as a larger two-story addition to the west side of the building. In total, Half Day school will be expanded by just over 26,000 square feet for the purpose of accommodating 5th Grade students on campus. The major building expansion is proposed to occur in the primary staff parking lot and as such, modifications to the parking lot and circulation patterns on campus will be made.

Part II. Summary Statement

Briefly summarizing, we believe that the expansion of Half Day School represents a minimal impact on the traffic volumes and patterns in the area. Key reasons include:

- Site modifications are proposed to address the afternoon dismissal queue and improve operations.
- Additional buses will be provided and accommodations made on-site to improve stacking and circulation.
- On-site parking will continue to be in excess of the Village requirement.
- Our analyses does not discount future traffic volumes for potential siblings in the new 5th grade whose parents currently participate in drop-off and pick-up at Half Day School.

Part III. Background Conditions

Site Context and Photo Inventory

Exhibits 1 and 2 provide a location map/aerial photograph and a street-level photo inventory of the site vicinity respectively. Key conditions in the area are as follows:

- Olde Half Day Road is a local (Village of Lincolnshire jurisdiction) route that extends for approximately ¼ mile between IL Rte 22 (Half Day Road) and US 45 / IL Rte 21 (Milwaukee Avenue) in the Village of Lincolnshire. Olde Half Day provides a single travel lane in each direction but widens to provide separate left turn lanes at its signalized intersections with IL Rte 22 and US Rte 45/IL Rte 21. On-street parking is prohibited for the length of Olde Half Day Road. The posted speed limit is 35-mph but a 20-mph School Zone exists as well.
- Indian Creek Road is another local route that meets Olde Half Day at a “T” intersection roughly mid-way along the school site frontage. Indian Creek Road provides a single travel lane in each direction and has a posted speed limit of 25-mph. Left turns from Olde Half Day to Indian Creek are prohibited Monday - Friday between the hours of 3pm and 6pm.
- The Vernon Area Public Library is located across Olde Half Day Road from Half Day School on the west side of Indian Creek Road and the Chicago Lighthouse Church is located on the east side of Indian Creek Road.
- Half Day School is accessed via a single full access driveway near the east property line that provides access to 40 parking spaces and a paved play area that doubles as the bus loading and unloading area. Additionally a pair of one-way drives serve a drive that parallels Olde Half Day Road further southwest along the frontage. The western most drive aligns opposite an entrance for the Vernon Area Library. The one-way pair of drives also serve as the only access for the western parking lot which contains another 39 spaces including 3 handicapped accessible spaces.
- Parent pick-up /drop-off operations occur in the drive that parallels Olde Half Day Road and in the parking lot west of the building.
- Busses utilized the paved play area south of the eastern parking lot. Circling through the lot after the morning drop off and staging – all backed along the south fence line in the afternoon prior to student dismissal.

Existing Traffic Counts

Peak period traffic turning movement counts were conducted by GHA on Thursday November 12, 2015 from 6:00 – 9:00 AM and 2:00–6:00 PM at the school access drives along Olde Half Day.

Peak Hours at the school driveways occurred from 8:00-9:00 AM and from 3:00-4:00 PM – generally corresponding with the start and end times of the school day. The observed vehicle counts at the school driveways are illustrated in *Exhibit 3*.

No unusual activities (e.g. roadway construction, emergency vehicle activity or inclement weather) were observed during our counts that would be expected to impact traffic volumes or travel patterns in the vicinity.

Some key observations include:

- All students arriving in the morning enter the building from the various drop off locations
- Drop off maneuvers are efficient and accommodated within the limits of the front drive – rarely extending beyond the parking lot entrance.
- Bus arrival and departure during the morning hours is kept separate from parents and works efficiently.
- Busses arriving from the west need the entire east driveway to accommodate their almost 180-degree right turn into the site. A realignment of the drive should be considered as a future improvement.

- A school staff member encourages parents to extend the afternoon pick-up queue into the parking lot.
 - Currently vehicles stack clockwise around the lot resulting in a “crossover” as the queue extends to the driveway. This should be changed as soon as practical to a counter-clockwise pattern to eliminate the crossovers. Approximately 32 vehicles can be accommodated on site in the current stacking configuration.

- Parent vehicles were observed queuing to nearly Olde Half Day Road in the afternoon.
- Bus flow in and out of the site – despite the unconventional three-point-turn maneuvers is efficient and works well.

Exhibit 4 illustrates the current traffic operations.

Summaries of the existing traffic counts can be found in *Appendix B*.

Existing Parking Observations:

GHA collected “spot counts” of parking occupancy during our observation periods. The observed parking utilization is as follows:

Date / Time	East Lot 1	West Lot	Total	Percent Occupied
Nov 12 / 2:30 pm	27	19	46	58%
Nov 12 / 3:45 pm	18	16	37	43%
Nov 13 / 8:25 am	22	18	40	51%
Nov 13 / 9:10 am	27	19	46	58%
		Averages:	43	54%

As can be seen, from our observations during school hours, the parking lot was rarely more than ½ full with an average occupancy of 43 vehicles or 54% utilization. Currently there are 79 parking spaces on site including 3 accessible spaces.

Part IV. Proposed Development

Site Plan

Included as *Appendix A* is the Architectural Site Plan for Half Day School dated November 6, 2015 and prepared by Wight and Company. As can be seen, the proposed expansion includes a ±1,600 square foot 2nd

story classroom addition as well as a ±12,240 square foot two story classroom wing on the west side of the building.

Included as Appendix C is the January 8, 2016 preliminary site plan prepared by GHA. Key components of the site plan include:

- A new connection between the east parking area and the paved play area to better accommodate the movements of additional busses.
- Modified and slightly expanded west parking lot.
- Improved / widened pedestrian connection to new parking lot
- Modified and expanded detention areas/

Project Traffic Characteristics

Exhibit 5 – Part A tabulates the traffic generation calculations for the existing school. Part A.1 tabulates the observations made by GHA in November 2015. Part A.2 tabulates for comparison, the anticipated traffic volumes one would expect for a school of 375 students based on historical rates published by the Institute of Transportation Engineers (ITE) in the 9th Edition of the Manual *Trip Generation*.

As can be seen, the driveway volumes at Half Day School are slightly lower in the morning peak hour and appreciably higher during the afternoon peak hour than the published data would suggest. To be conservative, we have assigned traffic associated with the expansion and the addition of approximately 180 5th grade students based on the higher rates per student. This conservative approach estimates that Half Day School will experience an additional 80 trips (combined inbound and outbound) during each of the peak hours. We feel that this approach helps ensure that the maximum impacts of the proposed additional students is considered. Furthermore, it is likely that some of the new 5th grade students have siblings at Half Day School so drop-off and pick-up volumes may not increase at the same ratio as observed.

Exhibit 5 – Part B illustrates the observed trip distribution for school traffic from the November 2015 counts. While the arrival pattern of traffic is balance and nearly split evenly east and west of the school, a significant majority of traffic leaving campus turns right and heads to the east and the signalized intersection of Olde Half Day Road and IL Rte 21 (Milwaukee Avenue). Traffic assignments for the additional vehicles associated with adding 5th grade students to the campus were assumed to follow the current traffic patterns during the peak hours.

Part V. Traffic Evaluation

Traffic Assignments

Exhibit 6 illustrates the site traffic assignments for the new parking lot traffic, which is based on the traffic characteristics summarized in Exhibit 5 (i.e. traffic generation, trip distribution and driveway usage) and assigned to the site access and adjacent roadway network.

Site traffic was then combined with the Existing volumes in Exhibit 3 to produce the Total Traffic, which is illustrated in Exhibit 7.

Parking Discussion and Site Plan comments

Parking for elementary / Jr High Schools in accordance with the Village of Lincolnshire Zoning Ordinance 6-1-2 is as follows:

1 space per employee

Half Day School upon completion of the proposed building additions and inclusion of 5th Grade students, District 103 estimates that Half Day School will have 70 employees.

Based on the Zoning Ordinance, Half Day School will require 70 spaces. As previously noted the proposed site plan provides 79 spaces, including 4 accessible spaces. Parking exceeds the code requirement as proposed.

Exhibit 8 illustrates the proposed site improvements in addition to the building expansion, and recommendations for future traffic operations including:

- Expanded building footprint
- Additional and expanded sidewalks within the pick-up/drop-off zone and at the southwest corner of the expansion
- New bus drive connection in east parking lot to accommodate additional 3-5 busses
- New bus alignment / stacking location for dismissal
- West parking lot modifications with increased queueing space and improved – counterclockwise operation
- Additional detention area southwest of the parking lot and school expansion

Exhibit 9 provides additional detail of the proposed operations of the east parking lot including:

- AutoTurn simulation illustrating that there is ample clearance within the lot to allow two vehicles to stack side-by-side for maximum queueing during the afternoon pick-up operations.
- Illustration of the recommended queueing / stacking configuration showing both the dual queue and the counter-clockwise pattern in the new east parking lot. As noted the proposed stacking pattern increases the number of vehicles that can be accommodated on site to approximately 47.

Part VI. Conclusions and Recommendations

Our analyses conclude that the additional traffic generated by the school expansion represents a minimal impact on the area roadways. Expanding the stacking space on site and extending the drop-off / pick-up zone will help accommodate additional students. Parking is in excess of the requirement and our understanding is that an arrangement exists with Vernon Area Library for special event parking and the District is going to continue to work with the Village to provide a formal pedestrian crossing of Old Half Day Road.

Part VII. Technical Addendum

The following Exhibits and Appendices were previously referenced. They provide technical support for our observations, findings, and recommendations discussed in the text.

Exhibits

1. Site Context
2. Photographic Inventory
3. Existing Traffic
4. Current Traffic Operations
5. Project Traffic Characteristics
6. Site Traffic
7. Total Traffic
8. Recommended traffic operations
9. East Parking Lot

Appendices

- A. *Architectural Site Plan – Wight and Company*
- B. *Traffic Count Summaries*
- C. *Preliminary Site Engineering Plan*

TECHNICAL ADDENDUM



Proposed School Addition and Site Improvements: Half Day School – 239 Olde Half Day Road; Lincolnshire, IL



Looking south into Half Day School east parking lot from Olde Half Day Road



Looking east along Olde Half Day Road from School driveway



Looking west at drop-off exit drive



Looking east along school frontage from Indian Creek Rd



Looking south from Vernon Library driveway across Olde Half Day Road to drop off entrance



Looking east along drop off drive from Olde Half Day Road entrance



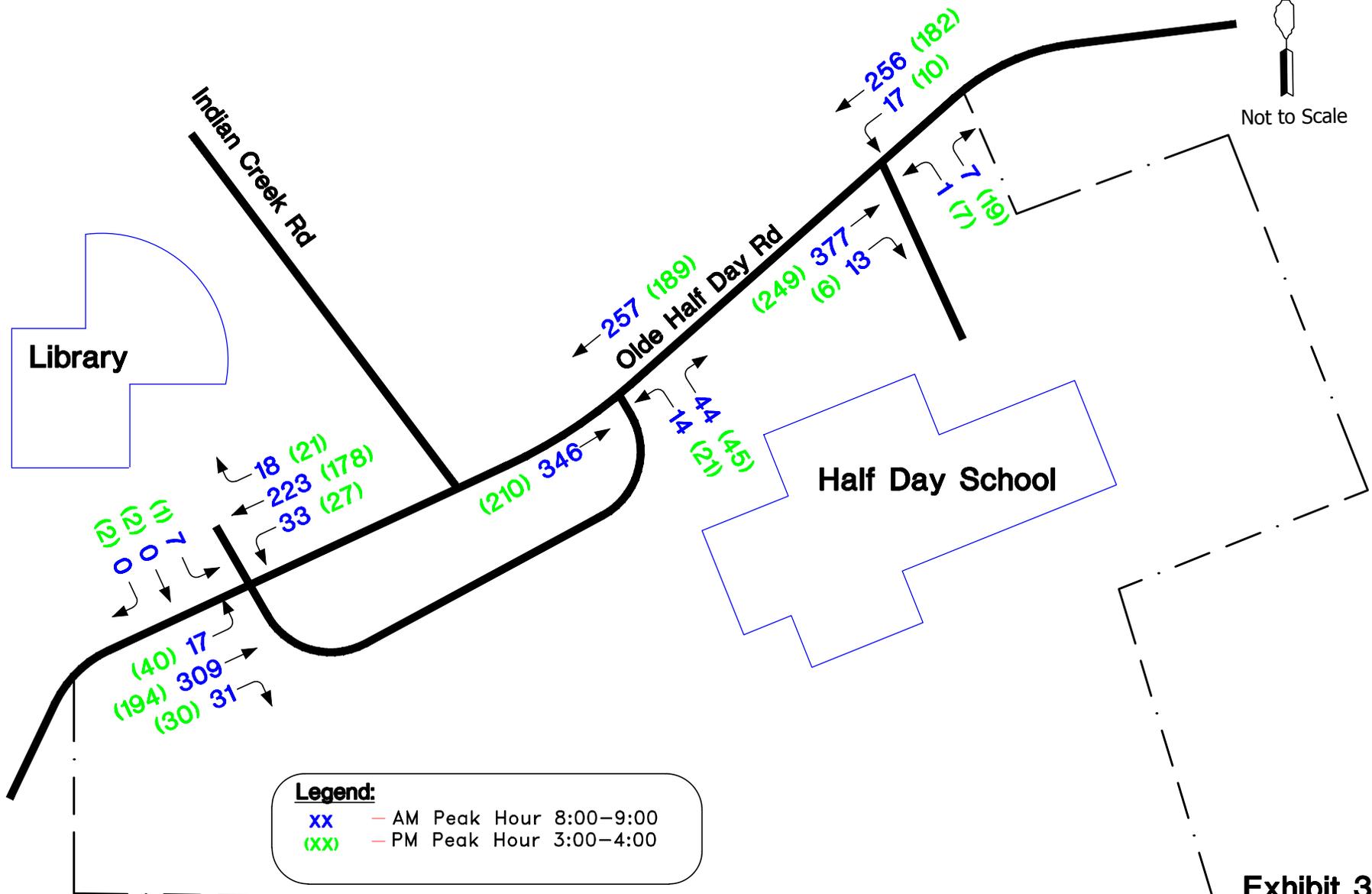
Afternoon pick-up traffic queued through parking lot



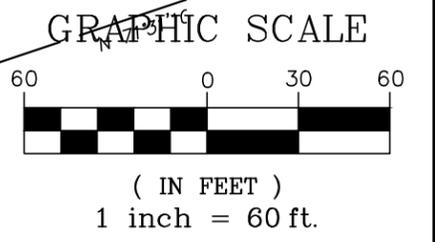
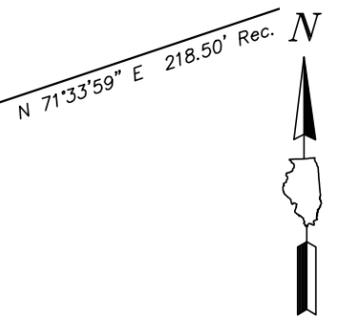
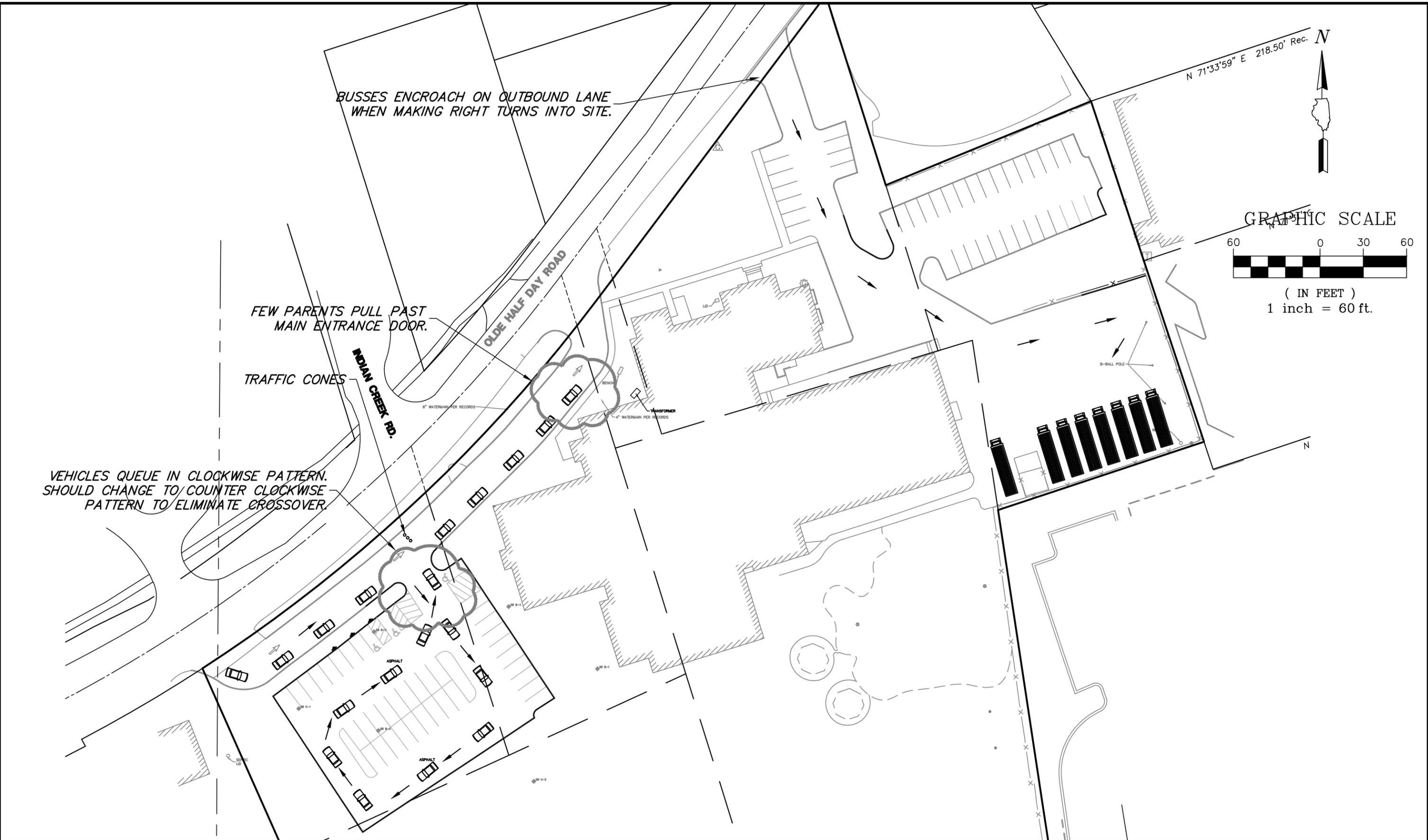
Busses staged in east play area prior to afternoon dismissal



Not to Scale



Legend:
xx — AM Peak Hour 8:00–9:00
(xx) — PM Peak Hour 3:00–4:00



GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL. 60061
Tel.: 847.478.9700 ■ Fax.: 847.478.9701

EXHIBIT 4-CURRENT OPERATIONS
HALF DAY INTERMEDIATE SCHOOL IMPROVEMENTS
PRAIRIEVIEW SCHOOL DISTRICT 103
LINCOLNSHIRE, ILLINOIS

FILE: 4521.100 Half Day - PR1.dwg		GHA PROJECT #
DRAWN BY:	MGFC	4521.100
DATE:	11/16/15	
CHECKED BY:	LXM	SCALE: 1"=60'

Exhibit 5
Project Traffic Characteristics

Half Day School Expansion: 239 Olde Half Day Road - Lincolnshire, Illinois

Part A. Traffic Generation Calculations

	ITE Code	Morning Peak Hour			Evening Peak Hour		
		In	Out	Sum	In	Out	Sum
1. November 2015 Observations 375 Students	# 520	94	66	160	73	92	165
	trips/student			0.43			0.44
2. Anticipated per ITE	# 520	93	76	169	48	57	105
	trips/student			0.45			0.28

To be conservative use higher ITE rate for AM and higher observed rate for PM traffic

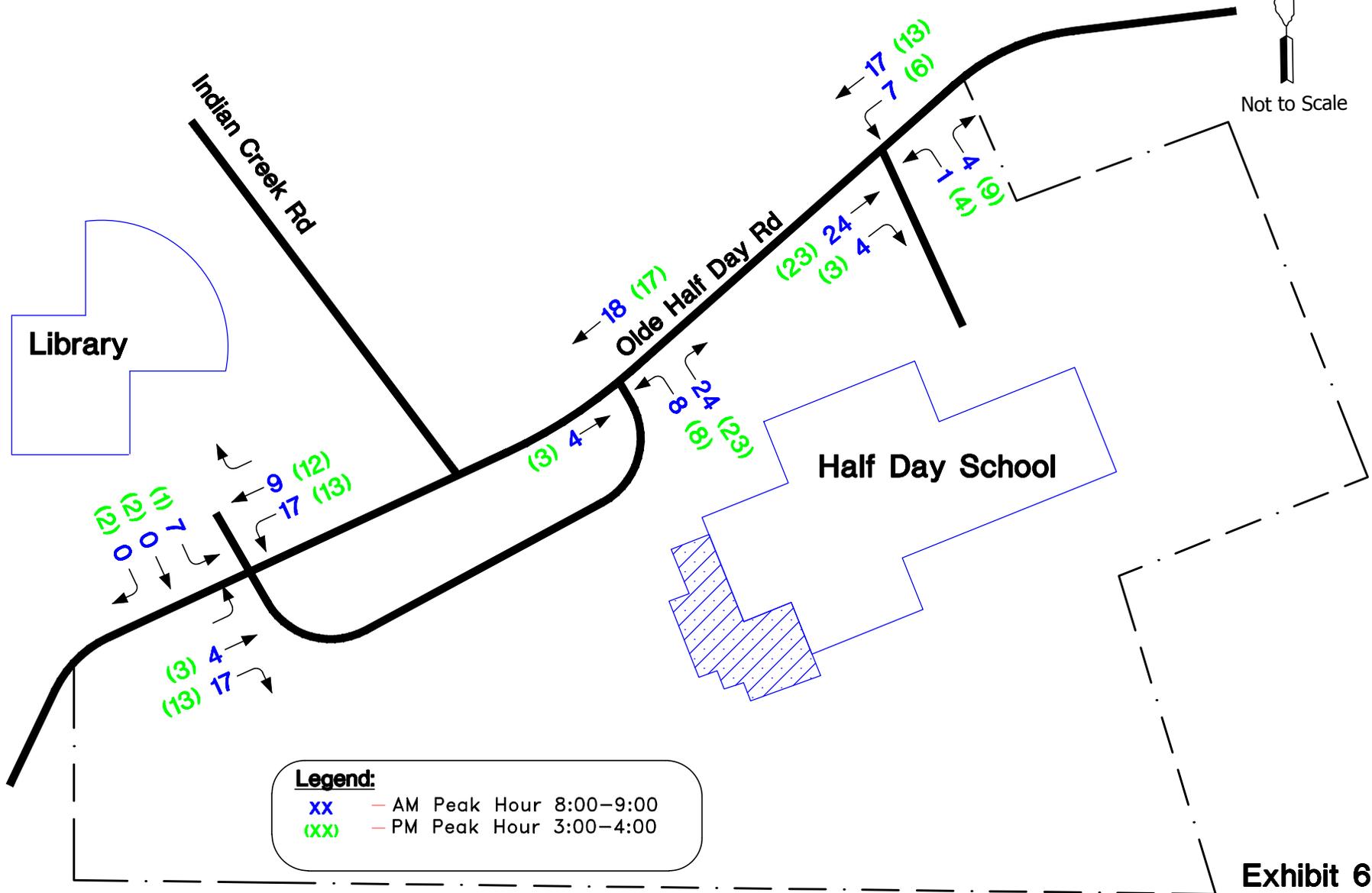
3. Additional 5th Grade Traffic 180 Students		45	37	82	35	44	79
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Part B. Trip Distribution

Route & Direction	Percent Use by Route	
	Approach Site From	Depart Site To
Olde Half Day		
- East of School	53%	75%
- West of School	47%	25%
Totals =	100%	100%



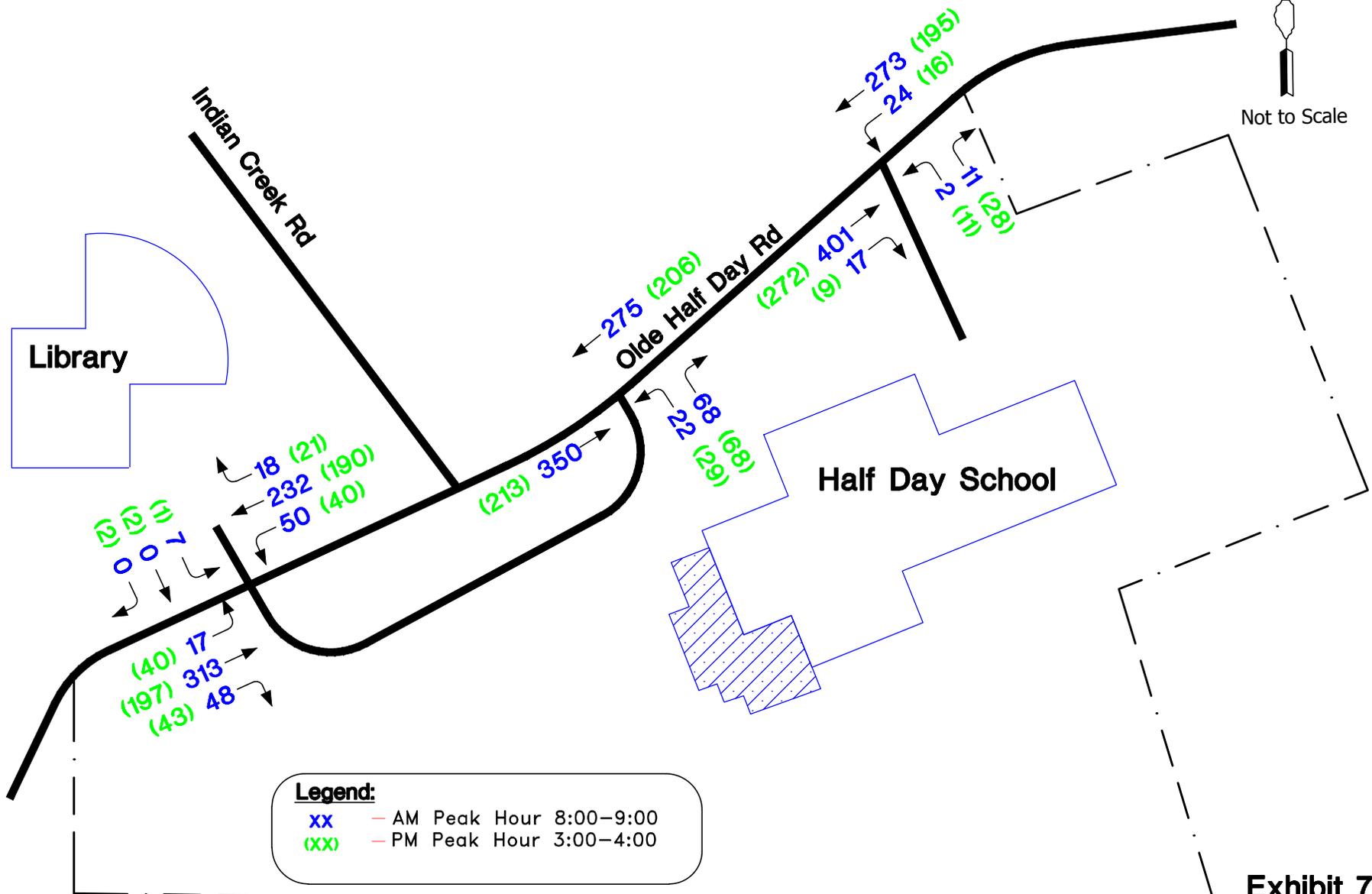
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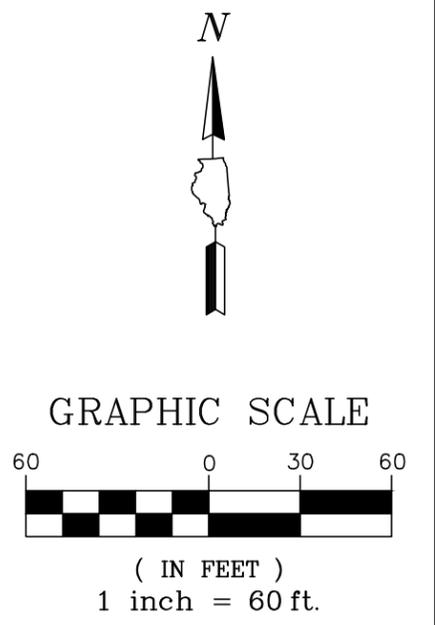
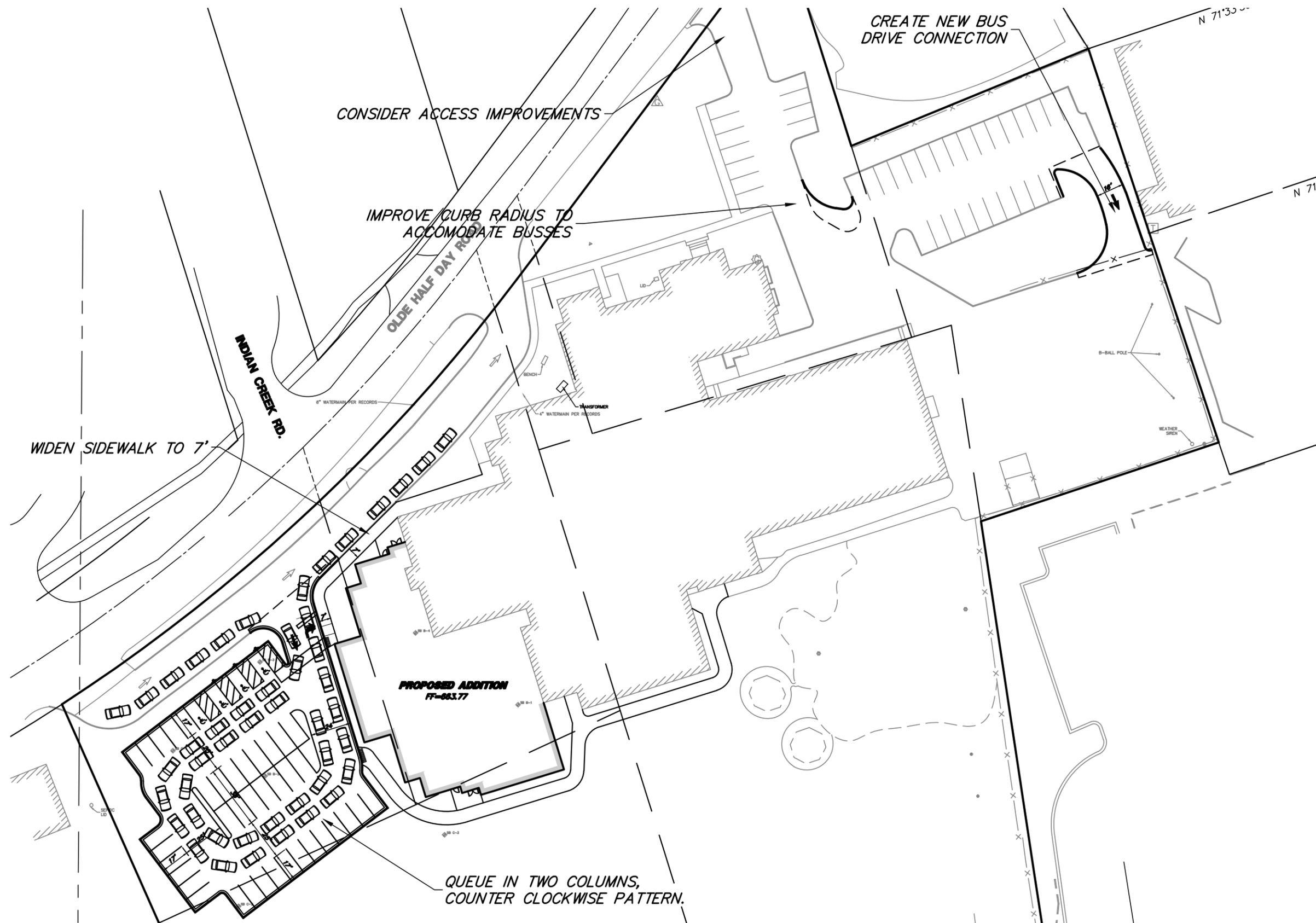
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(xx) — PM Peak Hour 3:00-4:00



Not to Scale

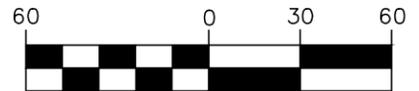


Legend:
 xx — AM Peak Hour 8:00-9:00
 (xx) — PM Peak Hour 3:00-4:00

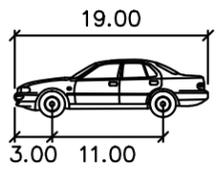




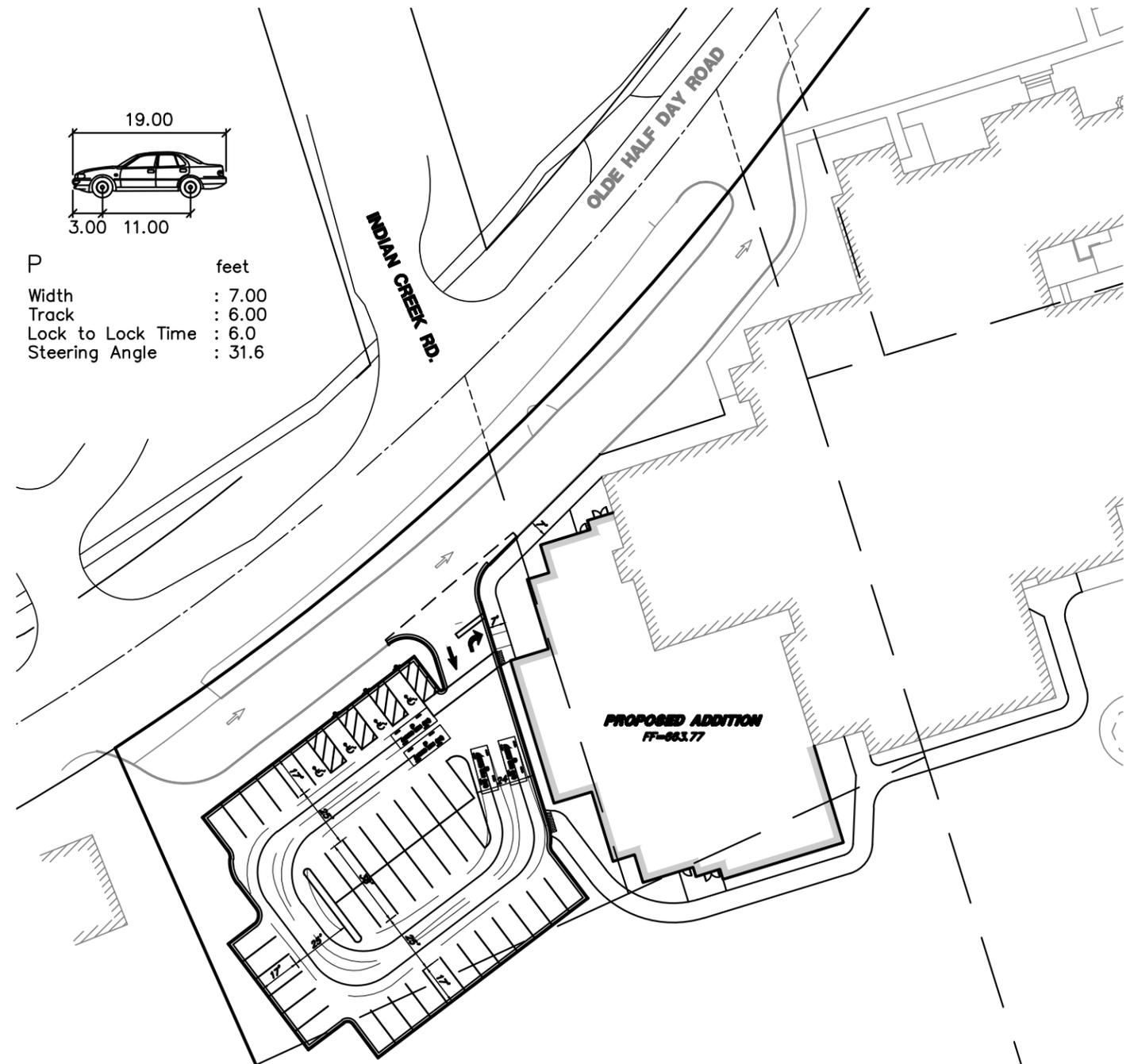
GRAPHIC SCALE



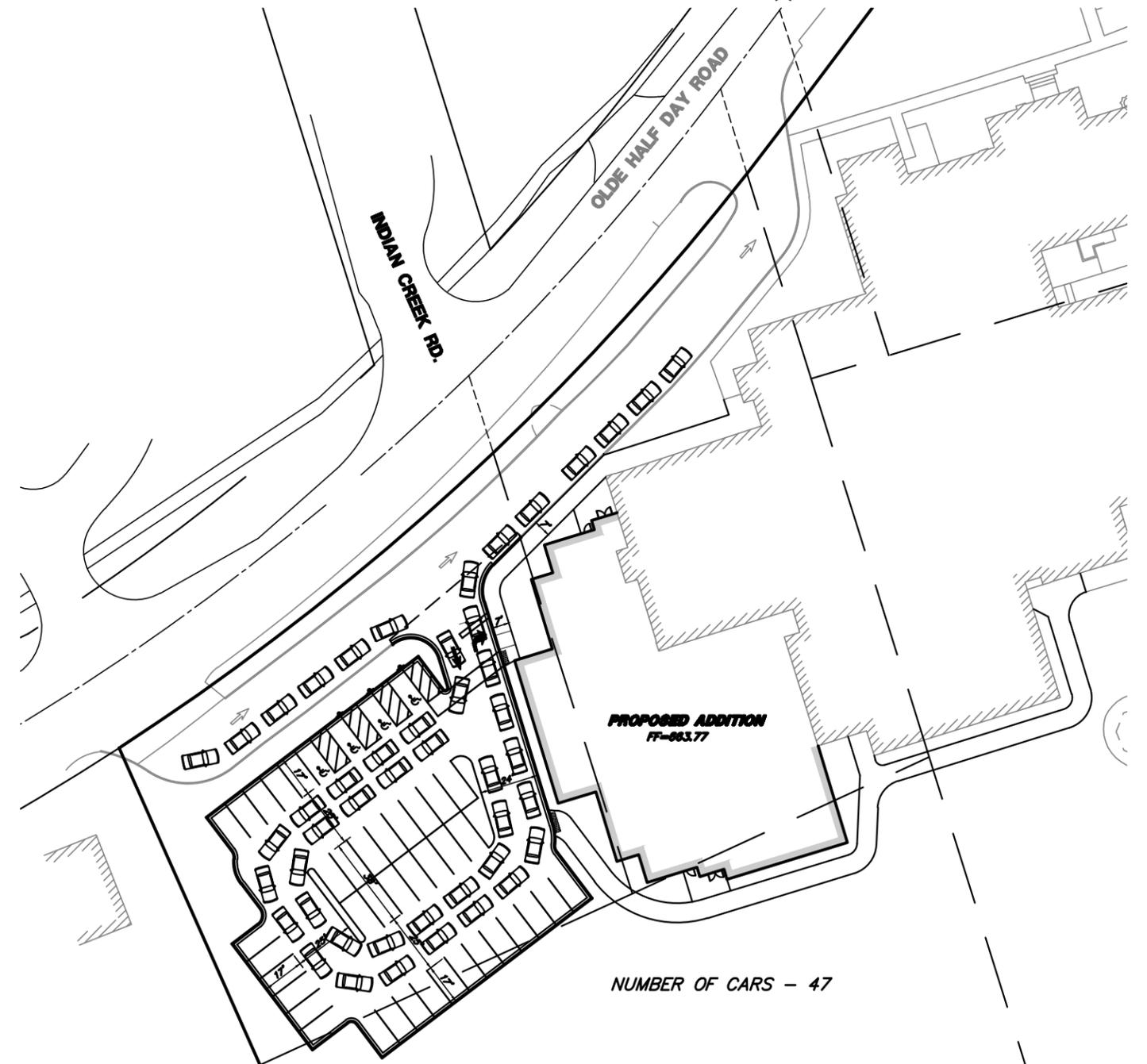
(IN FEET)
1 inch = 60 ft.



- P
- Width : 7.00
- Track : 6.00
- Lock to Lock Time : 6.0
- Steering Angle : 31.6



AUTOTURN EXHIBIT



NUMBER OF CARS - 47

CAR STACKING EXHIBIT

GHA GEWALT HAMILTON
ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL. 60061
Tel.: 847.478.9700 ■ Fax.: 847.478.9701

EXHIBIT 9 - EAST PARKING LOT EXHIBIT
HALF DAY INTERMEDIATE SCHOOL IMPROVEMENTS
PRAIRIEVIEW SCHOOL DISTRICT 103
LINCOLNSHIRE, ILLINOIS

FILE: 4521.100 Half Day - PR1.dwg		GHA PROJECT #
DRAWN BY:	MGFC	4521.100
DATE:	1/5/16	
CHECKED BY:	DPB	SCALE: 1"=60'

h-A1.0 ARCHITECTURAL SITE PLAN



DETENTION RECONFIGURATION NOT SHOWN

EXISTING DETENTION

2ND FLOOR ADDITION
1,566 SF

2 STORY ADDITION

PROPOSED STAFF/EVENT
SHARED PARKING

ROUTE 22

Old Half Day Rd

Creek Rd



LINCOLNSHIRE - PRAIRIEVIEW SCHOOL DISTRICT 103
HALF DAY INTERMEDIATE SCHOOL
 11.06.2015



Scale: 1" = 30' 0"
 02-5467-05



11/06/15 11:57:21 AM
 C:\Users\jwagner\Documents\02-5467-05_Half Day_ARCH_2014_Cover_3_30.rvt
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4521 900 Lincolnshire, IL
 Olde Half Day Rd. and Half Day School
 Driveway
 4-hr
 GHA MIO

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 dbrinkman@gha-engineers.com

Count Name: Olde Half Day and School
 Driveway
 Site Code:
 Start Date: 11/17/2015
 Page No: 1

Turning Movement Data

Start Time	Olde Half Day Rd. Southbound				Half Day School Driveway Westbound				Olde Half Day Rd. Northbound						
	U-Turn	Left	Thru	App. Total	U-Turn	Left	Right	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	Int. Total
7:30 AM	0	1	67	68	0	0	0	0	0	0	65	0	0	65	133
7:45 AM	0	2	94	96	0	1	0	0	1	0	70	4	0	74	171
Hourly Total	0	3	161	164	0	1	0	0	1	0	135	4	0	139	304
8:00 AM	0	1	63	64	0	0	0	0	0	0	80	3	0	83	147
8:15 AM	0	4	62	66	0	0	0	0	0	0	76	1	0	77	143
8:30 AM	0	5	61	66	0	1	0	0	1	0	104	5	0	109	176
8:45 AM	0	7	70	77	0	0	7	0	7	0	117	4	0	121	205
Hourly Total	0	17	256	273	0	1	7	0	8	0	377	13	0	390	671
BREAK	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:30 PM	0	0	37	37	0	0	1	0	1	0	34	0	0	34	72
2:45 PM	0	0	46	46	0	0	0	0	0	0	48	0	0	48	94
Hourly Total	0	0	83	83	0	0	1	0	1	0	82	0	0	82	166
3:00 PM	0	0	44	44	0	0	1	0	1	0	45	1	0	46	91
3:15 PM	0	10	51	61	0	0	1	0	1	0	45	4	0	49	111
3:30 PM	0	0	47	47	0	6	13	0	19	0	109	1	0	110	176
3:45 PM	0	0	40	40	0	1	4	0	5	0	50	0	0	50	95
Hourly Total	0	10	182	192	0	7	19	0	26	0	249	6	0	255	473
4:00 PM	0	0	46	46	0	1	3	0	4	0	89	0	0	89	139
4:15 PM	0	0	41	41	0	2	2	0	4	0	60	0	0	60	105
4:30 PM	0	0	45	45	0	0	1	0	1	0	77	0	0	77	123
4:45 PM	0	0	61	61	0	0	0	0	0	0	81	0	0	81	142
Hourly Total	0	0	193	193	0	3	6	0	9	0	307	0	0	307	509
Grand Total	0	30	875	905	0	12	33	0	45	0	1150	23	0	1173	2123
Approach %	0.0	3.3	96.7	-	0.0	26.7	73.3	-	-	0.0	98.0	2.0	-	-	-
Total %	0.0	1.4	41.2	42.6	0.0	0.6	1.6	-	2.1	0.0	54.2	1.1	-	55.3	-
Lights	0	20	853	873	0	7	22	-	29	0	1134	16	-	1150	2052
% Lights	-	66.7	97.5	96.5	-	58.3	66.7	-	64.4	-	98.6	69.6	-	98.0	96.7
Mediums	0	10	17	27	0	5	11	-	16	0	14	7	-	21	64
% Mediums	-	33.3	1.9	3.0	-	41.7	33.3	-	35.6	-	1.2	30.4	-	1.8	3.0
Articulated Trucks	0	0	5	5	0	0	0	-	0	0	2	0	-	2	7
% Articulated Trucks	-	0.0	0.6	0.6	-	0.0	0.0	-	0.0	-	0.2	0.0	-	0.2	0.3
Pedestrians	-	-	-	1	-	-	-	-	0	-	-	-	-	0	-
% Pedestrians	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-

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 Driveway
 4-hr
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Gewalt Hamilton Associates Inc.
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Count Name: Olde Half Day and School
 Driveway
 Site Code:
 Start Date: 11/17/2015
 Page No: 3

Turning Movement Peak Hour Data (8:00 AM)

Start Time	Olde Half Day Rd. Southbound				Half Day School Driveway				Olde Half Day Rd. Northbound					
	U-Turn	Left	Thru	Peds	U-Turn	Left	Right	Peds	U-Turn	Thru	Right	Peds	App. Total	Int. Total
8:00 AM	0	1	63	0	0	0	0	0	0	80	3	0	83	147
8:15 AM	0	4	62	0	0	0	0	0	0	76	1	0	77	143
8:30 AM	0	5	61	0	1	0	0	0	0	104	5	0	109	176
8:45 AM	0	7	70	0	0	7	0	0	0	117	4	0	121	205
Total	0	17	256	0	1	7	0	0	0	377	13	0	390	671
Approach %	0.0	6.2	93.8	-	0.0	12.5	87.5	-	0.0	96.7	3.3	-	-	-
Total %	0.0	2.5	38.2	-	0.0	0.1	1.0	-	0.0	56.2	1.9	-	58.1	-
PHF	0.000	0.807	0.914	-	0.000	0.250	0.250	-	0.000	0.806	0.650	-	0.806	0.818
Lights	0	11	253	-	0	0	0	-	0	369	10	-	379	643
% Lights	-	64.7	96.8	-	-	0.0	0.0	-	-	97.9	76.9	-	97.2	95.8
Mediums	0	6	3	-	0	1	7	-	0	7	3	-	10	27
% Mediums	-	35.3	1.2	-	-	100.0	100.0	-	-	1.9	23.1	-	2.6	4.0
Articulated Trucks	0	0	0	-	0	0	0	-	0	1	0	-	1	1
% Articulated Trucks	-	0.0	0.0	-	-	0.0	0.0	-	-	0.3	0.0	-	0.3	0.1
Pedestrians	-	-	-	0	-	-	-	0	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-

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Count Name: Olde Half Day and School
 Driveway
 Site Code:
 Start Date: 11/17/2015
 Page No: 5

Turning Movement Peak Hour Data (3:00 PM)

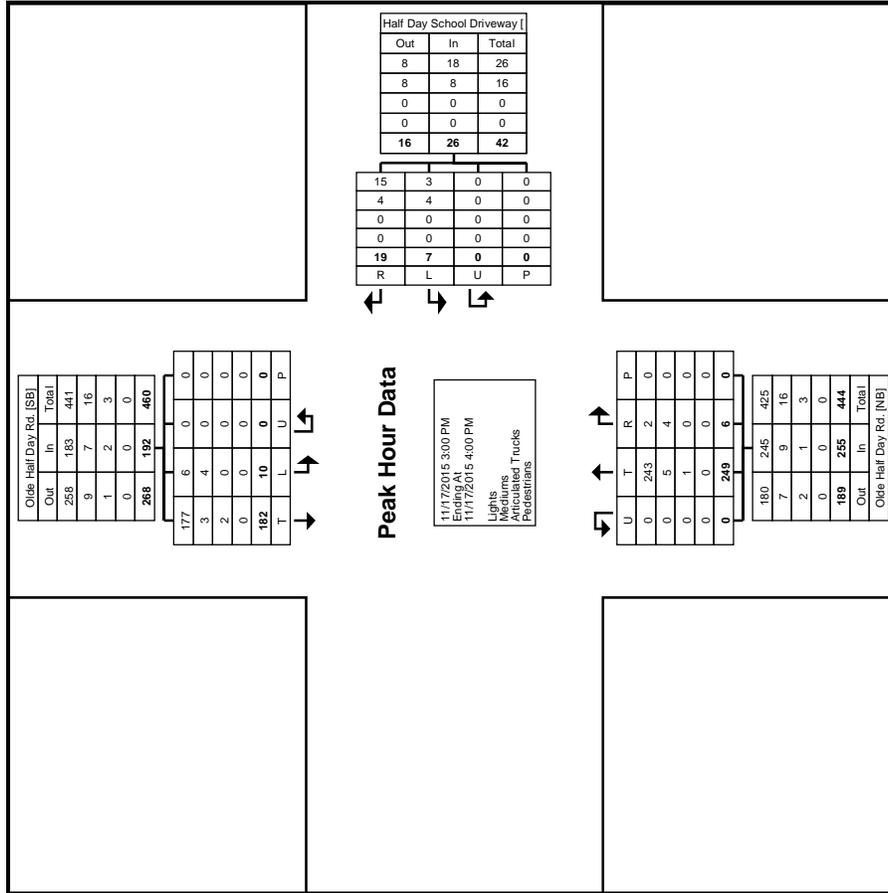
Start Time	Olde Half Day Rd. Southbound				Half Day School Driveway Westbound				Olde Half Day Rd. Northbound							
	U-Turn	Left	Thru	Peds	App. Total	U-Turn	Left	Right	Peds	App. Total	U-Turn	Thru	Right	Peds	App. Total	Int. Total
3:00 PM	0	0	44	0	44	0	0	1	0	1	0	45	1	0	46	91
3:15 PM	0	10	51	0	61	0	0	1	0	1	0	45	4	0	49	111
3:30 PM	0	0	47	0	47	0	6	13	0	19	0	109	1	0	110	176
3:45 PM	0	0	40	0	40	0	1	4	0	5	0	50	0	0	50	95
Total	0	10	182	0	192	0	7	19	0	26	0	249	6	0	255	473
Approach %	0.0	5.2	94.8	-	-	0.0	26.9	73.1	-	-	0.0	97.6	2.4	-	-	-
Total %	0.0	2.1	38.5	-	40.6	0.0	1.5	4.0	-	5.5	0.0	52.6	1.3	-	53.9	-
PHF	0.000	0.250	0.892	-	0.787	0.000	0.292	0.365	-	0.342	0.000	0.571	0.375	-	0.580	0.672
Lights	0	6	177	-	183	0	3	15	-	18	0	243	2	-	245	446
% Lights	-	60.0	97.3	-	95.3	-	42.9	78.9	-	69.2	-	97.6	33.3	-	96.1	94.3
Mediums	0	4	3	-	7	0	4	4	-	8	0	5	4	-	9	24
% Mediums	-	40.0	1.6	-	3.6	-	57.1	21.1	-	30.8	-	2.0	66.7	-	3.5	5.1
Articulated Trucks	0	0	2	-	2	0	0	0	-	0	0	1	0	-	1	3
% Articulated Trucks	-	0.0	1.1	-	1.0	-	0.0	0.0	-	0.0	-	0.4	0.0	-	0.4	0.6
Pedestrians	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

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 Driveway
 4-hr
 GHA MIO

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Count Name: Olde Half Day and School
 Driveway
 Site Code:
 Start Date: 11/17/2015
 Page No: 6



Turning Movement Peak Hour Data Plot (3:00 PM)

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 dbrinkman@gha-engineers.com

Count Name: Olde Half Day and School Exit
 Site Code:
 Start Date: 11/17/2015
 Page No: 1

4521.900 Lincolnshire, IL
 Old Half Day Rd. and Half Day School Entrance
 4-hr
 GHA MIO

Turning Movement Data

Start Time	Olde Half Day Rd. Southbound					Half Day School Exit Westbound					Olde Half Day Rd. Northbound					Church Driveway Eastbound												
	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:30 AM	0	0	67	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	66	133	
7:45 AM	0	0	95	0	0	0	1	0	0	0	0	0	78	0	0	0	0	0	0	0	0	0	0	0	0	78	174	
Hourly Total	0	0	162	0	0	0	1	0	0	0	1	0	144	0	0	0	0	0	0	0	0	0	0	0	0	144	307	
8:00 AM	0	0	63	0	0	0	1	0	0	0	1	0	83	0	0	0	0	0	0	0	0	0	0	0	0	83	147	
8:15 AM	0	0	61	0	0	0	1	0	0	1	0	0	80	0	0	0	0	0	0	0	0	0	0	0	0	80	142	
8:30 AM	0	0	63	0	0	0	2	0	14	0	16	0	97	0	0	0	0	0	0	0	0	0	0	0	0	97	176	
8:45 AM	0	0	70	0	2	70	11	0	29	0	40	0	89	0	3	89	0	2	0	0	0	0	2	0	0	89	201	
Hourly Total	0	0	257	0	2	257	14	0	44	0	58	0	349	0	3	349	0	2	0	0	0	2	0	0	0	349	666	
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
2:30 PM	0	0	37	0	0	37	1	0	1	0	2	0	33	0	0	33	0	0	0	0	0	0	0	0	0	33	72	
2:45 PM	0	0	46	0	0	46	0	0	0	0	0	0	47	0	0	47	0	1	0	0	0	0	0	0	0	47	94	
Hourly Total	0	0	83	0	0	83	1	0	1	0	2	0	80	0	0	80	0	1	0	0	0	0	0	0	0	80	166	
3:00 PM	0	0	44	0	0	44	0	0	2	0	2	0	44	0	0	44	0	0	0	0	0	0	0	0	0	44	90	
3:15 PM	0	0	49	0	2	49	0	0	2	0	2	0	48	0	2	48	0	0	0	0	0	0	0	0	0	48	99	
3:30 PM	0	0	52	1	3	53	15	0	36	0	51	0	71	0	2	71	0	0	0	0	0	0	0	0	0	71	175	
3:45 PM	0	0	42	1	0	43	6	0	5	0	11	0	44	0	0	44	0	1	0	0	0	0	0	0	0	44	99	
Hourly Total	0	0	187	2	5	189	21	0	45	0	66	0	207	0	4	207	0	1	0	0	0	0	0	0	0	207	463	
4:00 PM	0	0	47	0	0	47	2	0	3	0	5	0	86	0	0	86	0	0	0	0	0	0	0	0	0	86	138	
4:15 PM	0	0	43	0	0	43	2	0	4	0	6	0	57	0	0	57	0	0	0	0	0	0	0	0	0	57	106	
4:30 PM	0	0	45	0	0	45	1	0	2	0	3	0	75	0	0	75	0	0	0	0	0	0	0	0	0	75	123	
4:45 PM	0	0	62	0	0	62	0	0	2	0	2	0	78	0	0	78	0	0	0	0	0	0	0	0	0	78	142	
Hourly Total	0	0	197	0	0	197	5	0	11	0	16	0	296	0	0	296	0	0	0	0	0	0	0	0	0	296	509	
Grand Total	0	0	886	2	7	888	42	0	101	0	143	0	1076	0	7	1076	0	4	0	0	0	0	0	0	0	1076	2111	
Approach %	0.0	0.0	99.8	0.2	-	-	0.0	29.4	0.0	70.6	-	-	0.0	100.0	0.0	-	0.0	100.0	0.0	0.0	-	-	-	-	-	-	-	
Total %	0.0	0.0	42.0	0.1	-	42.1	0.0	2.0	0.0	4.8	-	6.8	0.0	0.0	51.0	0.0	0.0	0.2	0.0	0.0	-	-	-	-	-	51.0	-	
Lights	0	0	858	2	-	860	41	0	100	-	141	0	1053	0	-	1053	0	4	0	0	-	-	-	-	-	1053	2058	
% Lights	-	-	96.8	100.0	-	96.8	97.6	-	99.0	-	98.6	-	97.9	-	-	97.9	-	100.0	-	-	-	-	-	-	-	-	97.9	-
Mediums	0	0	23	0	-	23	1	0	1	-	2	0	22	0	-	22	0	0	0	0	-	-	-	-	-	22	47	
% Mediums	-	-	2.6	0.0	-	2.6	2.4	-	1.0	-	1.4	-	2.0	-	-	2.0	-	0.0	-	-	-	-	-	-	-	2.0	0.2	
Articulated Trucks	0	0	5	0	-	5	0	0	0	-	0	0	1	0	-	1	0	0	0	0	-	-	-	-	-	1	6	
% Articulated Trucks	-	-	0.6	0.0	-	0.6	0.0	-	0.0	-	0.0	-	0.1	-	-	0.1	-	0.0	-	-	-	-	-	-	-	0.1	0.3	
Pedestrians	-	-	-	-	7	-	-	-	-	0	-	-	-	-	7	-	-	-	-	-	0	-	-	-	-	7	-	
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-	-

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Count Name: Olde Half Day and School Exit
 Site Code:
 Start Date: 11/17/2015
 Page No: 3

4521.900 Lincolnshire, IL
 Old Half Day Rd. and Half Day School Entrance
 4-hr
 GHA MIO

Turning Movement Peak Hour Data (8:00 AM)

Start Time	Olde Half Day Rd. Southbound					Half Day School Exit Westbound					Olde Half Day Rd. Northbound					Church Driveway Eastbound											
	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
8:00 AM	0	0	63	0	0	0	1	0	0	0	0	0	83	0	0	0	0	0	0	0	0	0	0	0	0	83	0
8:15 AM	0	0	61	0	0	0	0	0	1	0	1	0	80	0	0	0	0	0	0	0	0	0	0	0	0	80	0
8:30 AM	0	0	63	0	0	0	2	0	14	0	16	0	97	0	0	0	0	0	0	0	0	0	0	0	0	97	0
8:45 AM	0	0	70	0	2	70	11	0	29	0	40	0	89	0	3	89	2	0	0	0	0	0	0	0	0	89	2
Total	0	0	257	0	2	257	14	0	44	0	58	0	349	0	3	349	2	0	0	0	0	0	0	0	0	349	2
Approach %	0.0	0.0	100.0	0.0	-	0.0	24.1	0.0	75.9	-	-	0.0	100.0	0.0	-	0.0	100.0	0.0	0.0	0.0	-	-	0.0	0.0	0.0	-	-
Total %	0.0	0.0	38.6	0.0	-	38.6	0.0	2.1	6.6	-	8.7	0.0	52.4	0.0	-	52.4	0.3	0.0	0.0	0.0	-	-	0.0	0.0	0.0	-	0.3
PHF	0.000	0.000	0.918	0.000	-	0.918	0.318	0.000	0.379	-	0.363	0.000	0.899	0.000	-	0.899	0.250	0.000	0.000	0.000	-	-	0.000	0.000	0.000	-	0.250
Lights	0	0	252	0	-	252	14	0	43	-	57	0	340	0	-	340	2	0	0	0	-	-	0	0	0	-	2
% Lights	-	-	98.1	-	-	98.1	100.0	-	97.7	-	96.3	-	97.4	-	-	97.4	100.0	-	-	-	-	-	-	-	-	-	97.7
Mediums	0	0	5	0	-	5	0	0	1	-	1	0	9	0	-	9	0	0	0	0	-	-	0	0	0	9	0
% Mediums	-	-	1.9	-	-	1.9	0.0	-	2.3	-	1.7	-	2.6	-	-	2.6	0.0	-	-	-	-	-	0.0	0.0	0.0	2.6	0.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0	0	0	0	-	-	0	0	0	0	0
% Articulated Trucks	-	-	0.0	-	-	0.0	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	-	-	-	-	0.0	0.0	0.0	0.0	0.0
Pedestrians	-	-	-	-	2	-	-	-	-	0	-	-	-	-	3	-	-	-	-	-	0	-	-	-	-	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	100.0	-	-	-	-	-	0	-	-	-	-	-	-

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 Page No: 5

4521.900 Lincolnshire, IL
 Old Half Day Rd. and Half Day School Entrance
 4-hr
 GHA MIO

Turning Movement Peak Hour Data (3:00 PM)

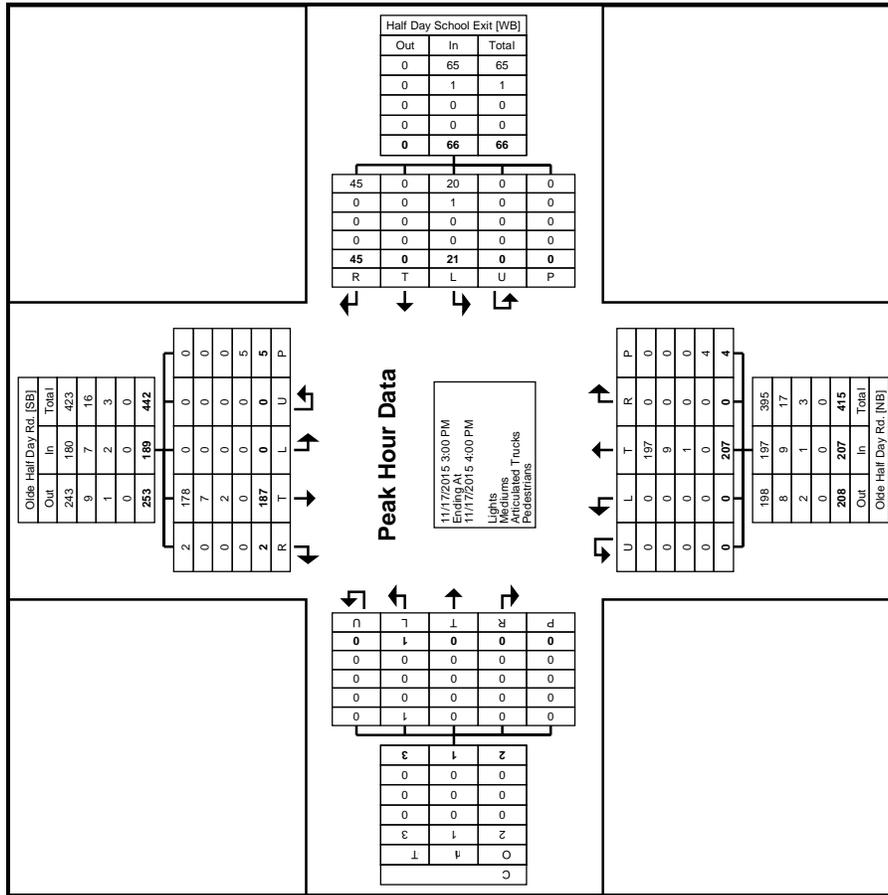
Start Time	Olde Half Day Rd. Southbound					Half Day School Exit Westbound					Olde Half Day Rd. Northbound					Church Driveway Eastbound											
	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total
3:00 PM	0	0	44	0	0	0	0	0	2	0	0	0	44	0	0	0	0	0	0	0	0	0	0	0	0	44	0
3:15 PM	0	0	49	0	2	0	0	2	2	0	0	0	48	0	2	0	0	0	0	0	0	0	0	0	0	48	0
3:30 PM	0	0	52	1	3	0	15	0	36	0	51	0	71	0	2	0	0	0	0	0	0	0	0	0	0	71	175
3:45 PM	0	0	42	1	0	0	6	0	5	0	11	0	44	0	0	0	1	0	0	0	0	0	0	0	0	44	99
Total	0	0	187	2	5	0	21	0	45	0	66	0	207	0	4	0	1	0	0	0	0	0	0	0	0	207	463
Approach %	0.0	0.0	98.9	1.1	-	0.0	31.8	0.0	68.2	-	-	0.0	100.0	0.0	-	0.0	100.0	0.0	0.0	-	-	0.0	100.0	0.0	0.0	-	-
Total %	0.0	0.0	40.4	0.4	-	0.0	4.5	0.0	9.7	-	14.3	0.0	44.7	0.0	-	0.0	0.2	0.0	0.0	-	-	0.0	0.2	0.0	0.0	-	0.2
PHF	0.000	0.000	0.899	0.500	-	0.000	0.350	0.000	0.313	-	0.324	0.000	0.729	0.000	-	0.000	0.250	0.000	0.000	-	-	0.000	0.250	0.000	0.000	-	0.250
Lights	0	0	178	2	-	0	20	0	45	-	65	0	197	0	-	0	1	0	0	-	-	0	1	0	0	-	1
% Lights	-	-	95.2	100.0	-	-	95.2	-	100.0	-	98.5	-	95.2	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	95.7
Mediums	0	0	7	0	-	0	1	0	0	-	1	0	9	0	-	0	0	0	0	-	-	0	0	0	-	9	17
% Mediums	-	-	3.7	0.0	-	-	4.8	-	0.0	-	1.5	-	4.3	-	-	-	0.0	-	-	-	-	-	0.0	-	-	-	3.7
Articulated Trucks	0	0	2	0	-	0	0	0	0	-	0	0	1	0	-	0	0	0	0	-	-	0	0	0	-	1	3
% Articulated Trucks	-	-	1.1	0.0	-	-	0.0	-	0.0	-	0.0	-	0.5	-	-	-	0.0	-	-	-	-	-	0.0	-	-	-	0.6
Pedestrians	-	-	-	-	5	-	-	-	0	-	-	-	-	-	4	-	-	-	-	-	-	-	-	-	-	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-

Gewalt Hamilton Associates Inc.
625 Forest Edge Drive

Vernon Hills, Illinois, United States 60061
(847) 478-9700 dbrinkman@gha-engineers.com

Count Name: Olde Half Day and School Exit
Site Code:
Start Date: 11/17/2015
Page No: 6

4521.900 Lincolnshire, IL
Old Half Day Rd. and Half Day School Entrance
4-hr
GHA MIO



Turning Movement Peak Hour Data Plot (3:00 PM)

Count Name: Olde Half Day and School Entrance
 Site Code:
 Start Date: 11/17/2015
 Page No: 1

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive
 Vernon Hills, Illinois, United States 60061
 (847) 478-9700 dbrinkman@gha-engineers.com

4521 900 Lincolnshire, IL
 Olde Half Day Rd. and Half Day School Entrance
 4-hr
 GHA MIO

Turning Movement Data

Start Time	Olde Half Day Rd. Southbound					Half Day School Entrance Westbound					Olde Half Day Rd. Northbound					Vernon Library Eastbound												
	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
7:30 AM	0	0	79	1	0	0	0	0	0	0	0	2	75	2	0	0	2	0	0	0	0	2	0	0	0	0	0	161
7:45 AM	0	7	91	0	0	0	0	0	0	0	0	1	84	2	0	0	0	0	0	0	0	0	0	0	0	0	0	185
Hourly Total	0	7	170	1	0	0	0	0	0	0	0	3	159	4	0	0	2	0	0	0	0	2	0	0	0	0	2	346
8:00 AM	0	3	61	2	0	0	0	0	0	0	0	3	68	0	0	0	1	0	0	0	0	1	0	0	0	0	1	138
8:15 AM	0	2	58	1	0	0	0	0	0	0	0	3	62	1	0	0	0	1	0	0	0	0	0	0	0	0	1	128
8:30 AM	0	9	56	4	0	0	0	0	0	0	0	2	90	12	0	0	3	0	0	0	0	3	0	0	0	0	3	176
8:45 AM	0	19	48	11	0	0	0	0	0	0	0	9	89	18	0	0	2	0	0	0	0	2	0	0	0	0	2	196
Hourly Total	0	33	223	18	0	0	0	0	0	0	0	17	309	31	0	0	7	0	0	0	0	7	0	0	0	0	7	638
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:30 PM	0	0	37	4	0	0	0	0	0	0	0	6	31	3	0	0	3	0	4	0	0	0	0	4	0	0	7	88
2:45 PM	0	4	38	3	0	0	0	0	0	0	0	6	48	1	0	0	1	0	6	0	0	0	0	6	0	0	7	107
Hourly Total	0	4	75	7	0	0	0	0	0	0	0	12	79	4	0	0	4	0	10	0	0	0	4	0	10	0	14	195
3:00 PM	0	9	41	3	0	0	0	0	0	0	0	8	42	5	0	0	3	0	6	0	0	0	3	0	6	0	9	117
3:15 PM	0	9	41	6	0	0	0	0	0	0	0	12	41	13	0	0	4	1	8	0	0	0	4	1	8	0	13	135
3:30 PM	0	7	54	9	0	0	0	0	0	0	0	10	66	9	0	0	4	1	5	0	0	0	4	1	5	0	10	165
3:45 PM	0	2	42	3	0	0	0	0	0	0	0	10	45	3	0	0	1	0	6	0	0	0	1	0	6	0	7	112
Hourly Total	0	27	178	21	0	0	0	0	0	0	0	40	194	30	0	0	12	2	25	0	0	0	12	2	25	0	39	529
4:00 PM	0	0	42	8	0	0	0	0	0	0	0	11	81	2	0	0	3	0	11	0	0	0	3	0	11	0	14	158
4:15 PM	0	0	41	8	0	0	0	0	0	0	0	15	54	2	0	0	0	3	0	13	0	0	0	0	13	0	16	136
4:30 PM	0	2	44	2	0	0	0	0	0	0	0	18	68	1	0	0	6	0	8	1	0	0	6	0	8	1	14	149
4:45 PM	0	1	57	6	0	0	0	0	0	0	0	15	71	3	0	0	9	0	5	0	0	0	9	0	5	0	14	167
Hourly Total	0	3	184	24	0	0	0	0	0	0	0	59	274	8	0	0	21	0	37	1	0	0	21	0	37	1	58	610
Grand Total	0	74	830	71	0	0	0	0	0	0	0	131	1015	77	0	0	46	2	72	1	0	46	2	72	1	120	2318	
Approach %	0.0	7.6	85.1	7.3	-	-	-	-	-	-	0.0	10.7	83.0	6.3	-	0.0	38.3	1.7	60.0	-	-	0.0	38.3	1.7	60.0	-	-	
Total %	0.0	3.2	35.8	3.1	-	-	-	-	-	-	0.0	5.7	43.8	3.3	-	0.0	2.0	0.1	3.1	-	-	0.0	2.0	0.1	3.1	-	5.2	
Lights	0	72	791	71	-	-	-	-	-	-	0	131	996	77	-	0	46	2	72	-	-	0	46	2	72	-	120	2258
% Lights	-	97.3	95.3	100.0	-	-	-	-	-	-	-	100.0	98.1	100.0	-	-	100.0	100.0	100.0	-	-	-	100.0	100.0	100.0	-	100.0	97.4
Mediums	0	2	35	0	-	-	-	-	-	-	0	0	18	0	-	0	0	0	0	-	-	0	0	0	0	-	0	5.5
% Mediums	-	2.7	4.2	0.0	-	-	-	-	-	-	-	0.0	1.8	0.0	-	-	0.0	0.0	0.0	-	-	-	0.0	0.0	0.0	-	0.0	2.4
Articulated Trucks	0	0	4	0	-	-	-	-	-	-	0	0	1	0	-	0	0	0	0	-	-	0	0	0	0	-	0	5
% Articulated Trucks	-	0.0	0.5	0.0	-	-	-	-	-	-	-	0.0	0.1	0.0	-	-	0.0	0.0	0.0	-	-	-	0.0	0.0	0.0	-	0.0	0.2
Pedestrians	-	-	-	-	0	-	-	-	-	-	-	-	-	-	0	-	-	-	-	-	-	-	-	-	-	-	-	-
% Pedestrians	-	-	-	-	0	-	-	-	-	-	-	-	-	-	0	-	-	-	-	-	-	-	-	-	-	-	-	

4521 900 Lincolnshire, IL
 Olde Half Day Rd. and Half Day School
 Entrance
 4-hr
 GHA MIO

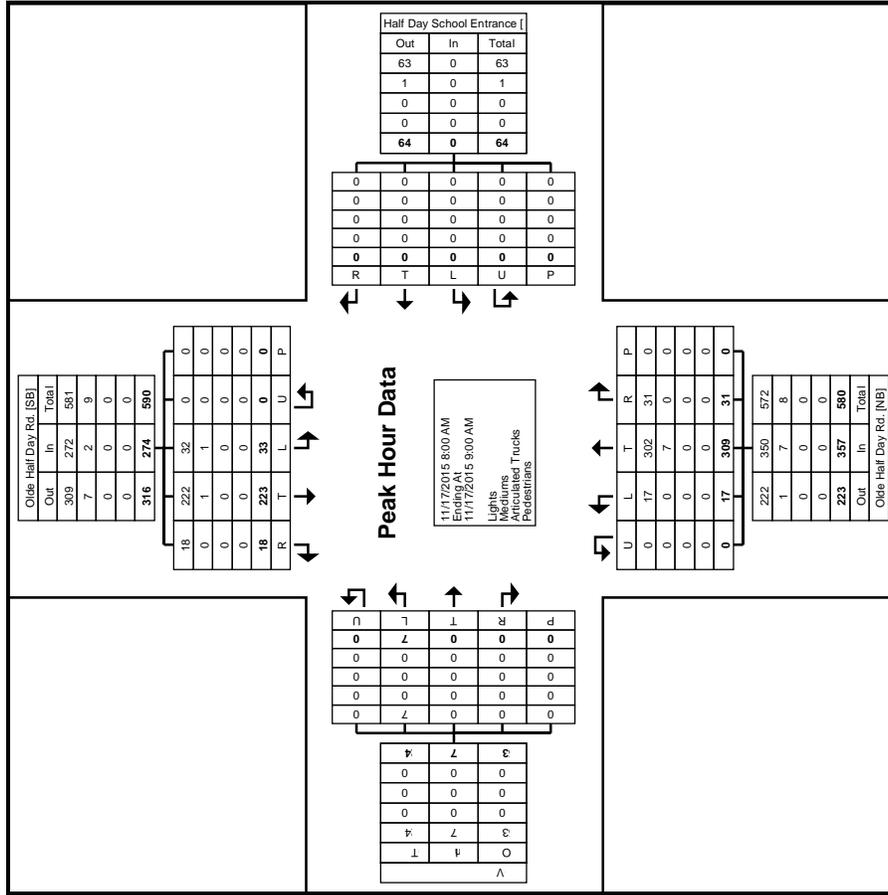
Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive

Vernon Hills, Illinois, United States 60061
 (847) 478-9700 dbrinkman@gha-engineers.com

Count Name: Olde Half Day and School
 Entrance
 Site Code:
 Start Date: 11/17/2015
 Page No: 3

Turning Movement Peak Hour Data (8:00 AM)

Start Time	Olde Half Day Rd. Southbound					Half Day School Entrance Westbound					Olde Half Day Rd. Northbound					Vernon Library Eastbound												
	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	U-Turn	Left	Thru	Right	Peds	App. Total	Int. Total	
8:00 AM	0	3	61	2	0	0	0	0	0	0	0	3	68	0	0	0	1	0	0	0	0	0	1	0	0	0	1	138
8:15 AM	0	2	58	1	0	0	0	0	0	0	0	3	62	1	0	0	1	0	0	0	0	0	1	0	0	0	1	128
8:30 AM	0	9	56	4	0	0	0	0	0	0	2	90	12	0	0	0	3	0	0	0	0	0	3	0	0	0	3	176
8:45 AM	0	19	48	11	0	0	0	0	0	0	9	89	18	0	0	0	2	0	0	0	0	0	2	0	0	0	2	196
Total	0	33	223	18	0	0	0	0	0	0	17	309	31	0	0	0	7	0	0	0	0	0	7	0	0	0	7	638
Approach %	0.0	12.0	81.4	6.6	-	NaN	NaN	NaN	NaN	-	0.0	4.8	86.6	8.7	-	0.0	100.0	0.0	0.0	0.0	-	-	-	-	-	-	-	-
Total %	0.0	5.2	35.0	2.8	-	0.0	0.0	0.0	0.0	-	0.0	2.7	48.4	4.9	-	0.0	1.1	0.0	0.0	0.0	-	-	-	-	-	-	-	-
PHF	0.000	0.434	0.914	0.409	-	0.000	0.000	0.000	0.000	-	0.000	0.472	0.858	0.431	-	0.000	0.583	0.000	0.000	0.000	-	-	-	-	-	-	-	-
Lights	0	32	222	18	-	0	0	0	0	-	0	17	302	31	-	0	7	0	0	0	-	-	-	-	-	-	-	-
% Lights	-	97.0	99.6	100.0	-	-	-	-	-	-	-	100.0	97.7	100.0	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-
Mediums	0	1	1	0	-	0	0	0	0	-	0	0	7	0	-	0	0	0	0	0	-	-	-	-	-	-	-	-
% Mediums	-	3.0	0.4	0.0	-	-	-	-	-	-	-	0.0	2.3	0.0	-	-	0.0	-	-	-	-	-	-	-	-	-	-	-
Articulated Trucks	0	0	0	0	-	0	0	0	0	-	0	0	0	0	-	0	0	0	0	0	-	-	-	-	-	-	-	-
% Articulated Trucks	-	0.0	0.0	0.0	-	-	-	-	-	-	-	0.0	0.0	0.0	-	-	0.0	-	-	-	-	-	-	-	-	-	-	-
Pedestrians	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Turning Movement Peak Hour Data Plot (8:00 AM)

4521 900 Lincolnshire, IL
 Olde Half Day Rd. and Half Day School
 Entrance
 4-hr
 GHA MIO

Gewalt Hamilton Associates Inc.
 625 Forest Edge Drive

Vernon Hills, Illinois, United States 60061
 (847) 478-9700 dbrinkman@gha-engineers.com

Count Name: Olde Half Day and School
 Entrance
 Site Code:
 Start Date: 11/17/2015
 Page No: 5

Turning Movement Peak Hour Data (3:00 PM)

Start Time	Olde Half Day Rd. Southbound					Half Day School Entrance Westbound					Olde Half Day Rd. Northbound					Vernon Library Eastbound										
	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	U-Turn	Left	Thru	Right	App. Total	Int. Total
3:00 PM	0	9	41	3	53	0	0	0	0	0	0	8	42	5	55	0	3	0	6	9	0	0	0	0	0	117
3:15 PM	0	9	41	6	56	0	0	0	0	0	0	12	41	13	66	0	4	1	8	13	0	0	0	0	0	135
3:30 PM	0	7	54	9	70	0	0	0	0	0	0	10	66	9	85	0	4	1	5	10	0	0	0	0	0	165
3:45 PM	0	2	42	3	47	0	0	0	0	0	0	10	45	3	58	0	1	0	6	7	0	0	0	0	0	112
Total	0	27	178	21	226	0	0	0	0	0	0	40	194	30	264	0	12	2	25	39	0	0	0	0	0	529
Approach %	0.0	11.9	78.8	9.3	-	NaN	NaN	NaN	NaN	-	0.0	15.2	73.5	11.4	-	0.0	30.8	5.1	64.1	-	0.0	0.0	0.0	0.0	0.0	-
Total %	0.0	5.1	33.6	4.0	42.7	0.0	0.0	0.0	0.0	0.0	0.0	7.6	36.7	5.7	49.9	0.0	2.3	0.4	4.7	7.4	0.0	0.0	0.0	0.0	0.0	-
PHF	0.000	0.750	0.824	0.583	0.807	0.000	0.000	0.000	0.000	0.000	0.000	0.833	0.735	0.577	0.776	0.000	0.750	0.500	0.781	0.750	0.000	0.000	0.000	0.000	0.000	0.802
Lights	0	26	171	21	218	0	0	0	0	0	0	40	185	30	255	0	12	2	25	39	0	0	0	0	0	512
% Lights	-	96.3	96.1	100.0	96.5	-	-	-	-	-	-	100.0	95.4	100.0	96.6	-	100.0	100.0	100.0	100.0	-	-	-	-	-	96.8
Mediums	0	1	5	0	6	0	0	0	0	0	0	0	8	0	8	0	0	0	0	0	0	0	0	0	0	14
% Mediums	-	3.7	2.8	0.0	2.7	-	-	-	-	-	-	0.0	4.1	0.0	3.0	-	0.0	0.0	0.0	0.0	0.0	-	-	-	-	2.6
Articulated Trucks	0	0	2	0	2	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	3
% Articulated Trucks	-	0.0	1.1	0.0	0.9	-	-	-	-	-	-	0.0	0.5	0.0	0.4	-	0.0	0.0	0.0	0.0	0.0	-	-	-	-	0.6
Pedestrians	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-	-	-	-	0	-	-	-	-	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Wight

Wight & Company
wightco.com
2500 North Frontage Road
Darien, IL 60551
P 630.969.7000
F 630.969.7979

GHA JOB #4521.100

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive • Vernon Hills, IL 60061
Tel. 847.478.9700 • Fax 847.478.9701



GRAPHIC SCALE
30 0 15 30
(IN FEET)
1 inch = 30 ft.



LEGEND

- CONCRETE SIDEWALK
- HMA PAVEMENT
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION

RECONFIGURED PARKING LOT.
38 STANDARD SPACES, 4 ACCESSIBLE SPACES

B6.12 CURB & GUTTER AROUND
PERIMETER OF PARKING LOT

REV	DESCRIPTION	DATE
PER VILLAGE COMMENTS		01.08.2016
ZONING BOARD SUBMITTAL		01.04.2015
COMMITTEE OF THE WHOLE SUBMITTAL		12.04.2015
	DESCRIPTION	DATE

HALF DAY INTERMEDIATE SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

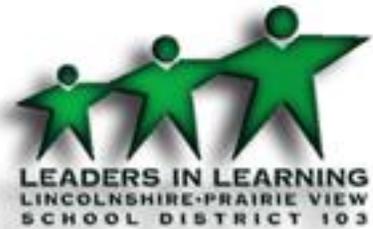
PRELIMINARY SITE PLAN

Project Number:
02-5467-05
Drawn By:
LLM
Sheet:

Village of Lincolnshire
Village Board Submittal Packet

Lincolnshire – Prairie View School District 103 Additions to Half Day School and Laura B. Sprague Elementary School

February 2, 2016



Lincolnshire Prairie View School District 103
1370 N. Riverwoods Road
Lincolnshire, IL 60069



Prepared by:
Wight & Company
2500 North Frontage Road
Darien, IL 60561
630-969-7000

A/E Project No. 02-5467-06

Additions to Laura B. Sprague Elementary School

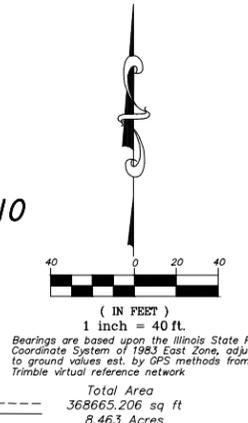
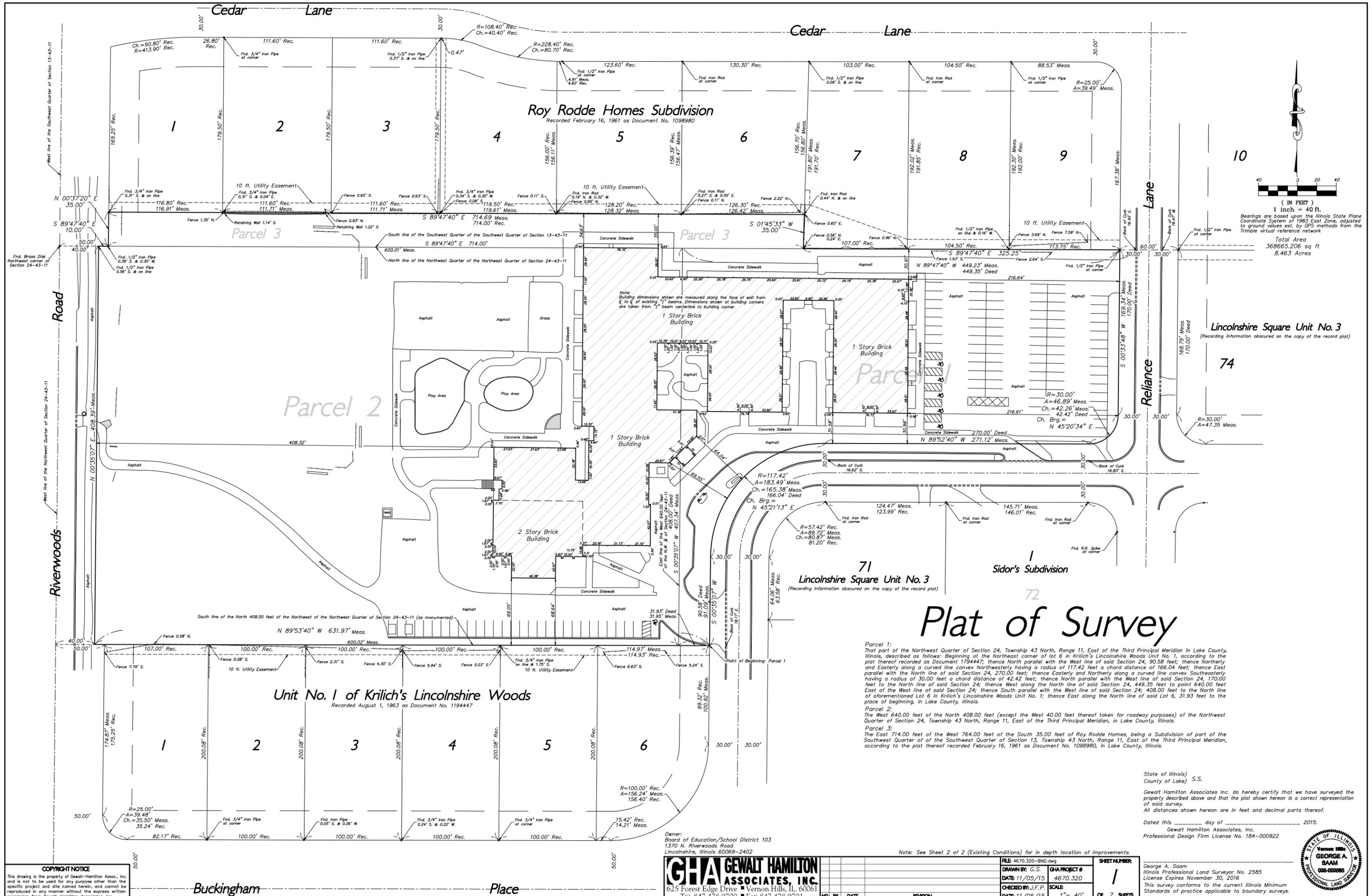
Table of Contents

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Architectural Drawings	5
Sun Study	6
Building Materials	7

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Plat of Survey

February 2, 2016



Plat of Survey

Parcel 1:
That part of the Northwest Quarter of Section 24, Township 43 North, Range 11, East of the Third Principal Meridian in Lake County, Illinois, described as follows: Beginning at the Northeast corner of lot 6 in Krilich's Lincolnshire Woods Unit No. 1, according to the plat thereof recorded as Document 1794447; thence North parallel with the West line of said Section 24, 90.58 feet; thence North and Easterly along a curved line convex Northwesterly having a radius of 117.42 feet a chord distance of 168.04 feet; thence East parallel with the North line of said Section 24, 270.00 feet; thence Easterly and Northwesterly along a curved line convex Southeasterly having a radius of 30.00 feet a chord distance of 42.42 feet; thence North parallel with the West line of said Section 24, 170.00 feet to the North line of said Section 24; thence West along the North line of said Section 24, 449.35 feet to point 640.00 feet East of the West line of said Section 24; thence South parallel with the West line of said Section 24; 408.00 feet to the North line of aforementioned Lot 6 in Krilich's Lincolnshire Woods Unit No. 1; thence East along the North line of said Lot 6, 31.93 feet to the place of beginning, in Lake County, Illinois.

Parcel 2:
The West 640.00 feet of the North 408.00 feet (except the West 40.00 feet thereof taken for roadway purposes) of the Northwest Quarter of Section 24, Township 43 North, Range 11, East of the Third Principal Meridian, in Lake County, Illinois.

Parcel 3:
The East 714.00 feet of the West 764.00 feet of the South 35.00 feet of Roy Rodde Homes, being a Subdivision of part of the Southwest Quarter of the Southwest Quarter of Section 13, Township 43 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded February 16, 1961 as Document No. 1098980, in Lake County, Illinois.

State of Illinois)
County of Lake) S.S.

Gewalt Hamilton Associates Inc. do hereby certify that we have surveyed the property described above and that the plat shown hereon is a correct representation of said survey.

All distances shown hereon are in feet and decimal parts thereof.

Dated this _____ day of _____ 2015.

Gewalt Hamilton Associates, Inc.
Professional Design Firm License No. 184-000922



Owner:
Board of Education/School District 103
1370 N. Riverwoods Road
Lincolnshire, Illinois 60069-2402

GHA GEWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive ■ Vernon Hills, IL 60061
TEL 847.478.9700 ■ FAX 847.478.9701

Note: See Sheet 2 of 2 (Existing Conditions) for in depth location of improvements.

FILE: 4670.320-BND.dwg	SHEET NUMBER: 1
DRAWN BY: G.S.	GHA PROJECT #: 4670.320
DATE: 11/05/15	SCALE: 1" = 40'
CHECKED BY: J.F.P.	OF 2 SHEETS
DATE: 11/05/15	

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Buckingham Place

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Stormwater Management

February 2, 2016

Stormwater Memorandum

GHA Project #: 4521.103

Date: December 30, 2015

To: Village of Lincolnshire, Plan Commission

From: Karl Jensen, P.E.

Re: Laura B. Sprague School
 Prairie View School District #103, Lincolnshire

850 Forest Edge Drive, Vernon Hills, IL 60061
 TEL 847.478.9700 ■ FAX 847.478.9701

820 Lakeside Drive, Suite 5, Gurnee, IL 60031
 TEL 847.855.1100 ■ FAX 847.855.1115

www.gha-engineers.com

The proposed project at Laura B. Sprague School (2425 Riverwoods Road) is to expand the existing building to the west, south of the playground area and reroute associated sidewalks adjacent to the expansion.

EXISTING CONDITIONS

The property is 8.46 acres and currently has an impervious coverage of 3.93 acres. The site has undergone multiple improvements that have increased the impervious coverage of the site since the adoption of the Lake County Watershed Development Ordinance (WDO) in 1992. The first was the parking lot improvement project in 2008 (Lake County SMC Permit #08-28-049). This project increased the impervious area from 3.63 acres to 3.70 acres. The second project was the playground area improvements west of the school in 2013 (Lake County SMC Permit #08-28-049A) which increased the impervious area from 3.70 acres to the current 3.93 acres.

PROPOSED CONDITIONS

The proposed project will include the following improvements:

- New building addition to the west; and
- Sidewalk relocation adjacent to the building addition.

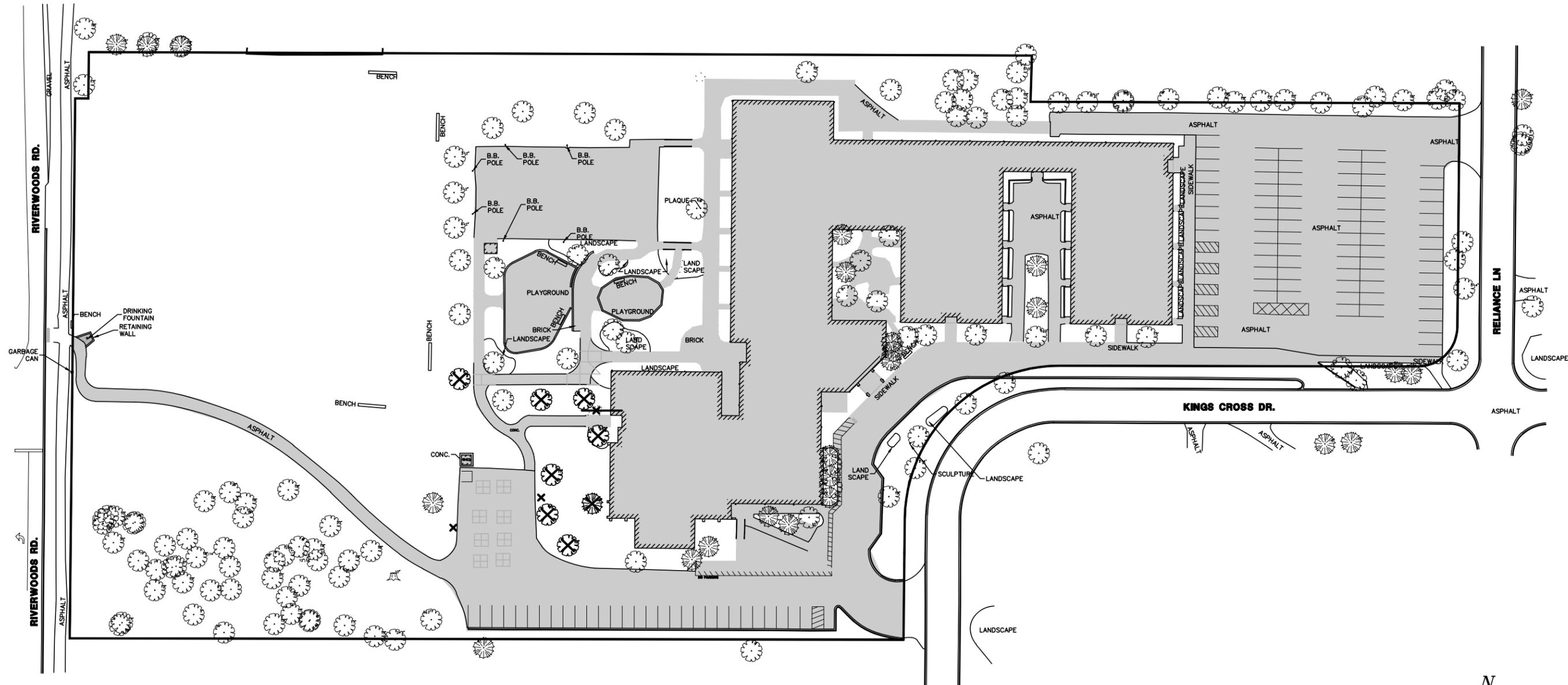
The above improvements will increase the impervious area as summarized in the table below.

	Total Impervious Area
Pre-1992 Conditions	3.63 Acres
2008 Parking Lot Improvements	3.70 Acres
2013 Playground Improvements	3.93 Acres
Proposed Building Addition	3.97 Acres
Impervious Area Added Since 1992	0.34 Acres

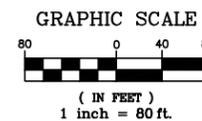
The amount of “new” impervious for the site added since 1992 does not meet the threshold for detention as specified in the WDO. At this point in time, no detention is required for the site under the currently proposed design.

CONCLUSION

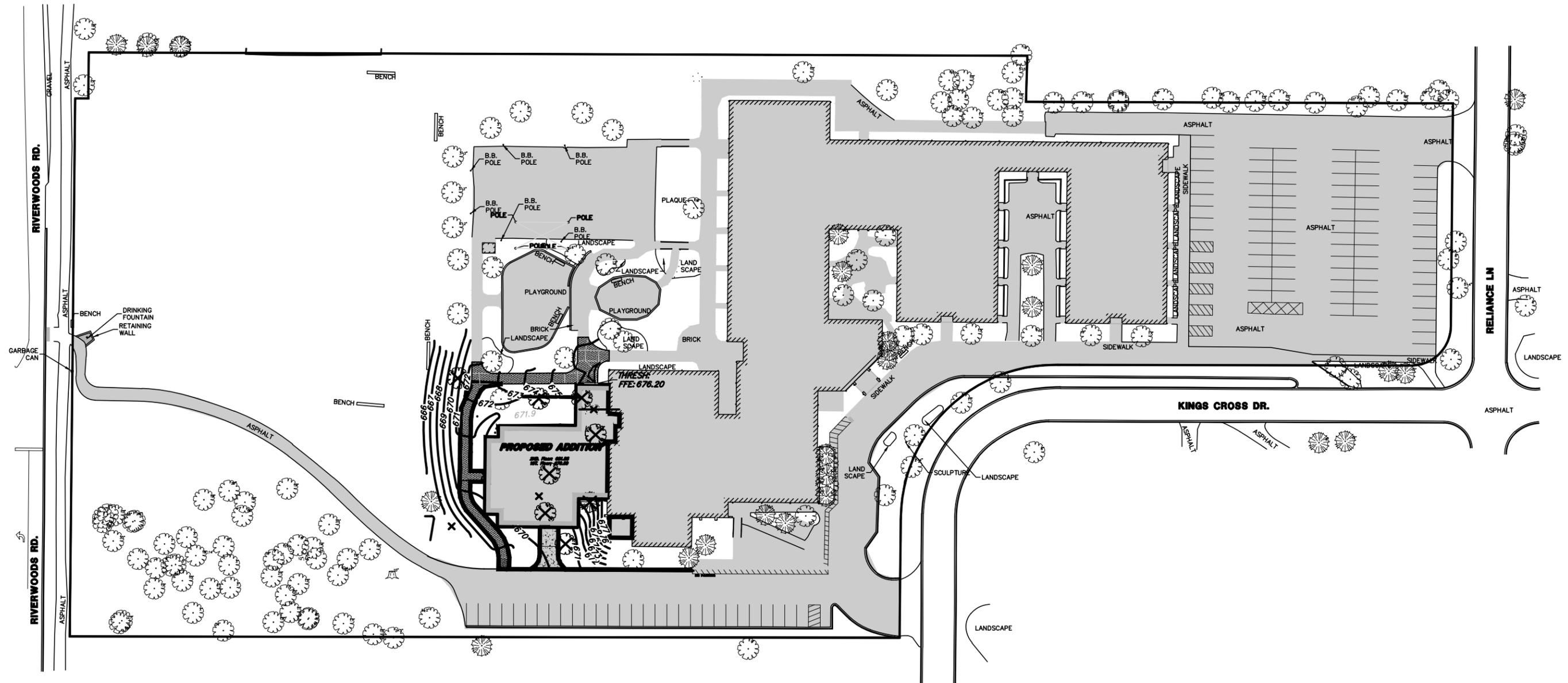
The Prairie View School District proposes to construct a building addition at Laura B. Sprague School in Lincolnshire. At this time, detention and water quality are not required by the WDO as the “new” impervious area has yet to exceed 1.0 acre since 1992 or 50% impervious coverage of the property. Soil erosion and sediment control measures are included as part of this project. Based on the design our office believes they are in conformance with the WDO.



TOTAL PROPERTY AREA - 8.46 ACRES
PRE-1992 IMPERVIOUS AREA - 3.63 ACRES
CURRENT IMPERVIOUS AREA - 3.93 ACRES

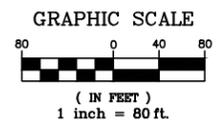


NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION



TOTAL PROPERTY AREA - 8.46 ACRES
PRE-1992 IMPERVIOUS AREA - 3.63 ACRES
CURRENT IMPERVIOUS AREA - 3.93 ACRES
PROPOSED IMPERVIOUS AREA - 3.97 ACRES

INCREASE IN IMPERVIOUS AREA SINCE 1992 - 0.34 ACRES



NO.	BY	DATE	REVISION	NO.	BY	DATE	REVISION

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Civil Drawings

February 2, 2016

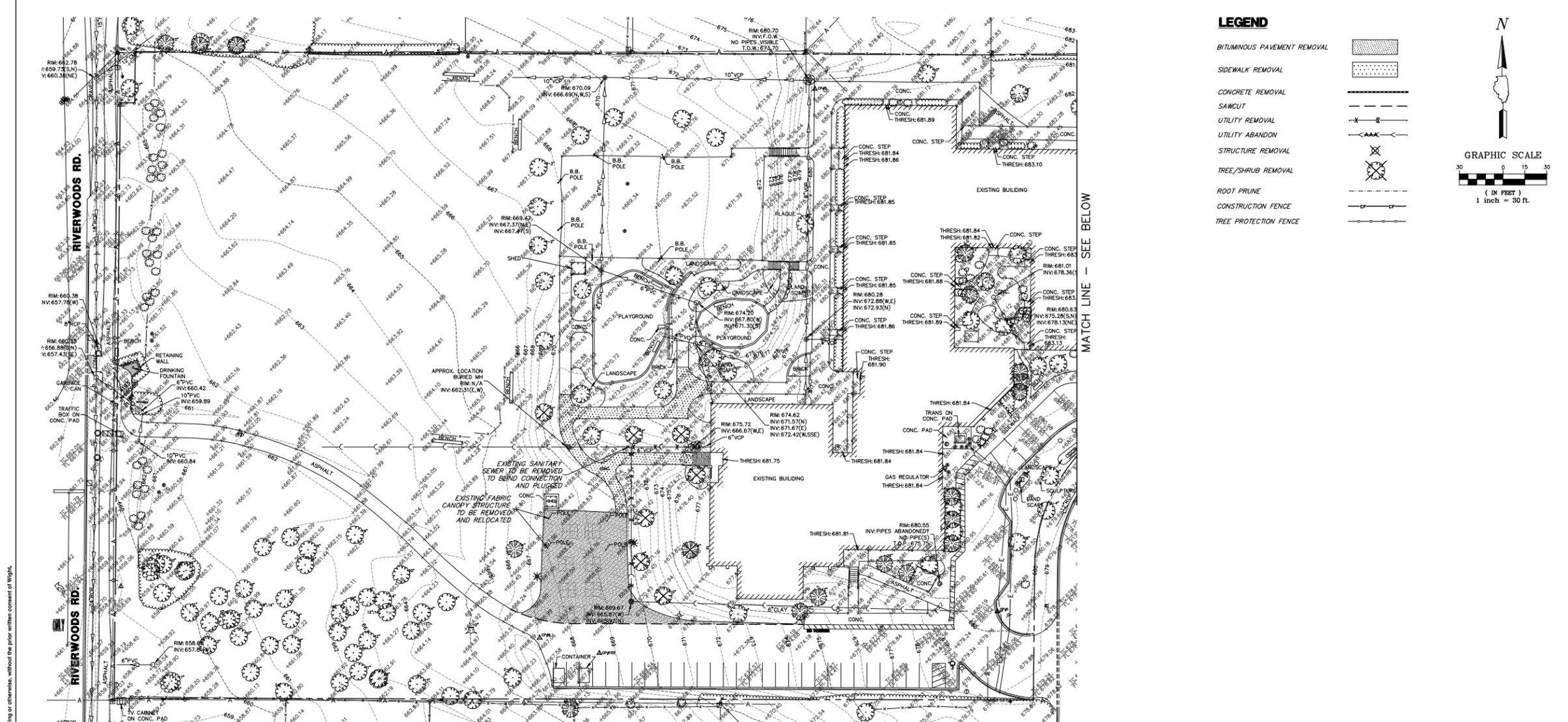


Wight

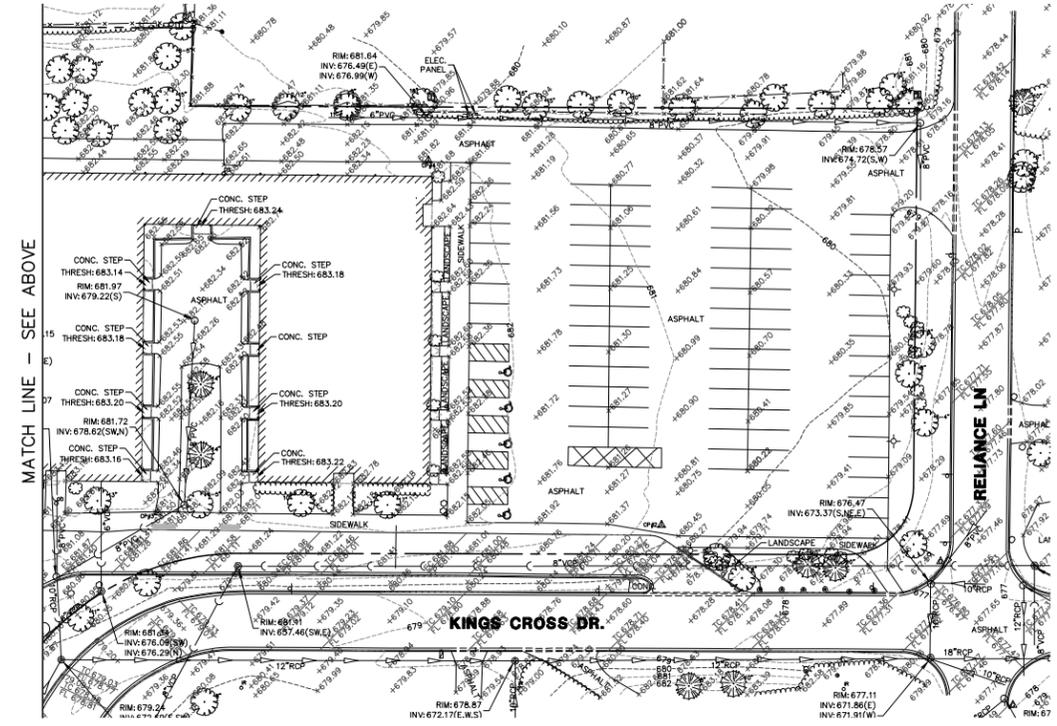
Wight & Company
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2500 North Frontage Road
Darien, IL 60551
P 630.969.7000
F 630.969.7979

GHA JOB #4521.100

GHA GENWALT HAMILTON ASSOCIATES, INC.
625 Forest Edge Drive • Vernon Hills, IL 60061
Tel. 847.478.9700 • Fax 847.478.9701



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REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMISSION	01.04.2016
	COMMITTEE OF THE WHOLE SUBMITTAL	12.04.2015
	DESCRIPTION	DATE

**LAURA B. SPRAGUE
ELEMENTARY
SCHOOL**

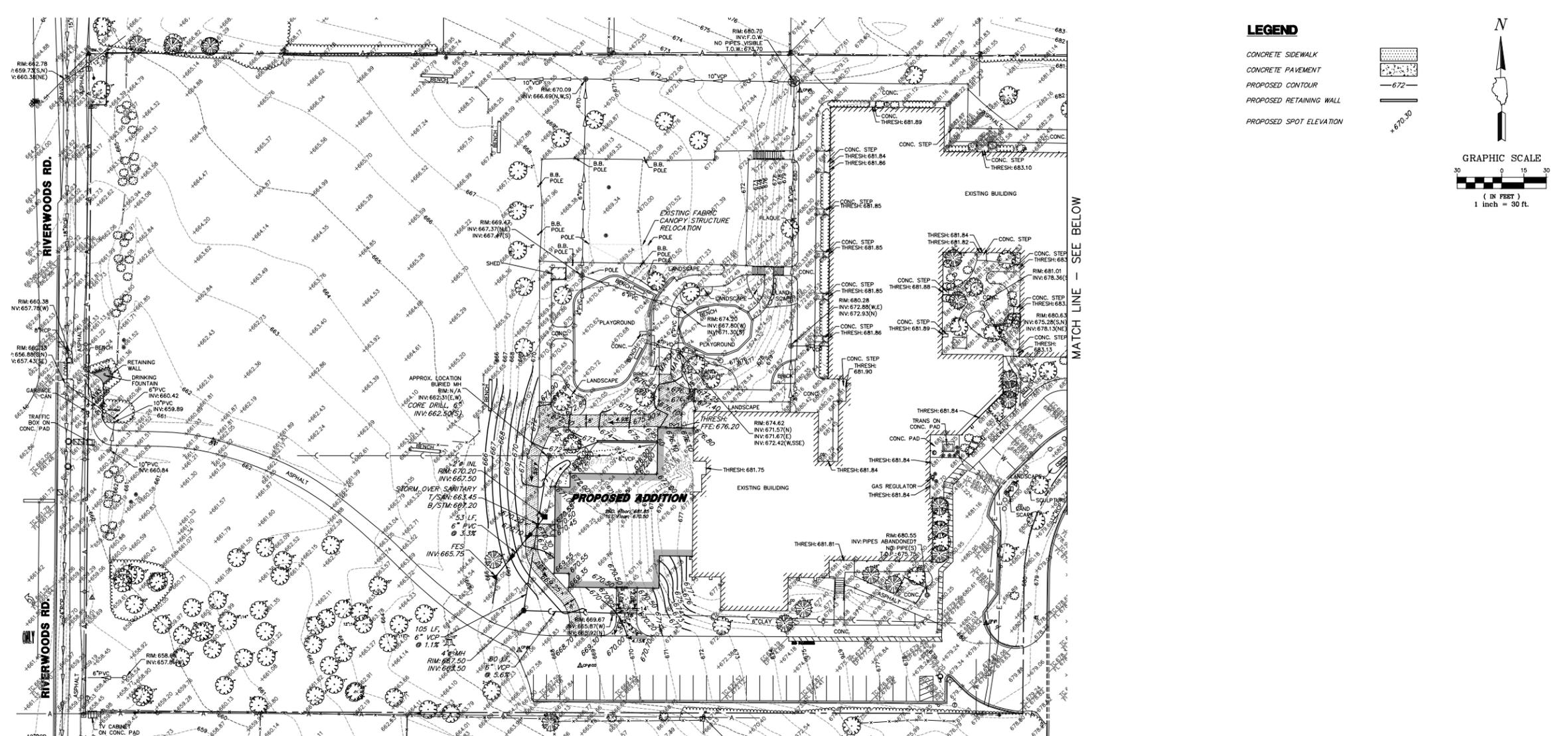
2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

**EXISTING CONDITIONS/
DEMOLITION PLAN**

Project Number:
02-5467-05
Drawn By:
KAJ/JALC
Sheet:

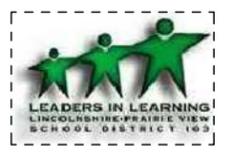
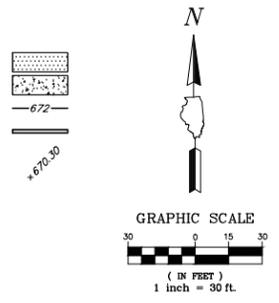
C3.0

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LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PROPOSED CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED SPOT ELEVATION

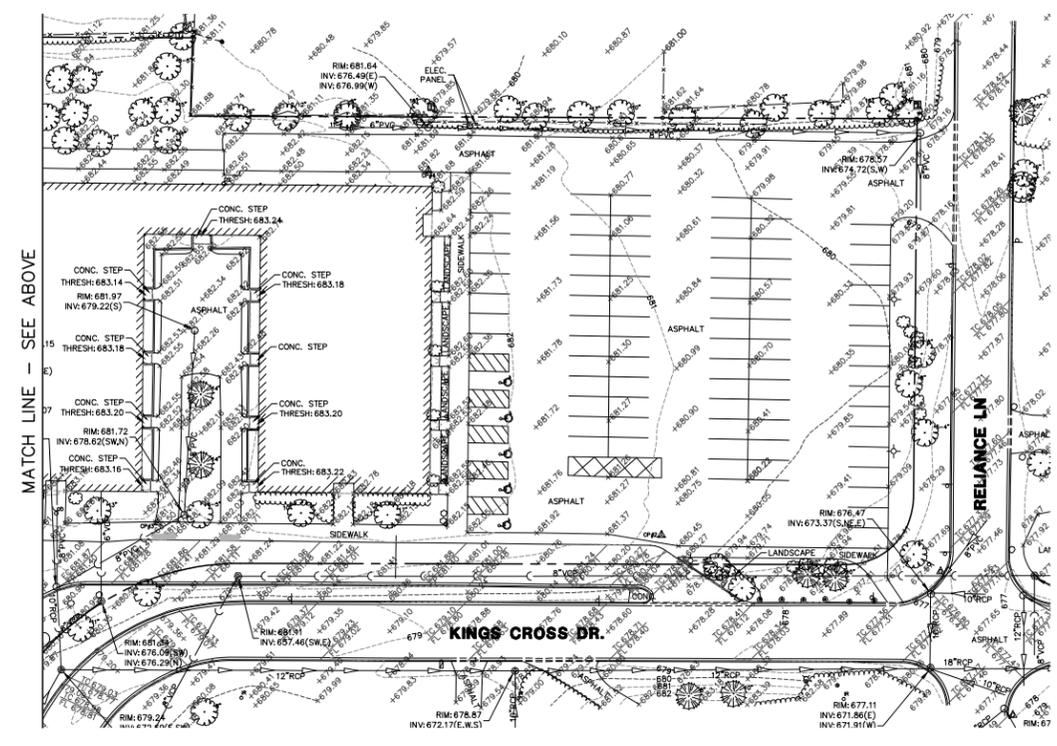


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	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMISSION	01.04.2015
	COMMITTEE OF THE WHOLE SUBMITTAL	12.04.2015
	DESCRIPTION	DATE

LAURA B. SPRAGUE ELEMENTARY SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

PRELIMINARY SITE PLAN

Project Number:
02-5467-05
Drawn By:
KAJ/JALC
Sheet:

C4.0

Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Landscape Drawings

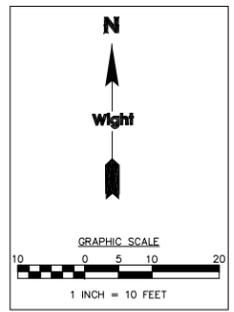
February 2, 2016



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REV	DESCRIPTION	DATE
VILLAGE BOARD SUBMITTAL		02/02/2016
ZONING BOARD REVISION 1		01/12/2016
ZONING BOARD SUBMITTAL		01/04/2016
	DESCRIPTION	DATE

LAURA B. SPRAGUE ELEMENTARY SCHOOL

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

PROPOSED TREE PLAN

Project Number:
02-5467-05

Drawn By:

Sheet:

L1.00

LEGEND

- BITUMINOUS PAVEMENT REMOVAL
- SIDEWALK REMOVAL
- STRUCTURE REMOVAL
- TREE/SHRUB REMOVAL
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE

Proposed Tree Schedule

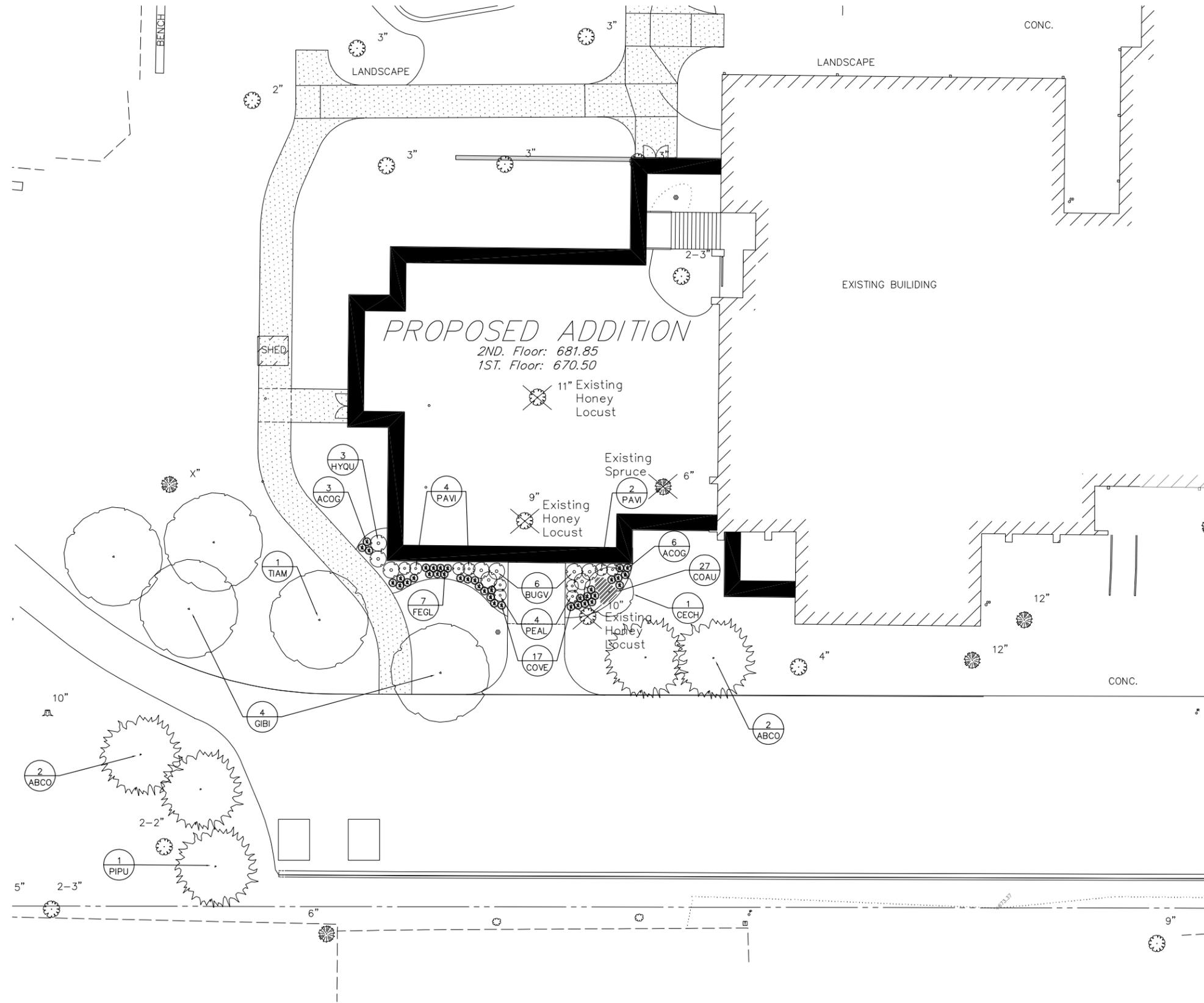
Evergreens to be Removed				
QTY	KEY	Species	Unit DBH	Net DBH
1		Spruce (sp.)	6.0	6.0
Evergreens to be Planted				
QTY	KEY	Species	Unit DBH	Net DBH
4	ABCO	White Fir-8"	3.0	12.0
1	PIPU	Colorado Blue Spruce-8"	3.0	3.0
Deciduous Trees to be Removed				
QTY	KEY	Species	Unit DBH	Net DBH
1		Honey Locust	9.0	9.0
1		Honey Locust	10.0	10.0
1		Honey Locust	11.0	11.0
Deciduous Trees to be Planted				
QTY	KEY	Species	Unit DBH	Net DBH
4	GIBI	Princeton Sentry Ginkgo(Male)	3.0	12.0
1	TIAM	American Linden	3.0	3.0

PLANT SCHEDULE

QTY	KEY	Botanical Name	Common Name	Size	Root	Spacing
ORNAMENTAL/EVERGREEN TREES						
1	ABCO	Abies balsamea	Blue Spruce	8"	Ball	See sheet
DECIDUOUS TREES						
1	PIPU	Picea canadensis	Millers Pine	8"	Ball	See sheet
1	ABCO	Abies balsamea	Blue Spruce	8"	Ball	See sheet
1	PIPU	Picea canadensis	Millers Pine	8"	Ball	See sheet
PERENNIALS						
1	ABCO	Abies balsamea	Blue Spruce	8"	Ball	See sheet
1	PIPU	Picea canadensis	Millers Pine	8"	Ball	See sheet
1	ABCO	Abies balsamea	Blue Spruce	8"	Ball	See sheet
1	PIPU	Picea canadensis	Millers Pine	8"	Ball	See sheet
GROUNDCOVERS						
1	ABCO	Abies balsamea	Blue Spruce	8"	Ball	See sheet

LANDSCAPE NOTES

- ANY DAMAGE TO THE RIGHT-OF-WAY DURING DEMOLITION SHALL BE RESTORED TO EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE SHOWN. ALL RADII DIMENSIONS ARE TO THE BACK OF CURB/EDGE OF PAVEMENT.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES UNLESS OTHERWISE SPECIFIED.
- ALL EXISTING TREES TO REMAIN AND TO BE PROTECTED UNLESS OTHERWISE NOTED.
- ANY UTILITY ADJUSTMENTS, CONFLICTS, RELOCATIONS, ETC. REQUIRED SHALL BE COORDINATED WITH ENGINEER AND UTILITY OWNER/PROVIDER.
- ALL REMOVAL OF CONCRETE SHALL BE DONE TO THE NEAREST JOINT.
- ANY DAMAGE TO THE LANDSCAPE AREAS SHALL BE RESTORED TO EXISTING CONDITIONS.
- PROPOSED LANDSCAPE CONFORMS TO VILLAGE ORDINANCE. SPECIES (DECIDUOUS/CONIFEROUS) CONCESSIONS MAY BE TAKEN INTO CONSIDERATION WITH VILLAGE APPROVALS.



TP1 TREE PLAN—GLARE SCREENING
L1.00 SCALE: 1"=10'

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Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Architectural Drawings

February 2, 2016



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VILLAGE BOARD SUBMITTAL		02.02.2016
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ARCH REVIEW BOARD SUBMITTAL		01.11.2016
ZONING BOARD SUBMITTAL		01.04.2016
COMMITTEE OF THE WHOLE SUBMITTAL		12.04.2015

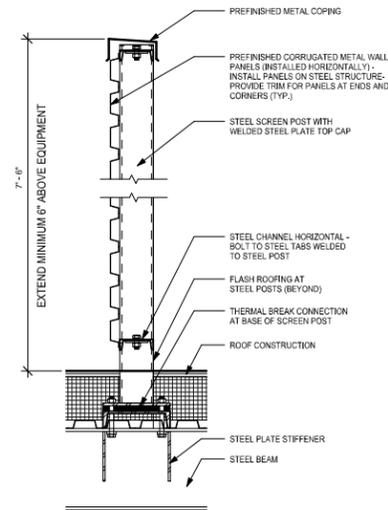
**LAURA B. SPRAGUE
ELEMENTARY SCHOOL**

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

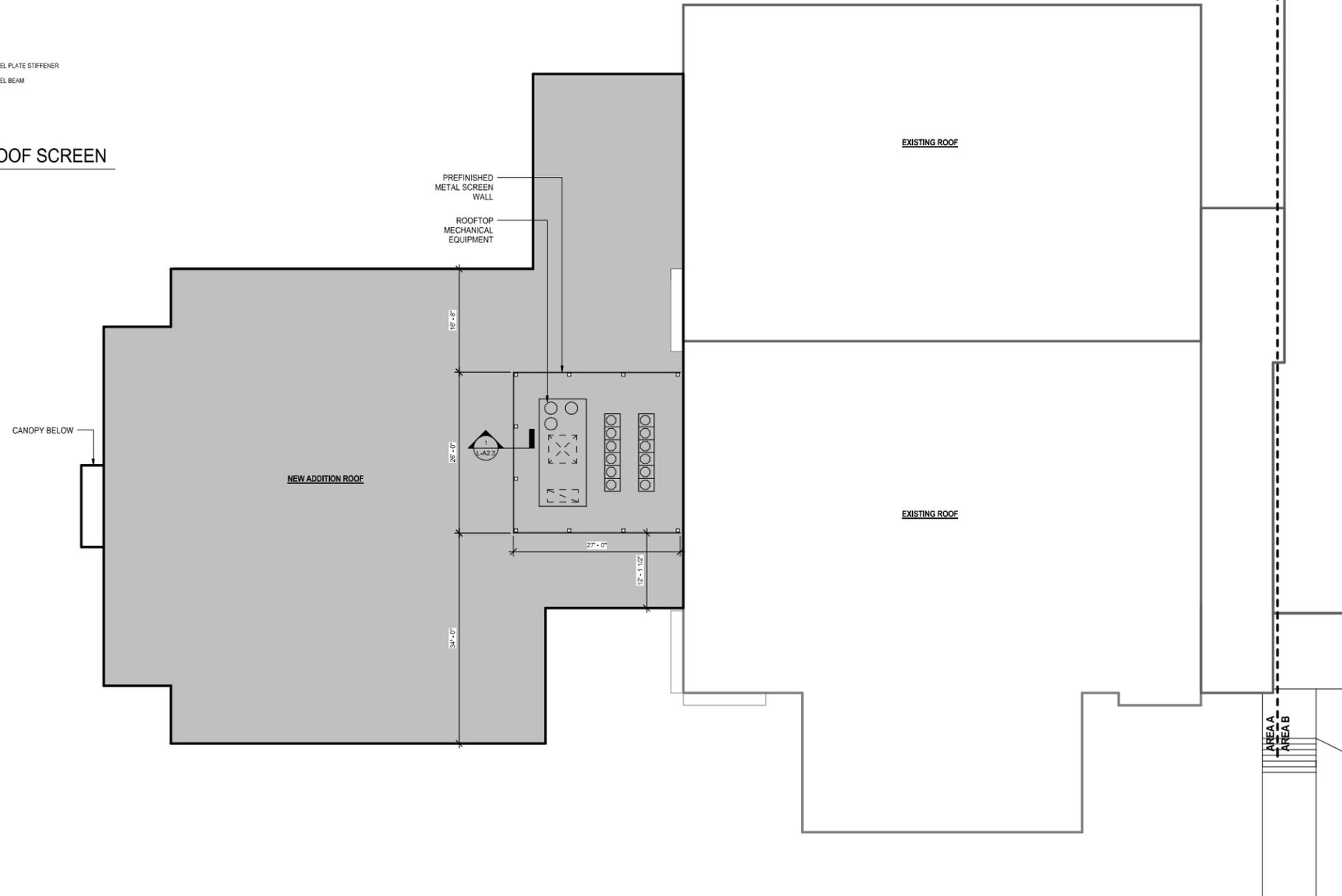
ROOF PLAN - AREA A

Project Number:
02-5467-06
Drawn By:
Author
Sheet:

L-A2.3

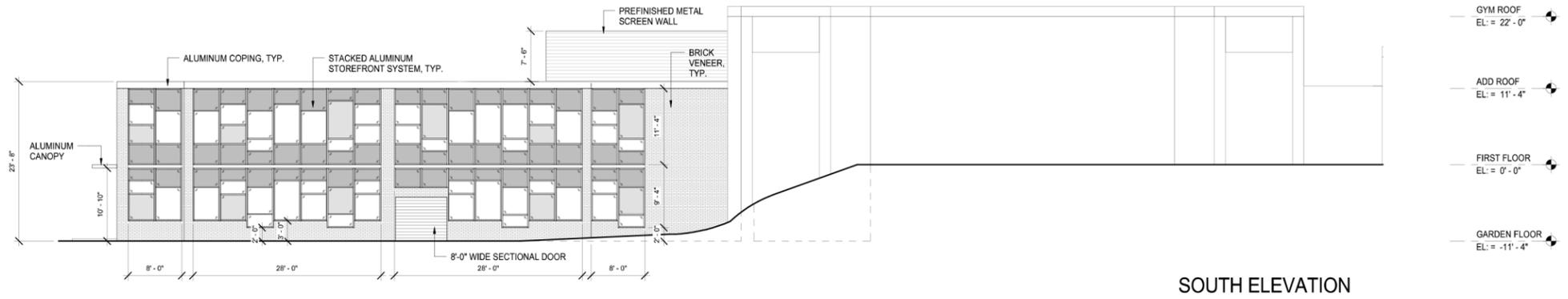


1 WALL SECTION - ROOF SCREEN
SCALE: 1" = 1'-0"

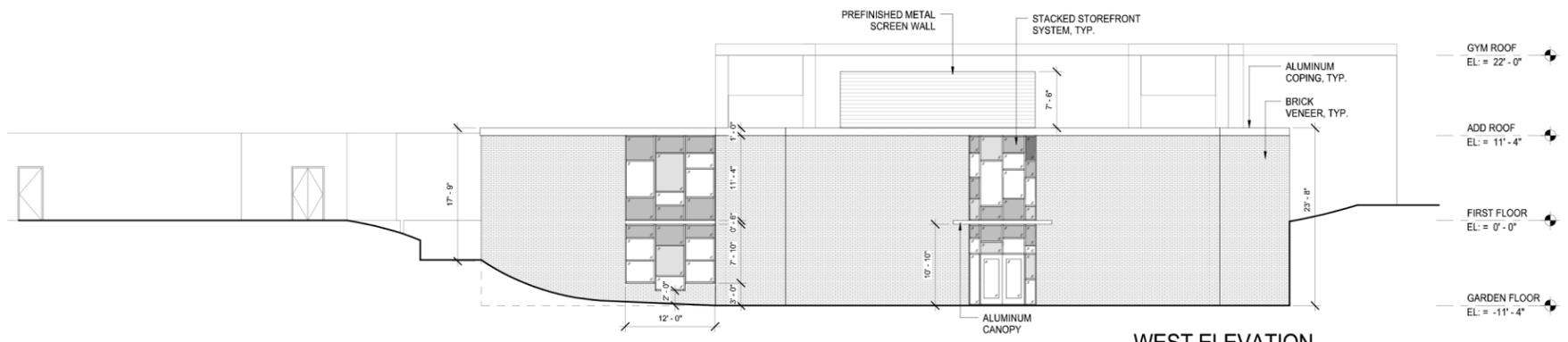


2/11/2016 1:56:47 PM C:\Users\wlp\OneDrive\Documents\02-5467-06_Laura Sprague_ARCH\2016_Central_west\area.vxd Wight & Company, 2015. All rights reserved. No part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.

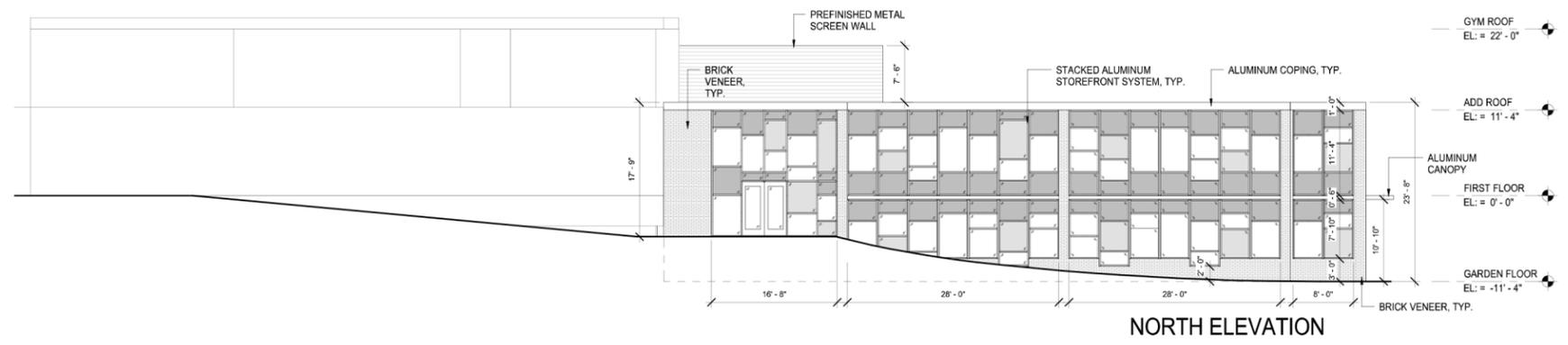




SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

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REV	DESCRIPTION	DATE
	ZONING BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMITTAL	01.04.2016
	COMMITTEE OF THE WHOLE SUBMITTAL	12.04.2015
	DESCRIPTION	DATE

**LAURA B. SPRAGUE
ELEMENTARY SCHOOL**

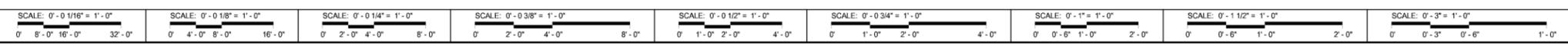
2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

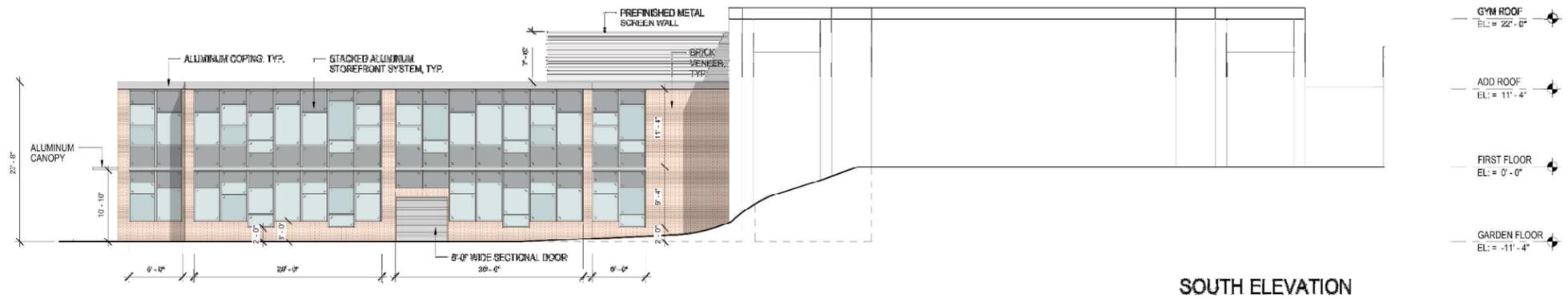
EXTERIOR ELEVATIONS

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02-5467-05
Drawn By:
Author
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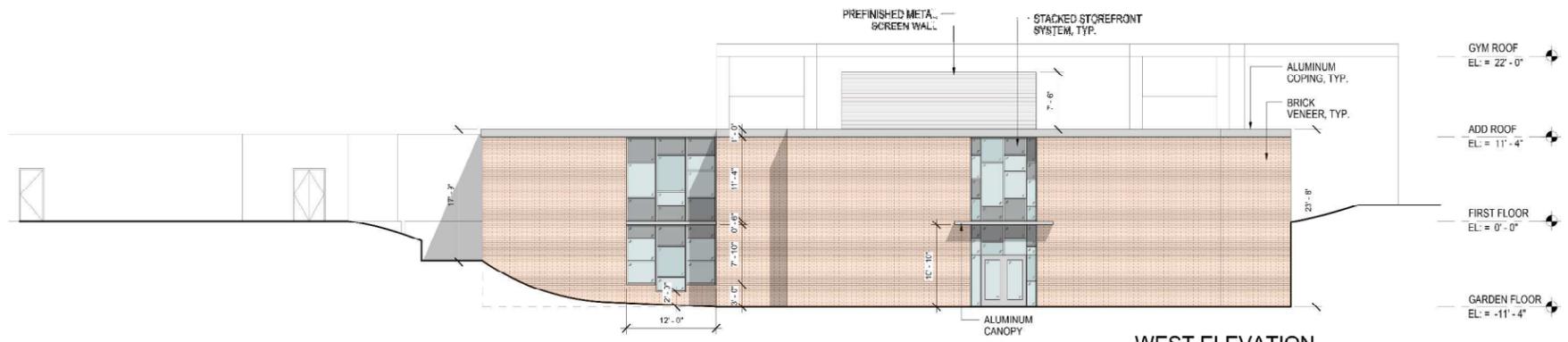
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12/23/2015 3:16:02 PM
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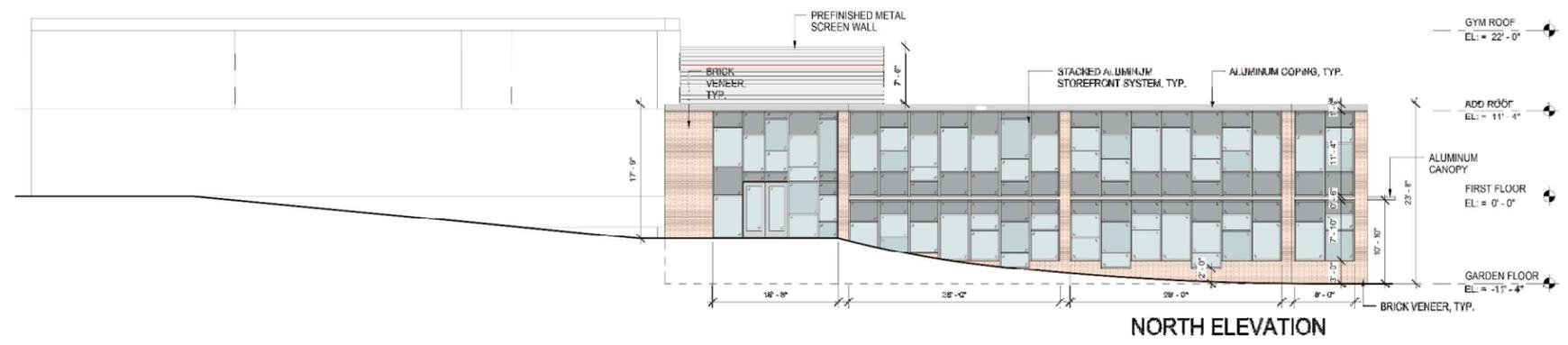




SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION

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REV	DESCRIPTION	DATE
	ZONING BOARD SUBMITTAL	02.02.2016
	ARCHITECTURAL REVIEW BOARD SUBMITTAL	01.11.2016
	ZONING BOARD SUBMITTAL	01.04.2016
	DESCRIPTION	DATE

**LAURA B. SPRAGUE
ELEMENTARY SCHOOL**

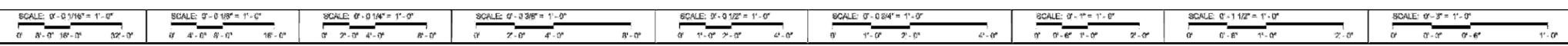
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LINCOLNSHIRE, IL 60309

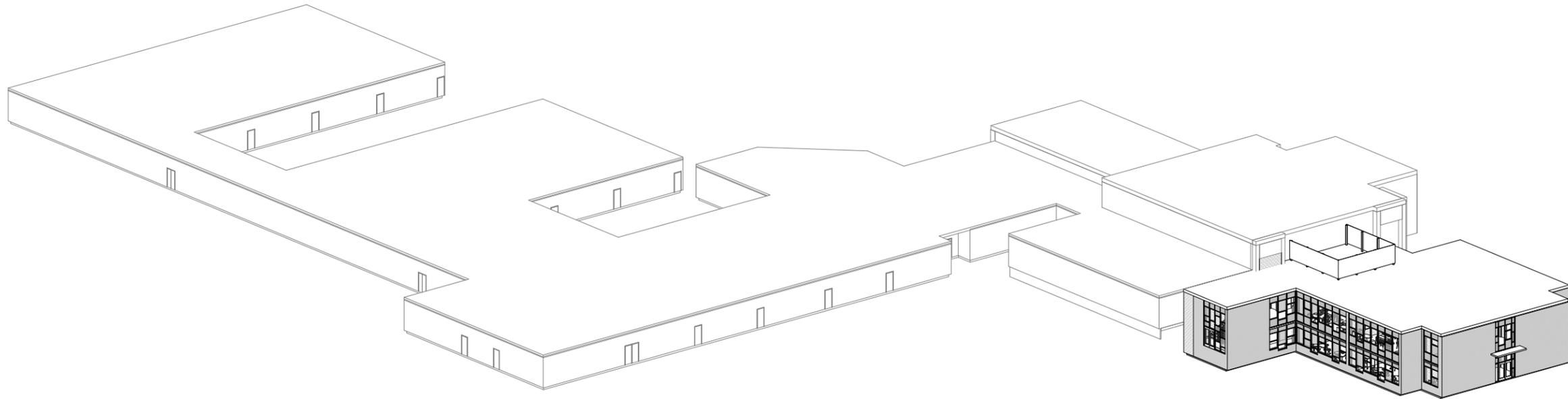
**EXTERIOR ELEVATION
RENDERINGS**

Project Number:
02-5467-05
Drawn By:
Author:
Sheet:

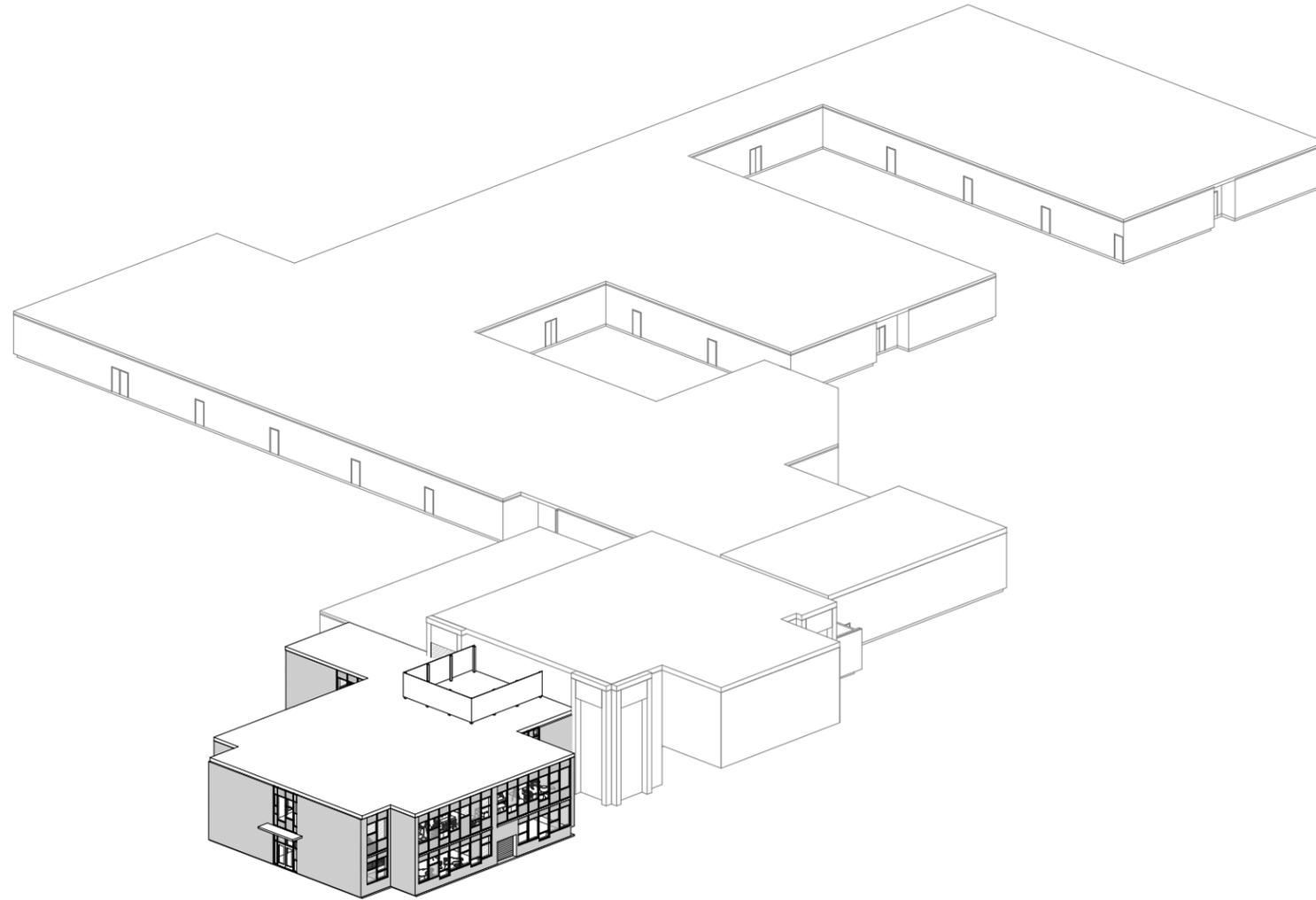
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12/20/2015 3:42:02 PM C:\Users\jbsprague\Documents\102-5467-05\102-5467-05.dwg - Laura B. Sprague, ARCH, 2016, 1/11/2016, 11:11:11 AM. All rights reserved. No part of this document may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the prior written consent of Wight.





1 3-D MASSING VIEW FROM NORTHWEST
L-A3.2 SCALE:



2 3-D MASSING VIEW FROM SOUTHWEST
L-A3.2 SCALE:

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CONSTRUCTION**

REV	DESCRIPTION	DATE
	ZONING BOARD SUBMITTAL	02.02.2016
	DO REVIEW SET	01.14.2016
	ARCHITECTURAL REVIEW BOARD	01.11.2016
	SUBMITTAL SUPPLEMENT	01.11.2016
	ZONING BOARD SUBMITTAL	01.04.2016
REV	DESCRIPTION	DATE

**LAURA B. SPRAGUE
ELEMENTARY SCHOOL**

2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

3-D MASSING MODEL

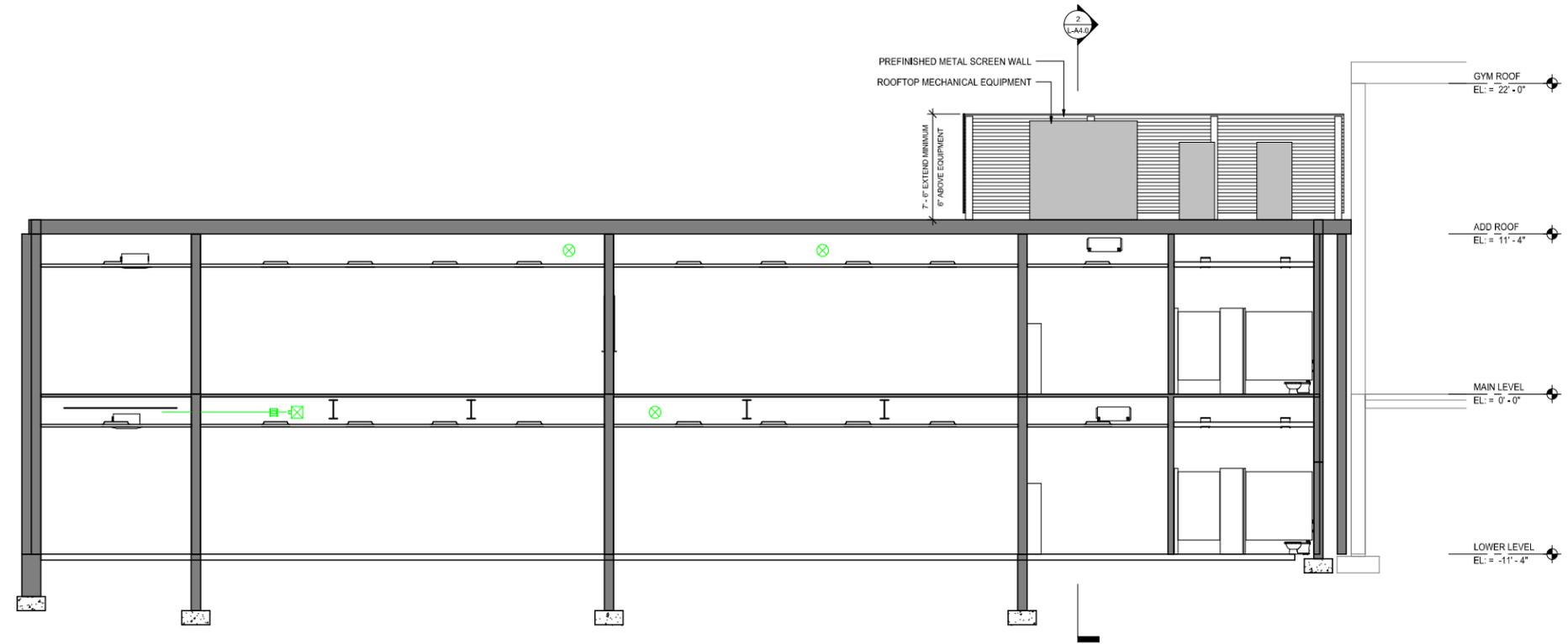
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02-5467-06
Drawn By:
Author:
Sheet:

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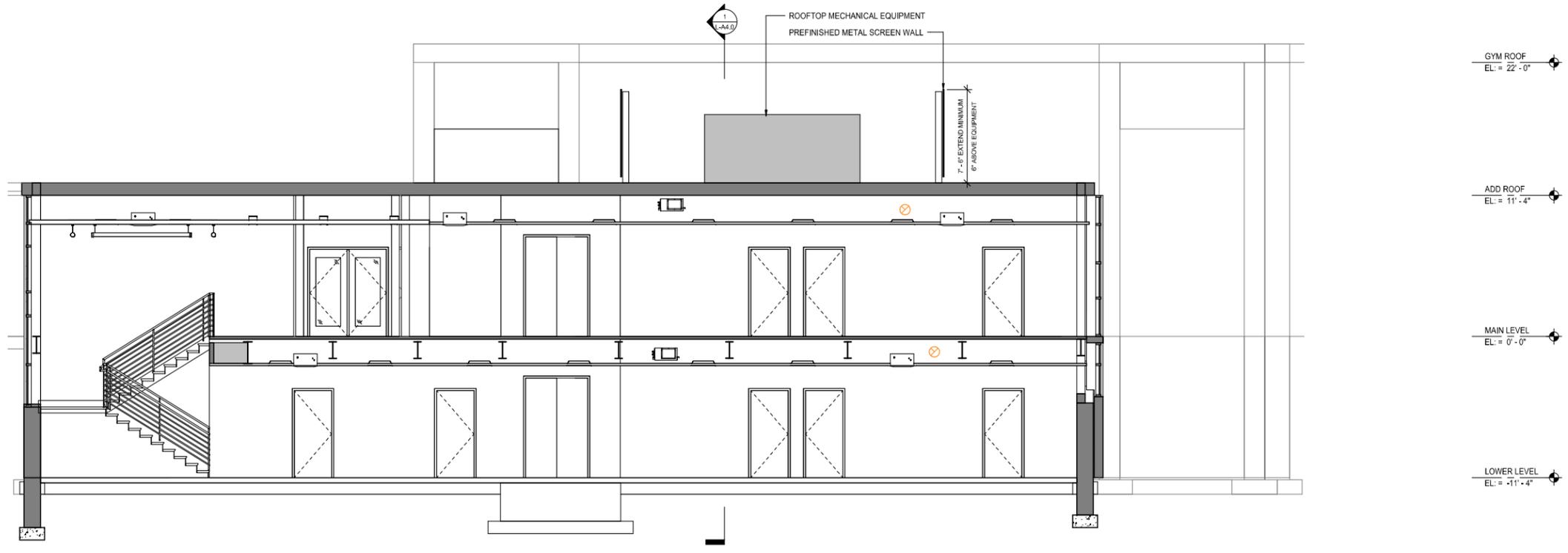
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1 SECTION THUR CLASSROOM
SCALE: 1/4" = 1'-0"



2 SECTION THRU N-S CORRIDOR
SCALE: 1/4" = 1'-0"

REV	DESCRIPTION	DATE
	VILLAGE BOARD SUBMITTAL	02.02.2016
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	DESCRIPTION	DATE

**LAURA B. SPRAGUE
ELEMENTARY SCHOOL**

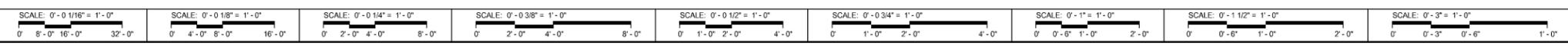
2425 RIVERWOODS ROAD
LINCOLNSHIRE, IL 60069

BUILDING SECTIONS

Project Number:
02-5467-06
Drawn By:
Author:
Sheet:

L-A4.0

2/1/2016 4:15:58 PM C:\Users\wpc\Documents\02-5467-06_Laura Sprague_ARCH\2016_Corridor_Sections.rvt Wight & Company, 2013. All rights reserved. No part of these documents may be reproduced, stored, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording or otherwise, without the prior written consent of Wight.



Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Additions to Laura B. Sprague Elementary School

Sun Study

February 2, 2016

Lincolnshire – Prairie View School District 103 Sprague School Addition Sun Study

DRAFT 12/24/2015

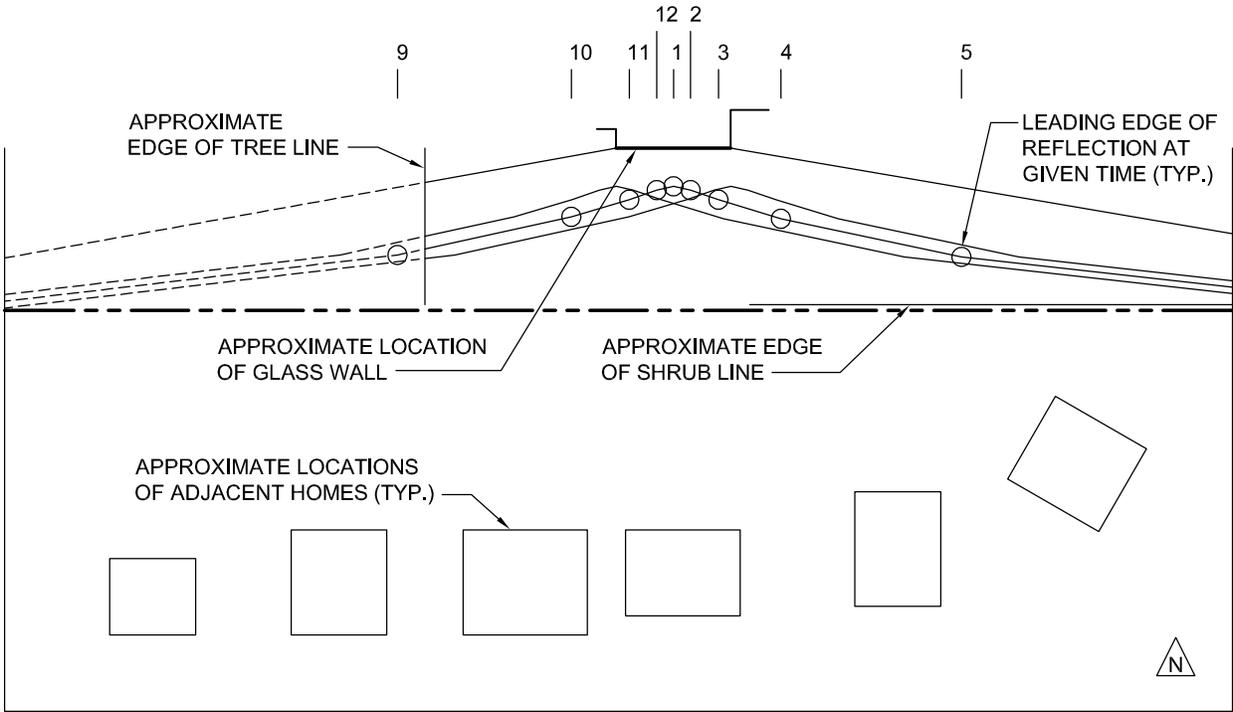
Per the request of the Village of Lincolnshire, in response to concerns about potential sunlight reflected off the glass wall of the Sprague School addition, the following diagrams have been prepared to represent the anticipated path of reflected sunlight for the dates indicated on each diagram. Altitude and azimuth information used to calculate the leading edge of reflected sunlight was obtained from the website of the Astronomical Applications Department of the United States Naval Observatory (<http://aa.usno.navy.mil/data/docs/AltAz.php>). No survey data for the locations of the homes adjacent to Sprague School is currently available, and as such their depicted locations have been approximated from a digital aerial photograph obtained from Google Maps. The existing school building, for which the dimensions are known, was used to approximate the appropriate scale for the digital aerial photograph.

Note that the sun study diagrams that have been generated assume a flat terrain, which is not an accurate representation of the current site conditions. Based on the known elevations of the school site, which increase to the east and decrease to the west, it is anticipated that the leading edge of the reflected sunlight will be shortened to the east and lengthened to the west. This will correspondingly shorten and lengthen the duration that an adjacent home may experience reflected sunlight exposure.

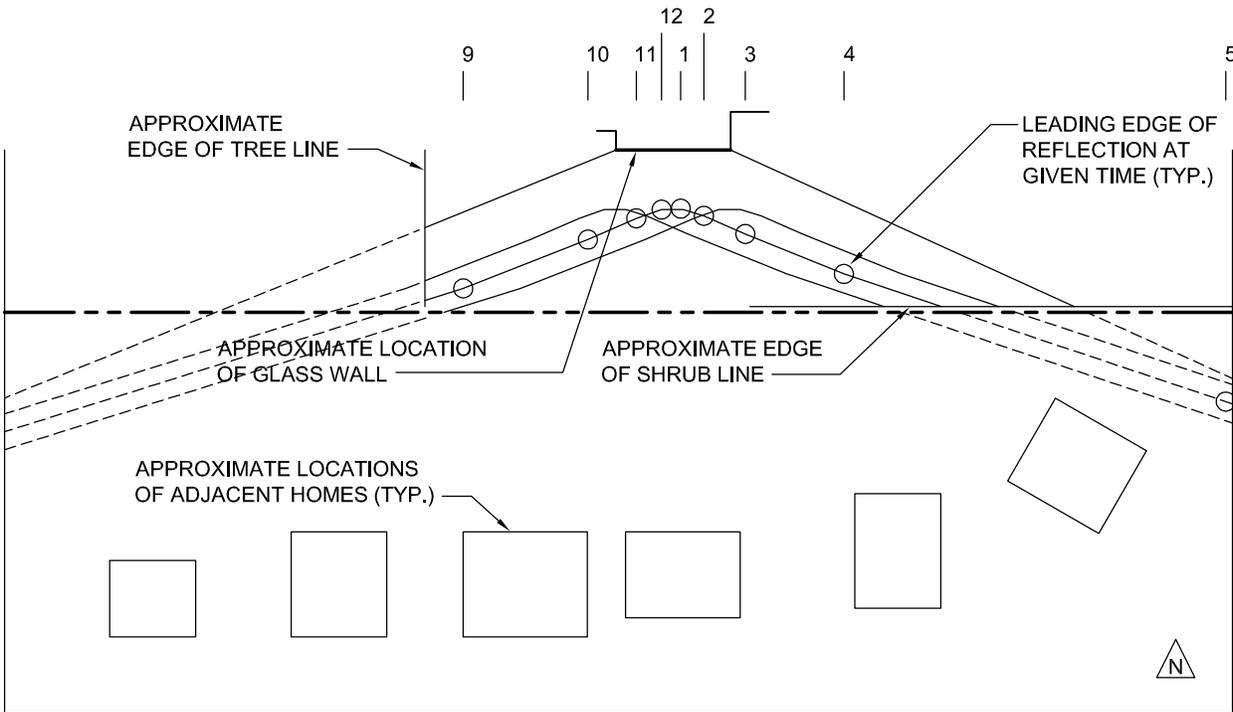
The approximate path of reflected sunlight was calculated for four individual days of the year. December 21 was selected to represent the greatest potential for reflected sunlight, with the lowest altitude and azimuth angles occurring at that time of year. The 21st days of November, October, and September were also selected to illustrate the change in the path of reflected sunlight over time. It is assumed that the 21st days of January, February, and March will roughly correspond to their opposing fall months opposite the December 21 date.

Of the six homes to the immediate south of the Sprague School addition only two will have any chance of exposure to reflected sunlight off the glass wall, including the home furthest to the west and the home furthest to the east. It is anticipated that the home furthest to the west will begin to fall into the path of reflected sunlight early in the month of December, and will reach its peak exposure on December 21 where it would be in the reflected sunlight path for roughly the first hour of the day following sunrise. As per the terrain conditions previously noted; included in this estimate is an increase of approximately 15 minutes to account for the decrease in elevation. There is currently a substantially wooded area separating this home from the Sprague School addition, the effect of which has not been calculated in this study. It is anticipated that the home furthest to the east will begin to fall into the path of reflected sunlight early in the month of November, and will reach its peak exposure on December 21 where it will be in that path for roughly the last hour of the day preceding sunset. As per the terrain conditions previously noted; included in this estimate is a decrease of approximately 15 minutes to account for the increase in elevation. There is currently a modestly wooded area separating this home from the Sprague School addition, the effect of which has not been calculated in this study.

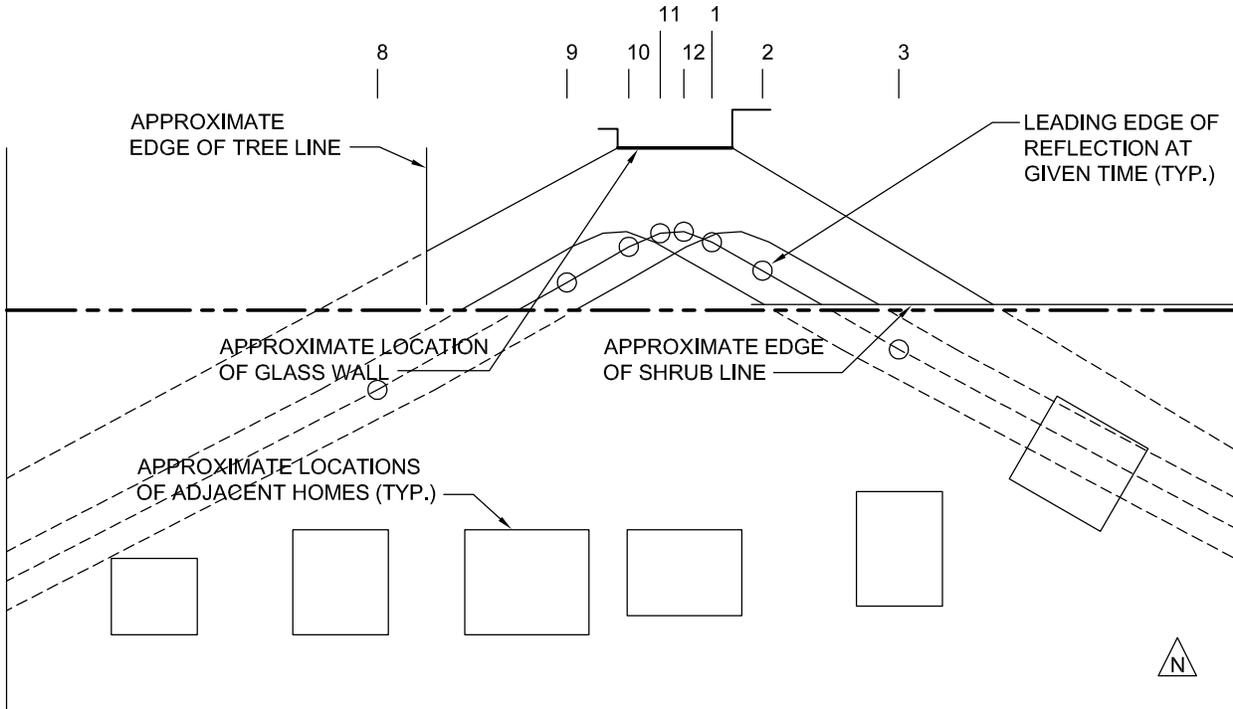
The current intent is to use a glass product that is equivalent to PPG's Solarban 70XL Clear glass, which is listed as having a 12% visible light reflectance (see attached product data sheet for reference).



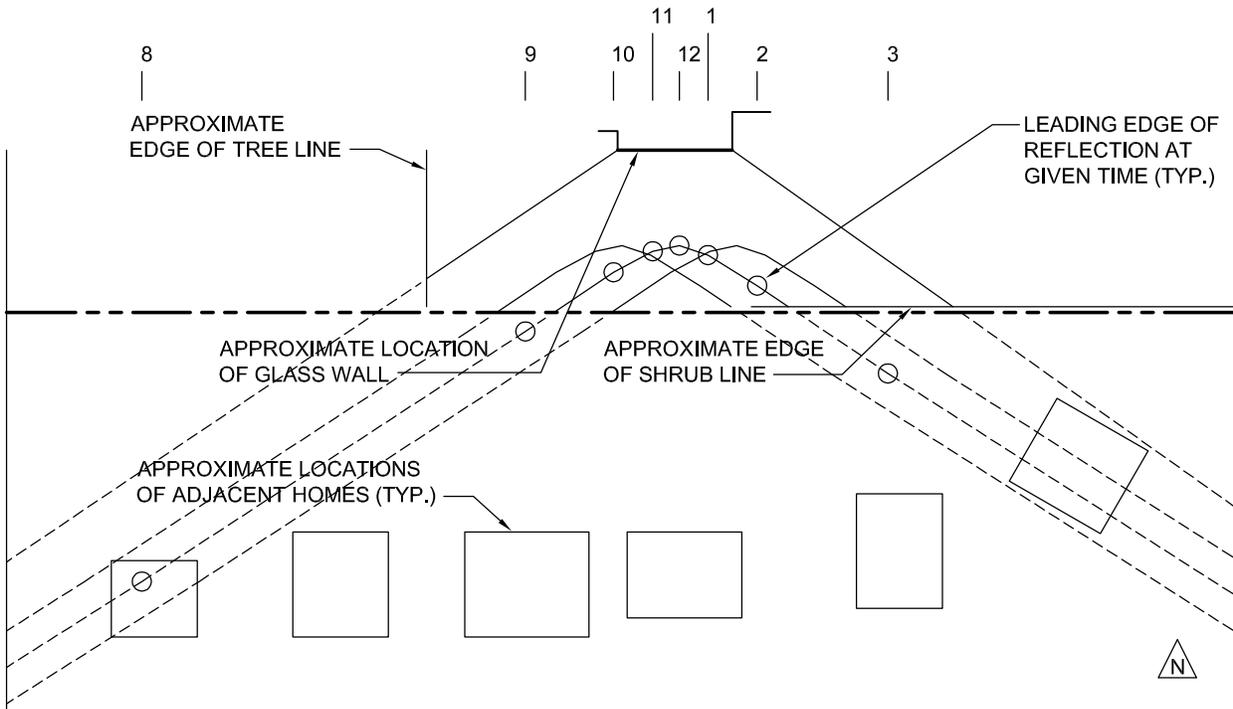
**LINCOLNSHIRE - PRAIRIE VIEW SCHOOL DISTRICT 103
 SPRAGUE SCHOOL ADDITION SUN STUDY
 SEPTEMBER 21 (MARCH SIMILAR)**



**LINCOLNSHIRE - PRAIRIE VIEW SCHOOL DISTRICT 103
 SPRAGUE SCHOOL ADDITION SUN STUDY
 OCTOBER 21 (FEBRUARY SIMILAR)**



**LINCOLNSHIRE - PRAIRIE VIEW SCHOOL DISTRICT 103
 SPRAGUE SCHOOL ADDITION SUN STUDY
 NOVEMBER 21 (JANUARY SIMILAR)**



**LINCOLNSHIRE - PRAIRIE VIEW SCHOOL DISTRICT 103
 SPRAGUE SCHOOL ADDITION SUN STUDY
 DECEMBER 21**

Aesthetic Description

Solarban[®] 70XL glass is a revolutionary new Solar Control Low-E glass that brilliantly combines the clear appearance of transparent, color-neutral glass with an unprecedented combination of solar control and visible light transmittance.

With the introduction of **Solarban 70XL** Magnetic Sputter Vacuum Deposition (MSVD) coated glass, PPG has expanded the universe of design possibilities in two important ways. First, this product allows architects to incorporate vast areas of vision glass into a building's design without a requisite expansion of its cooling capabilities. Second, architects can now specify a clear aesthetic while achieving solar control performance that was previously attainable only through the use of tinted glass and a Solar Control Low-E coating in an insulating glass unit.

Performance Options

When coupled with conventional clear glass in a one-inch insulating glass unit, **Solarban 70XL** surpasses, by far, the performance of any other Solar Control Low-E glass on the market today.

- Solar Heat Gain Coefficient (SHGC): 0.27
- Visible Light Transmittance (VLT): 64%
- Light to Solar Gain (LSG) ratio: 2.37

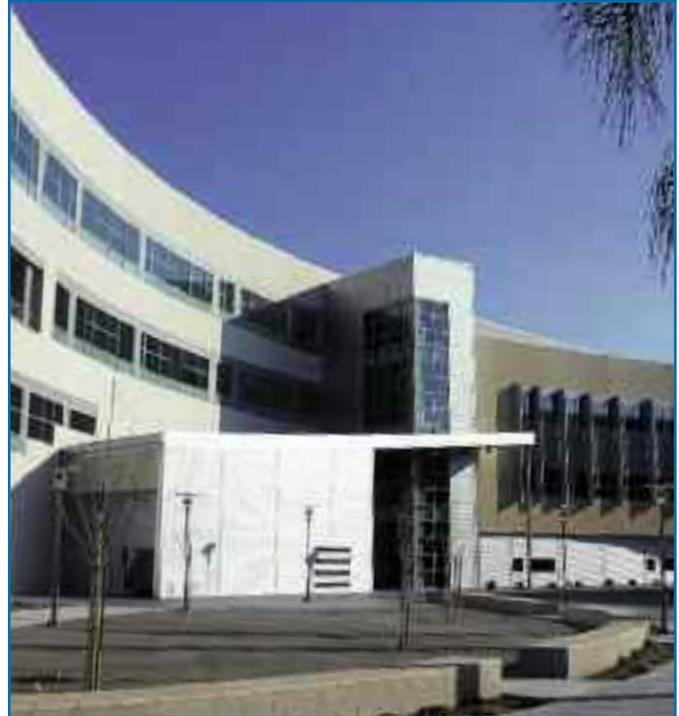
For architects who desire a tinted glass aesthetic and enhanced solar control, **Solarban 70XL** glass can be combined in an insulating glass unit with any tinted glass from PPG, including the four tints from the **Oceans of Color[®]** collection of ocean inspired tinted glasses, as well as any PPG performance or high-performance earth-toned tint.

Lower Upfront Equipment Costs. Long-Term Energy Savings.

While architects will appreciate **Solarban 70XL** sputter coated glass for its aesthetic qualities, their clients and building owners will truly value the energy-related cost savings it provides. According to a recent study by an independent energy and environmental research firm, **Solarban 70XL** glass has the potential to reduce annual energy costs by 5 percent or more in comparison with leading Solar Control Low-E coated glasses.

The greatest benefit of specifying this glass may be realized before the building is even occupied. Thanks to the unequalled solar control characteristics of **Solarban 70XL** glass, architects can specify smaller HVAC systems for buildings glazed with this product, potentially reducing the associated upfront capital investment by as much as \$124,000.

As a result, architects and building owners who specify **Solarban 70XL** glass instead of other Solar Control Low-E coated glass products may have their investment repaid in a matter of months.



*The College of Business Administration at California State University's San Marcos campus features **Solarban 70XL** glass, a revolutionary Solar Control Low-E coated glass that offers an unprecedented combination of visible light transmittance and solar control characteristics in a clear, color-neutral glass.*
Architect: A.C. Martin Partners, Los Angeles
Glass Fabricator: Oldcastle BuildingEnvelope[™]
Glazing Contractor: Division 8, Inc.
CSUSM photo by George Cagala

Eight-Story Office Building, Window Wall

City	Annual Operating Expenses		Annual Savings	Total HVAC Equipment Cost		Immediate Equipment Savings	1st Year Savings
	SB60	SB70XL		SB60	SB70XL		
Atlanta	\$622,492	\$586,400	\$36,092	\$1,267,770	\$1,146,495	\$121,275	\$157,367
Boston	\$764,793	\$729,696	\$35,097	\$1,251,705	\$1,136,450	\$115,255	\$150,352
Chicago	\$370,681	\$352,779	\$17,902	\$1,252,297	\$1,137,731	\$114,566	\$132,468
Denver	\$397,799	\$375,521	\$22,278	\$1,292,788	\$1,168,451	\$124,337	\$146,615
Houston	\$761,534	\$718,618	\$42,916	\$1,253,879	\$1,140,825	\$113,054	\$155,970
Los Angeles	\$623,649	\$582,454	\$41,195	\$1,263,556	\$1,144,014	\$119,542	\$160,737
Mexico City	\$707,060	\$668,434	\$38,626	\$1,278,536	\$1,154,115	\$124,421	\$163,047
Ottawa	\$431,308	\$412,595	\$18,713	\$1,247,862	\$1,133,965	\$113,897	\$132,610
Philadelphia	\$378,447	\$365,425	\$13,022	\$1,249,329	\$1,132,635	\$116,694	\$129,716
Phoenix	\$394,492	\$374,898	\$19,594	\$1,256,077	\$1,140,972	\$115,105	\$134,699
St. Louis	\$310,660	\$294,417	\$16,243	\$1,274,889	\$1,156,292	\$118,597	\$134,840
Seattle	\$299,472	\$284,629	\$14,843	\$1,237,408	\$1,125,334	\$112,074	\$126,917

Total Glass Area: 56,640 ft²

*The chart above is taken from a study conducted by an independent energy and environmental research firm. It shows that **Solarban 70XL** glass can dramatically reduce costs for cooling equipment while generating significant savings on annual cooling costs when compared with other industry-leading high-performance glasses such as **Solarban 60** Solar Control Low-E Glass.*



Fabrication and Availability

Solarban 70XL glass is available through more than 60 locations of the PPG Certified Fabricator Network. PPG Certified Fabricators can meet tight construction deadlines and accelerate the delivery of replacement glass before, during and after construction. **Solarban** 70XL glass, manufactured utilizing the MSVD sputter-coating process, is available for annealed, heat strengthened and tempered applications.



More Information

PPG has published a paper detailing the results of a comprehensive energy simulation study of **Solarban** 70XL coated glass in 12 major North American cities. To order

a copy of *Immediate and Long-Term Economic Advantages of Specifying Solarban® 70XL Solar Control Low E-Glass*, call 1-888-PPG-IDEA (774-4332), call your local PPG Architectural Glass representative or visit www.ppgideascales.com.

Additional Resources

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PPG IdeaScapes.™ Integrated products, people and services to inspire your design and color vision.

Solarban® 70XL Glass Performance — Commercial Insulating Glass Unit

Insulating Vision Unit Performance Comparisons 1-inch (25mm) units with 1/2-inch (13mm) airspace and two 1/4-inch (6mm) lites; interior lite clear unless otherwise noted											
Glass Type	Transmittance			Reflectance		U-Value (Imperial)		European U-Value	Shading Coefficient	Solar Heat Gain Coefficient	Light to Solar Gain (LSG)
	Ultra-violet %	Visible %	Total Solar Energy %	Visible Light %	Total Solar Energy %	Winter Night-time	Summer Day-time				
Coated											
SOLARBAN® 70XL Solar Control Low-E Glass											
SOLARBAN 70XL (2)* + Clear	6	64	25	12	52	0.28	0.26	1.50	0.32	0.27	2.37
SOLEXIA + SOLARBAN 70XL (3)*	3	56	20	11	13	0.28	0.26	1.50	0.37	0.32	1.74
ATLANTICA + SOLARBAN 70XL (3)*	2	49	17	10	8	0.28	0.26	1.50	0.32	0.28	1.74
CARIBIA + SOLARBAN 70XL (3)*	2	49	17	9	8	0.28	0.26	1.50	0.32	0.28	1.75
AZURIA + SOLARBAN 70XL (3)*	4	49	17	10	8	0.28	0.26	1.50	0.33	0.29	1.70
PACIFICA + SOLARBAN 70XL (3)*	2	31	12	6	7	0.28	0.26	1.50	0.26	0.22	1.38
SOLARBLUE + SOLARBAN 70XL (3)*	3	41	16	8	16	0.28	0.26	1.50	0.32	0.27	1.48
SOLARBRONZE + SOLARBAN 70XL (3)*	3	38	15	8	20	0.28	0.26	1.50	0.30	0.26	1.48
SOLARGRAY + SOLARBAN 70XL (3)*	2	32	13	7	15	0.28	0.26	1.50	0.27	0.24	1.34
OPTIGRAY23 + SOLARBAN 70XL (3)*	1	17	7	5	7	0.28	0.26	1.50	0.19	0.16	1.04
GRAYLITE + SOLARBAN 70XL (3)*	1	10	5	5	11	0.28	0.26	1.50	0.16	0.14	0.71
VISTACOOL™ and SOLARCOOL® with SOLARBAN® 70XL Solar Control Low-E (3)*											
VISTACOOL (2) AZURIA + Low-E	4	38	14	21	12	0.28	0.26	1.50	0.27	0.24	1.59
VISTACOOL (2) PACIFICA + Low-E	1	24	9	11	9	0.28	0.26	1.50	0.22	0.19	1.24
VISTACOOL (2) CARIBIA + Low-E	2	38	13	20	11	0.28	0.26	1.50	0.27	0.23	1.65
VISTACOOL (2) SOLARGRAY + Low-E	2	25	10	11	17	0.28	0.26	1.50	0.23	0.20	1.24
SOLARCOOL (2) SOLEXIA + Low-E	1	22	8	24	16	0.28	0.26	1.50	0.20	0.17	1.28
SOLARCOOL (2) CARIBIA + Low-E	1	19	6	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) AZURIA + Low-E	1	19	7	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) PACIFICA + Low-E	1	12	4	10	8	0.28	0.26	1.50	0.15	0.13	0.89
SOLARCOOL (2) SOLARBLUE + Low-E	1	16	6	14	16	0.28	0.26	1.50	0.18	0.15	1.03
SOLARCOOL (2) SOLARBRONZE + Low-E	1	15	6	14	19	0.28	0.26	1.50	0.17	0.15	1.01
SOLARCOOL (2) SOLARGRAY + Low-E	1	13	5	11	15	0.28	0.26	1.50	0.16	0.14	0.89
SOLARCOOL (2) GRAYLITE + Low-E	<1	3	1	5	5	0.28	0.26	1.50	0.11	0.09	0.27

*Solarban 70XL for annealed applications is applied to **Starphire** glass, heat treated applications will require either clear or **Starphire** glass depending on manufacturing process.

All performance data calculated using LBNL Window 5.2 software, except European U-Value, which is calculated using WinDat version 3.0.1 software. For detailed information on the methodologies used to calculate the aesthetic and performance values in this table, please visit www.ppgideascales.com or request our Architectural Glass Catalog.

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Village of Lincolnshire
Village Board Submittal Packet
Lincolnshire – Prairie View School District 103
Laura B. Sprague Elementary School

Building Materials

February 2, 2016

Building Materials

February 02, 2016

Brick Veneer



Manufacturer: To be determined

Product: To be determined

Description: Brick veneer to match existing brick

Color: Orange and tan blend

Aluminum Window System



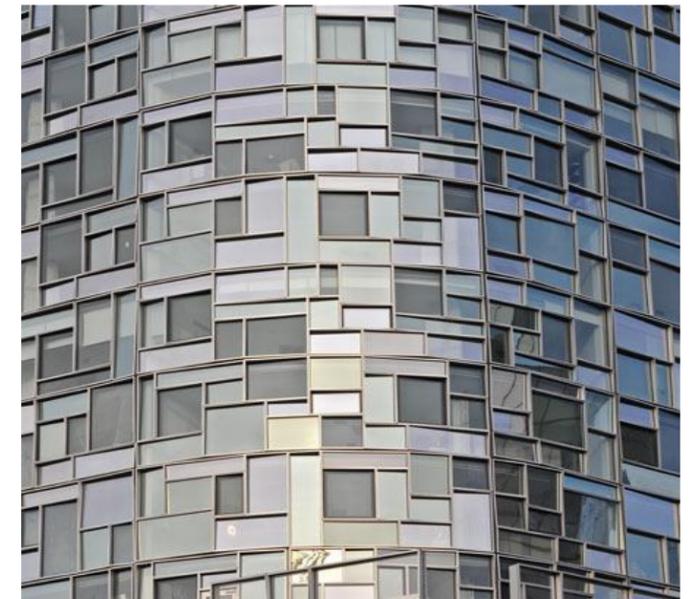
Manufacturer: Kawneer

Product: 1600 Wall System 1

Description: Frames to be dark bronze anodized aluminum

Color: Dark Bronze

Glazing



Manufacturer: Old Castle, Guardian

Product: Solarban 70XL (clear and spandrel), Sunguard AG 43

Description: 1" insulated glass unit with Low-E. Spandrel panels warm gray frit on glass surface #4. Tinted panels crystalgray.

Color: Clear vision glass, warm gray spandrel glass, crystal gray tinted glass

1600 Wall System®1 / System®2

Imposing Statements –
Used Together
Or Independently



Knight Oil Tools Corporate Facility, Lafayette, LA
Architect: Donald J. Breaux Architect, Lafayette, LA
Glazing Contractor: Advantage Glass & Mirror, New Iberia, LA, with
installation assistance from DeGeorge Glass Company, Inc., Metairie, LA

Building on the proven success of Kawneer's 1600 Wall System® which set the standards for curtain wall engineering, 1600 Wall System®1 and 1600 Wall System®2 provide reliability with versatile features. Both are stick-fabricated, pressure glazed curtain walls for low-to-mid-rise applications and are designed to be used independently or as an integrated system to provide visual impact for almost any type of building.

- 1600 Wall System®1 is an outside glazed, captured curtain wall
- 1600 Wall System®2 is a Structural Silicone Glazed (SSG) curtain wall

Aesthetics

Even the smallest details of 1600 System®1/1600 Wall System®2 reflect the aesthetics and reliability that derive from Kawneer's precise engineering and experience. The joinery for both systems is accomplished with concealed fasteners to create unbroken lines and a monolithic appearance. When using optional, open back horizontal mullions, the fillers snap at the edge, producing an uninterrupted sight line.

Performance

Key aspects of 1600 System®1 and 1600 Wall System®2 are enhanced for higher performance. Pressure equalization has been designed into the system and all components are silicone compatible to provide superior longevity. For installations where severe weather conditions are prevalent, 1600 Wall System®1 has been large missile hurricane impact and cycle tested. Proven through years of high performance, both systems are tested according to industry standards:

Air Performance	ASTM E-283
Static Water Penetration	ASTM E-331
Dynamic Water Penetration	AAMA 501.1
Structural Performance	ASTM E-330
"U" Value, CRF	AAMA 1503.1
Sound Transmission Rating	ASTM E 90-90
Seismic Performance	AAMA 501.4

For the Finishing Touch

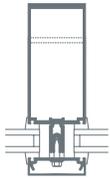
Permadonic Anodized finishes are available in Class I and Class II in seven different colors.

Painted Finishes, including fluoropolymer that meet or exceed AAMA 2605, are offered in many standard choices and an unlimited number of specially-designed colors.

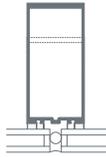
Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.



Hunter Henry Center at Mississippi State University,
Mississippi State, MS
Architect: Foil Wyatt Architects & Planners, P.A., Jackson, MS
Glazing Contractor: American Glass Company, Inc., Columbus, MS



1600 Wall System®1



1600 Wall System®2

1600 Wall System®1/1600 Wall System®2:

- for reliability
- for performance
- for versatility
- for a smooth, monolithic appearance
- for uninterrupted sight lines

Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770 . 449 . 5555

 **KAWNEER**
AN ALCOA COMPANY



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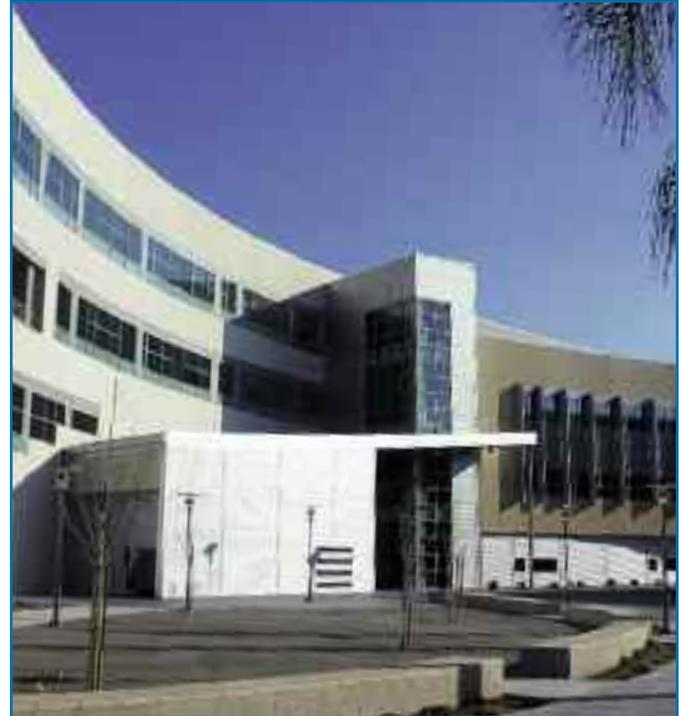
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	Ultra-violet %	Visible %	Total Solar Energy %	Visible Light %	Total Solar Energy %	Winter Night-time	Summer Day-time				
Coated											
SOLARBAN® 70XL Solar Control Low-E Glass											
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SOLEXIA + SOLARBAN 70XL (3)*	3	56	20	11	13	0.28	0.26	1.50	0.37	0.32	1.74
ATLANTICA + SOLARBAN 70XL (3)*	2	49	17	10	8	0.28	0.26	1.50	0.32	0.28	1.74
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AZURIA + SOLARBAN 70XL (3)*	4	49	17	10	8	0.28	0.26	1.50	0.33	0.29	1.70
PACIFICA + SOLARBAN 70XL (3)*	2	31	12	6	7	0.28	0.26	1.50	0.26	0.22	1.38
SOLARBLUE + SOLARBAN 70XL (3)*	3	41	16	8	16	0.28	0.26	1.50	0.32	0.27	1.48
SOLARBRONZE + SOLARBAN 70XL (3)*	3	38	15	8	20	0.28	0.26	1.50	0.30	0.26	1.48
SOLARGRAY + SOLARBAN 70XL (3)*	2	32	13	7	15	0.28	0.26	1.50	0.27	0.24	1.34
OPTIGRAY23 + SOLARBAN 70XL (3)*	1	17	7	5	7	0.28	0.26	1.50	0.19	0.16	1.04
GRAYLITE + SOLARBAN 70XL (3)*	1	10	5	5	11	0.28	0.26	1.50	0.16	0.14	0.71
VISTACOOL™ and SOLARCOOL® with SOLARBAN® 70XL Solar Control Low-E (3)*											
VISTACOOL (2) AZURIA + Low-E	4	38	14	21	12	0.28	0.26	1.50	0.27	0.24	1.59
VISTACOOL (2) PACIFICA + Low-E	1	24	9	11	9	0.28	0.26	1.50	0.22	0.19	1.24
VISTACOOL (2) CARIBIA + Low-E	2	38	13	20	11	0.28	0.26	1.50	0.27	0.23	1.65
VISTACOOL (2) SOLARGRAY + Low-E	2	25	10	11	17	0.28	0.26	1.50	0.23	0.20	1.24
SOLARCOOL (2) SOLEXIA + Low-E	1	22	8	24	16	0.28	0.26	1.50	0.20	0.17	1.28
SOLARCOOL (2) CARIBIA + Low-E	1	19	6	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) AZURIA + Low-E	1	19	7	19	10	0.28	0.26	1.50	0.18	0.15	1.27
SOLARCOOL (2) PACIFICA + Low-E	1	12	4	10	8	0.28	0.26	1.50	0.15	0.13	0.89
SOLARCOOL (2) SOLARBLUE + Low-E	1	16	6	14	16	0.28	0.26	1.50	0.18	0.15	1.03
SOLARCOOL (2) SOLARBRONZE + Low-E	1	15	6	14	19	0.28	0.26	1.50	0.17	0.15	1.01
SOLARCOOL (2) SOLARGRAY + Low-E	1	13	5	11	15	0.28	0.26	1.50	0.16	0.14	0.89
SOLARCOOL (2) GRAYLITE + Low-E	<1	3	1	5	5	0.28	0.26	1.50	0.11	0.09	0.27

*Solarban 70XL for annealed applications is applied to **Starphire** glass, heat treated applications will require either clear or **Starphire** glass depending on manufacturing process.

All performance data calculated using LBNL Window 5.2 software, except European U-Value, which is calculated using WinDat version 3.0.1 software. For detailed information on the methodologies used to calculate the aesthetic and performance values in this table, please visit www.ppgideascales.com or request our Architectural Glass Catalog.

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7097 09/10 20M



SunGuard Coating:	AG 43 (#2)
SunGuard Product Series:	High Performance Low-E
Outboard Substrate:	CrystalGray
Inboard Substrate:	Clear
Exterior Appearance:	Silver Gray

Performance Values:

Visible Light Transmission %:	30
UV Transmission %:	14
Solar Energy Transmission %:	18
Visible Light Out Reflectivity %:	17
Visible Light In Reflectivity %:	14
Solar Energy Reflectivity %:	18
U-Value Winter Nighttime:	0.30
U-Value Summer Daytime:	0.29
Relative Heat Gain:	60
Shading Coefficient:	0.28
Solar Heat Gain Coefficient:	0.25
Light-to-Solar Gain:	1.23

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EXPOSED FASTENER PANELS

Exposed Fastener panels provide ultimate flexibility with panels that can be used as exterior or interior walls, roofs or soffits.



MR3-36



Kennedy Space Center
Titusville, FL
BRPH

FEATURES & BENEFITS

- Extremely versatile panels can be used as exterior or interior walls, roofs and soffits
- Ribs can be run either horizontally* or vertically
- May be installed to meet many levels of thermal protection
- Excellent negative wind load properties
- All-weather installation capability minimizes delays; permits fast-track scheduling
- Panels are available in stucco-embossed or smooth finishes

DESCRIPTION

SUBSTRATES

- Standard 24*-18 gage G90 Galvanized Steel
- Aluminum or stainless steel—optional
- Smooth or embossed surface textures

*24 gage only available in certain profiles.
Consult CENTRIA.

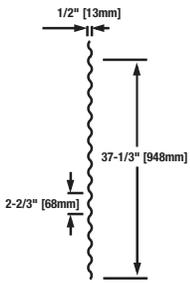
EXPOSED FASTENER PROFILES

- Horizontal or vertical wall installation
- Wall and roof installation
- Lengths up to 40' [12.19m] for steel panels
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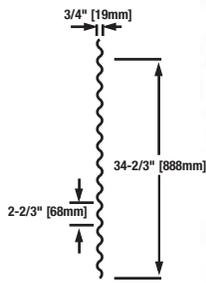
COATINGS & COLORS

Available in a wide range of coil coated colors and finishes. See charts on pages 45-49

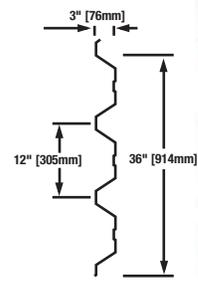
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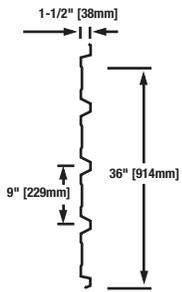
ECONOLAP 3/4"



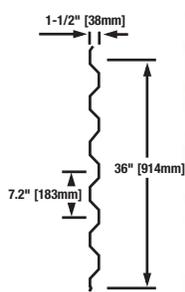
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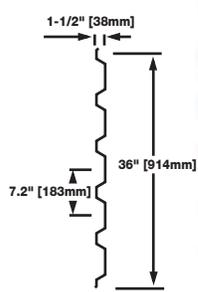
TR4-36



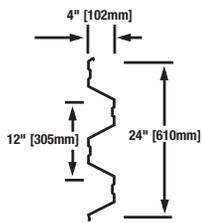
STYLE-RIB



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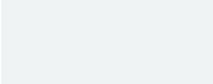
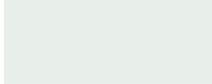
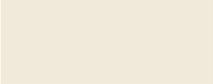
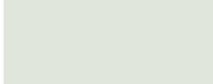
SUPER-RIB



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COLORS

PRISMATIC™ SERIES COLORS—FLUOROFINISH, DURAGARD AND DURAGARD PLUS

				
179 Regal White	996 Crushed Ice	993 Off-White †	995 Cambridge White	310 Bone White
				
994 Colonial White	5012 Marble	992 Lee Ivory †	133 Sandstone	1760 Limestone †
				
142 Surrey Beige †	9910 Light Seawolf †	9911 Pebble	997 Prism Yellow	5444 Aged Copper
				
977 Moss	9933 Cypress Olive	978 Hunter Green	183 Evergreen	9932 Hartford Green
				
177 Slate Blue	9926 Arabian Blue	974 Teal Blue	9928 Cherokee Blue	200 Deep Blue Sea
			<p>Unless specified otherwise, CENTRIA will provide a standard backer coat on the reverse side of single skin panels. Color may vary.</p> <p>Polyester Arctic Ice is the standard finish offering for the interior surfaces of foam panels. Other finishes available upon request.</p> <p>† Standard Duracast finish color. Consult CENTRIA for custom colors.</p> <p>Colors shown are for preliminary selection only. Printed colors can vary from actual painted material.</p> <p>Contact CENTRIA for painted metal samples before final selection.</p> <p>NOTE: Because of the differences in the formulation and application properties of spray-applied coatings versus coil coatings, a slight color variation is likely to occur when matching coatings of these different types..</p>	
9930 Night Horizon	9923 Granite	971 Chromium Gray		
				
9917 Light Gray †	9918 Dove Gray †	9919 Fashion Gray		
				
181 Slate Gray †	9922 Steel Gray	9921 Charcoal Gray		
				
9914 Midnight Bronze	154 Dark Bronze	9916 Rich Black		
				
9912 Sage Brown	1243 Mocha	9937 Mauve		
				
156 Colonial Red	999 Aspen Gold	5913 Polyester Arctic Ice Interior Use Only		



UNAPPROVED Minutes of the **SPECIAL MEETING OF THE ZONING BOARD** held on Tuesday, January 26, 2016, in the Public Meeting Room in the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chairman Manion, Members Bichkoff, Kalina, Van de Kerckhove and Trustee Liaison McDonough (until 7:30 P.M.)

STAFF PRESENT: Steve McNellis, Community & Economic Development Director

ABSENT: Member Brady.

CALL TO ORDER: **Chairman Manion** called the meeting to order at 7:01 P.M.

1.0 ROLL CALL

The roll was called by **Community & Economic Development Director McNellis** and **Chairman Manion** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes related to the Regular Zoning Board Meeting held on Tuesday, January 12, 2016.

Chairman Manion stated he understood the minutes were not available at this time. **Director McNellis** answered affirmatively and noted that given the short turnaround, it is rare Staff can get minutes from these types of meetings to you right away. They will be available in February.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Continued **PUBLIC HEARING** regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 24,500 square foot building addition for Half Day school, 239 Olde Half Day Road (Lincolnshire-Prairie View School District 103)

3.2 Continued **PUBLIC HEARING** regarding a request to rezone a public school parking lot from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for Half Day school, 239 Olde Half Day Road (Lincolnshire-Prairie View School District 103)

Chairman Manion recessed the Zoning Board meeting and reconvened the Public Hearings. **Director McNellis** reminded the audience that the Public Hearings on these issues began on January 12th and were continued to this evening. He then went on to recap the Staff report on the Half Day School project, including a summary of the four recommendations the Zoning Board had discussed at the January 12th meeting, knowing there would be further discussion this evening.

Mr. David Gassen of Wight & Company, Architects, was sworn in and noted the several members of the design team and School District representatives also present. He presented the aspects of the project related to the Special Use and Rezoning requests. He also noted he would like to comment on the chainlink fence, as that was brought up by Staff. Mr. Gassen noted there was discussion at the last meeting about fence removal around the detention pond and Staff asked that any replacement fencing be ornamental solid wood fence to comply with Village Code. He stated the fence is there primarily to protect balls from rolling into the ditch along Rt. 22. However, there's already a large berm on the southern part of the site. Since the detention pond will now make part of the south property line inaccessible to students, the District determined replacement of the fence isn't necessary. So, it is no longer proposed to be replaced.

Chairman Manion asked if anyone has questions for Dave, to which the Zoning Board responded No. He then asked if anyone from the Public would like to speak, to which there was no response. He then closed the Public Hearing and reconvened the Zoning Board. There were no further comments from the Zoning Board. **Chairman Manion** then asked Trustee Liaison McDonough if he had any comments, to which he responded he had nothing to add.

There being no further comments, **Chairman Manion** sought a motion from the Zoning Board.

3.1- Member Bichkoff moved and Member Kalina seconded a motion that having made findings based on facts covered in a Public Hearing held on January 12, 2016 and continued to January 26, 2016, the Zoning Board recommends approval to the Village Board of a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 24,500 square foot building addition, for Half Day school located at 239 Olde Half Day Road, based on the facts in the Petitioner's Presentation Packet, dated January 8, 2016, including Staff recommendations detailed in a memorandum dated January 26, 2016, as follows:

- 1. New "Drop-off/Pick-Up Entrance" sign be added at the west driveway access to the site.*
- 2. School District 103 work with the Village Board and Village Staff to coordinate approvals for a crosswalk across Olde Half Day Road at a mutually-agreeable location.*
- 3. The proposed detention basin location, size and proposed planting plan be approved by Lake County Stormwater Management Commission (SMC).*
- 4. Approval of the seven requested Zoning Exceptions (detailed in the memorandum)*

The motion passed unanimously by voice vote.

3.2 – Member Bichkoff moved and Member Van de Kerckhove seconded a motion that having made findings based on facts covered in a Public Hearing held on January 12, 2016 and continued to January 26, 2016, the Zoning Board recommends approval to the Village Board of a Rezoning from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for a school parking lot at the northwest corner of Half Day School located at 239 Olde Half Day Road, based on the facts in the Petitioner's Presentation Packet, dated January 8, 2016, as presented in Staff memoranda dated January 12 and January 26, of 2016.

The motion passed unanimously by voice vote.

- 3.3 Continued **PUBLIC HEARING** regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 14,000 square foot building addition for Laura B. Sprague elementary school, 2425 Riverwoods Road (Lincolnshire-Prairie View School District 103)

Chairman Manion recessed the Zoning Board meeting and reconvened the Public Hearing. **Director McNellis** recapped the Staff report regarding the Special Use for both the addition and entire property for Sprague Elementary School. At the January 12th meeting, two recommendations were made, which are detailed in an attachment provided to the Zoning Board. The first recommendation relates to approval of the six zoning exceptions, which are primarily existing conditions. The second recommendation relates to the ARB review and consideration of additional evergreen trees along the south property line to protect adjacent residential properties from sun glare.. the ARB did review this and recommended a change in evergreen plantings along the south façade of the building, immediately adjacent to the building. The ARB did not recommend additional plantings along the south property line. Since that time, Staff has received two e-mails that are in the Zoning Board packet.

Mr. Gassen presented the site and design plans for the property and shared a revised Landscape Plan, with new evergreen material per the ARB recommendation. He also presented the Sun Study again, noting that the reflected light would be visible to the residences only in winter and only for an hour or less at the end of the day. He also reiterated the glass being used is not highly reflective, and a very low fraction of the site would be reflective.

Chairman Manion inquired if anyone had any questions, to which the Zoning Board and Trustee Liaison McDonough answered No. Chairman Manion then opened the floor up to the public for comment.

Dan Servi, 7 Cornell Drive, was sworn in. He noted he is here as a resident adjacent to the property and as a Village Trustee. He stated some of his neighbors had questions and concerns but didn't want to be in the spotlight. He further noted he did send an e-mail requesting a way to reduce the noise from the site. He noted he believes regardless of noise, a fence would be something the School District would want for security, especially given some recent Police action in the area. He stated his other concern is traffic. While he understands there are no current plans to increase the number of students at this school, they are adding eight classrooms and the District could decide in the future to move a grade back. So, he believes the Zoning Board should consider a stipulation where if the number of enrollees is planned to increase over some small percentage, a Traffic Impact Study should be required.

Mr. Derek Gilna, 19 Kings Cross, was sworn in. He noted he has lived across from Sprague Elementary School since the early 1980's, and Sprague has grown from a small school, almost doubling in size. Over the last several years, he's noticed a disturbing trend where the functions of the school have become burdensome to those in the area. He believes this is an unnecessary intrusion to the residential character of the neighborhood. He stated the School Board rep. had kindly contacted him that day, and he noted his other concern is he doesn't feel Sprague has been a good neighbor. He further noted there was a comment in the Staff memo about a drainage study, and he

wonders who knows about it. He asked about the impact of noise and if any study had been done on environmental impacts. He further noted he would ask the Zoning Board to look at it from the residents point-of-view, as they're saying don't change the footprint so drastically and alter the character of the neighborhood. Finally, he stated the Zoning Board should keep in mind that respectfully, we oppose this project.

Member Kalina asked Mr. Gilna about his assertion that Sprague has not been a good neighbor and whether or not he could cite any examples. **Mr. Gilna** responded that every time there's construction, they impact the roadways. He wondered if anyone had looked at the impact of construction on the neighborhood. He cited lighting being a problem, as well as the early morning dumping of a trash enclosure, parking issues and trash in his yard from the school. Finally, he stated this addition will take away whatever remains of the western views he has, and he doesn't believe the site supports a building of this size. **Member Van de Kerckhove** wondered how the addition could affect Mr. Gilna, given his location in relation to the addition. Mr. Gilna reiterated he would lose a large percentage of his western view.

Mr. Bill Axelson, 13 Cornell, was sworn in. He referred to the Staff memo comment that the proposed zoning exceptions had been in place for nearly 50 years without complaint and stated he disagrees. He noted he was before the Village Board ten years ago about drainage issues and it was the Village that ultimately installed a new storm sewer main in his backyard to help him. He further noted the lights there along the perimeter are unacceptable for a neighborhood and on at all times. He also mentioned an open dumpster on the property for two years and fears that an expansion will only make all these problems worse. He wondered if the lights and drainage could be addressed.

Member Kalina asked if more lights had been added in the last couple of years, to which Mr. Axelson responded affirmatively. **Director McNellis** noted that schools are a unique entity in how they are reviewed for building permits and projects. The Village is not involved in many of the issues discussed, because the State reviews some of those matters. He also noted the Zoning Exceptions Mr. Axelson referenced are not the same as the ones detailed in the Staff memo. The Zoning Board is only looking at exceptions to the Zoning Code. The Village's involvement in building this project will be somewhat limited to the site grading. However, we do have an ability to enforce other Village Codes. Staff's expectations are that we will work with the School District and their contractor to discuss Village regulations and the consequences if they're not followed. As far as the trash enclosure, we can look into it, but its unclear as to our authority versus the State.

Mr. Axelson asked why a construction entrance off Riverwoods Road isn't being considered. **Director McNellis** noted no one had said it isn't being considered. It's not in the purview of the Zoning Board to determine construction roads and for most projects that is not decided until later when construction documents are under review for a permit. Staff's expectation is we would work with the School District on this. **Chairman Manion** noted issues mentioned at this meeting are pertinent but many are best discussed with the school.

Ms. Kathy Bedward, 21 Kings Cross, was sworn in. She noted she and her husband are opposed to the addition, mostly because they believe its not necessary and construction would be a nightmare, with cars parked up and down the street for 7-8 months. She noted she also believes there will be drainage issues as the field is already always saturated. She noted Sprague has not been a good neighbor in the twenty years

they've lived here and their lights are bright like a "field of dreams". **Chairman Manion** noted the Zoning Board is here to look at Zoning issues and he recommends Ms. Bedward talk to the School Superintendent about these issues. Ms. Bedward inquired as to why its ok for impervious surfaces to go beyond what the Village limits? **Director McNellis** answered that impervious surface is a zoning exception up for consideration. The percentage is already over 40%, and is going up to approximately 47%. With proper drainage, that increase shouldn't be a problem. Lake County Stormwater Management Commission determines whether or not a detention pond is necessary, and in their review they have stated it isn't. As far as grading, that will be reviewed by the Village preliminarily.

Ms, Bedward asked if the Drainage Study was available, to which Director McNellis noted there is no Drainage Study, there is confirmation from lake County SMC in their review that no pond is necessary. That is all there would typically be at this point. **Director McNellis** further stated he had not heard of the drainage issues brought up tonight and wondered if that information had ever been presented to the Village. He further noted the Village Staff could certainly discuss this with the School District. **Ms> Bedward** asked if that meant the Village is going to decide on permitting more impervious surface without a Drainage Study. **Mr. Gassen** noted they had studied the drainage for the new building addition only. They're complying with everything they can and ultimately a review will be done by lake County SMC.

Mr. Gary Gordon, 29 Brunswick lane and School Board President, was sworn in. he stated that in terms of good neighbors, he hadn't heard any of tonight's complaints before. He further stated the Superintendent is in the audience tonight and that he and the Superintendent would be glad to provide any resident their contact information and respond to any questions. He noted they take the resident's issues seriously. As to parking during construction during the school year, he noted the District had reached out to the Swim Club, who are receptive to permitting construction traffic to stage at their location.

Dr. Scott Warren, Superintendent of School District 103, was sworn in. He noted he would like to reiterate they're trying to be good neighbors and that they'll sit down with anyone and go through the plans. He also noted the District would be glad to talk about how they can minimize construction impacts.

Mr. Tom Caldwell, 12 Buckingham, was sworn in. He asked about construction hours and delivery hours and how they can be enforced, performance guarantees, and will there be continued access to the Riverwoods Road bike path during construction. He also inquired if the playground would be accessible in the Summer. He noted he is concerned that landscaping proposed won't be enough to stop disruptive glare at his home and requested there be landscape screening at the property line, as the ARB requested. **Director McNellis** noted there may be some confusion about the ARB's recommendation, which was only to change plant material immediately adjacent to the building.

Mr. Caldwell also noted he is concerned about overflow parking at the 3:30 pick-up. Can cars turnaround with the new site plan, as they currently do? **Director McNellis** stated there would be a turnaround space available at the small loading area on the south side of the new building addition. He further stated that as for performance guarantees, that's between the State, the School Board and the residents. **Chairman**

Manion noted the Zoning Board wants to leave latitude, as they recognize people have real concerns.

Ms. Bedward noted that with a prior construction project at Sprague, construction started early, she called the Police and was told there was nothing the Village could do. **Director McNellis** stated that in speaking with the Village Attorney, he stated Village Ordinances can be applied and the Village can enforce this.

Chairman Manion closed the Public Hearing, hearing no further comments, and reconvened the Zoning Board meeting.

Member Van de Kerckhove noted there are a number of issues, many of which aren't zoning-based, but are governed by Village Ordinances. He stated there was not much the Zoning Board could do on those issues. **Director McNellis** stated he would not necessarily agree with that statement, as there are certain areas the Zoning Board has purview. **Member Bichkoff** noted many or most of the Zoning Exceptions are existing conditions, and he hoped the residents can connect with the School District on their concerns.

Mr. Servi noted that as far as protocol, he wanted to note the Zoning Board is a recommending body, so there's always another opportunity to express these concerns in front of the Village Board, to which Director McNellis agreed and stated the final determination is with the Village Board. He also provided the contractor construction hours, as detailed in the Village Code.

Member Kalina noted he feels bad for residents with genuine concerns, but also noted the schools are an important part of the community. He further stated there is nothing here that suggests this shouldn't move forward. **Chairman Manion** noted this construction will take several months, but it looks like the building addition is approximately 22% of the overall square footage of the current building. He felt it seemed reasonable from a strict Zoning standpoint.

Member Kalina inquired if the Zoning Board should talk about the fence and stormwater study issues. **Chairman Manion** asked if the Zoning Board could add a condition that the School District should work with the residents? **Director McNellis** answered affirmatively and noted the Zoning Board can encourage that. He further noted that statement and the minutes stating the several residents who spoke reinforces the message that this is important, to which Chairman Manion and the Zoning Board agreed they'd like to have that message sent. The Zoning Board reiterated its important these two parties work together.

There being no further comments, **Chairman Manion** sought a motion from the Zoning Board.

3.3 - Member Kalina moved and Member Bichkoff seconded a motion that having made findings based on facts covered in a Public Hearing held on January 12, 2016 and continued to January 26, 2016, the Zoning Board recommends approval to the Village Board of a Special Use Permit to ratify operation of a public school with zoning exceptions and including a proposed 14,000 square foot building addition, for Laura B. Sprague Elementary School located at 2425 Riverwoods Road, based on the facts in the Petitioner's Presentation Packet, dated January 8, 2016, including Staff recommendations detailed in a memorandum dated January 26, 2016, as follows: 1)

Approval of the six requested Zoning Exceptions (detailed in the memorandum), and further subject to the Village Board taking into consideration all of the potential issues and the School District working with the neighbors in the surrounding area to address those other issues.

Chairman Manion requested a roll call vote:
Ayes – Manion, Bichkoff, Kalina, Van de Kerckhove
Nays – None

The Motion passed unanimously. **Chairman Manion** thanked the audience and Zoning Board for their comments. **Director McNellis** noted for the audience that this matter is currently proposed to be on the February 8th Committee of the Whole agenda, but any interested party should check the Village website on February 5th to confirm that date.

- 4.0 UNFINISHED BUSINESS (None)**
- 5.0 NEW BUSINESS (None)**
- 6.0 CITIZENS COMMENTS (None)**
- 7.0 ADJOURNMENT**

There being no further business, **Chairman Manion** sought a motion for adjournment. **Member Kalina** moved, and **Member Bichkoff** seconded the motion to adjourn. The meeting adjourned at 8:35 P.M.

Minutes submitted by Steve McNellis, Community & Economic Development Director.



UNAPPROVED Minutes of the **REGULAR MEETING OF THE ZONING BOARD** held on Tuesday, January 12, 2016, in the Public Meeting Room in the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chairman Manion, Members Bichkoff and Kalina.

STAFF PRESENT: Steve McNellis, Community & Economic Development Director

ABSENT: Members Brady, Van de Kerckhove and Trustee McDonough.

CALL TO ORDER: **Chairman Manion** called the meeting to order at 7:00 P.M.

1.0 ROLL CALL

The roll was called by **Community & Economic Development Director McNellis** and **Chairman Manion** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes related to the Rescheduled Zoning Board Meeting held on Wednesday, December 16, 2015.

Member Kalina moved and **Member Bichkoff** seconded the motion to approve the minutes of the Rescheduled Regular Meeting of the Zoning Board, as submitted. The motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS

3.1 **PUBLIC HEARING** regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 24,500 square foot building addition for Half Day school, 239 Olde Half Day Road (Lincolnshire-Prairie View School District 103)

3.2 **PUBLIC HEARING** regarding a request to rezone a public school parking lot from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for Half Day school, 239 Olde Half Day Road (Lincolnshire-Prairie View School District 103)

Director McNellis explained there are not enough Zoning Board members present this evening to vote on the matters on the agenda, however, there are enough present to open and hold the Public Hearing and hear discussion on these matters. He further noted a second Zoning Board meeting will be scheduled for January 26th, and sufficient attendance has been confirmed for a vote on these matters.

Director McNellis provided initial Staff comments regarding the background of Half Day School and the actions the Zoning Board is requested to review related to a Special Use and Rezoning. The Rezoning is more of a clean-up item to insure the entire property is in the same appropriate zoning district. He further noted the seven zoning exceptions that need to be memorialized. Finally, he noted the Findings of Fact have been

submitted and the ARB will be reviewing the design aspects of the proposal at their January 19th meeting.

Mr. David Gassen of Wight & Company, Architects, was sworn in and introduced several members of the team present at the meeting, including: Mr. Gary Gordon, School District 103 Board President, Dr. Scott Warren, School District 103 Superintendent; Mr. Dan Stanley, Chief School District 103 Business Officer; Mr. Scott Gaunky, Operations Director for the District; Ms. Leanne Meyers-Smith of Wight & Company; Mr. Don Matthews of Gewalt Hamilton Engineering firm and Mr. Dan Brinkman, also of Gewalt Hamilton Engineering.

Mr. Gassen noted that additional detention will be necessary for the Half Day School expansion. This would be primarily on the west side of the property with a small detention area on the east side. **Chairman Manion** inquired if the detention basin is mostly dry, to which Mr. Gassen responded that a small triangular portion will be wet-bottom, with approximately 6" of water on a regular basis. **Chairman Manion** then asked if the pond would be fenced, to which Mr. Gassen noted that it is not proposed to be fenced, but the architects and school believe that the wetland plantings and longer grasses on the pond side slopes will end up ultimately restricting access.

Mr. Dan Brinkman of Gewalt Hamilton Engineering was sworn in and discussed the Traffic Study he prepared. He noted it was conducted in November during morning and evening school rush hours. The Study also looked at the parking situation. He went on to discuss the existing traffic patterns for drop-off and pick-up and recommendations to change the pattern to make it more efficient.

Mr. Gassen then went on to discuss details of the overall Landscape Plan. **Chairman Manion** inquired about the proximity of the ponds to the playground areas. **Mr. Gassen** stated the eastern edge of the detention basin will be adjacent to the play area, but that isn't the wet bottom portion of the pond. The remainder of the pond will be dry, except in rain events. **Mr. Gassen** went on to discuss the details of the building addition exterior design and photometric plans.

Chairman Manion asked the Zoning Board if they had any concern about the proximity of the wet bottom detention pond to schoolchildren. **Director McNellis** noted the wet bottom portion of the pond is not near the play area, and that the assumption is that Teachers are out with the kids during play time. He also noted the native plantings in the pond that are taller would deter kids from going into the pond. **Chairman Manion** noted he thought it was helpful that the detention area wouldn't be mowed.

Chairman Manion asked if there was any Public Comment. Hearing none, he asked Staff if there were any further comments on the proposal. **Director McNellis** stated there were several comments in the Staff memo that should be noted. The first Staff comment was in regard to whether or not the parking lot dimensional requirements had been met. He noted the plans have now been updated and are in compliance with Village Codes. Secondly, he stated that Village Staff agrees with the conclusion of the Traffic Study that stacking under the proposed conditions would not be a problem.

Director McNellis went on to mention the Staff recommendation that the entrance drive on the west side of the property have a drop-off/pick-up sign installed that would help visitors discern the appropriate entryway.

Director McNellis drew the Zoning Board's attention to Gewalt-Hamilton's study and the recommendation to widen the curb cut at the east end of the property and Olde Half Day Road. He mentioned that Staff believes it would be beneficial to make that improvement now. **Mr. Brinkman** stated there is not a current problem in that location. In the holistic review taken in the Traffic Study they identified this as an improvement that you'd like to see. However, all bus drivers can currently maneuver the curb cut. **Chairman Manion** stated he believes it would be a relatively inexpensive fix. **Mr. Brinkman** noted that unfortunately there is other infrastructure in the way, including a utility pole and fire hydrant, that makes it tougher than it normally would be to accomplish. **Member Kalina** noted that it still may be time to fix it. **Member Bichkoff** countered that it sounds like a lot of work for a small fix of something that apparently seems to function ok. **Director McNellis** stated that the Zoning Board does look at circulation, so if you believe it's a problem, it is under the Zoning Board purview. However, he noted that no one is necessarily saying it's an actual problem in this case. It was his opinion that with the infrastructure there, it moves further down the priority list.

Director McNellis stated the Village and School District 103 both have a desire to work on a crosswalk for Olde Half Day Road. The solution is not yet worked out. However, since all parties find it in their best interests, Staff believes adding a stipulation that they work together to get it done would be appropriate. If everyone makes a good faith effort, it should be able to be accomplished. **Director McNellis** went on to note the necessity for a stipulation that Lake County Stormwater Management Commission (SMC) approve the project, which is a typical stipulation. **Chairman Manion** inquired if SMC takes into account the use of this property as a school. **Mr. Don Matthews of Gewalt-Hamilton Engineering** was sworn in and stated that to SMC the use doesn't matter. The review of this project will simply be based on whether or not it conforms to the Lake County Watershed development Ordinance (WDO).

Director McNellis referred to the Zoning Exceptions being requested. He noted almost all of them are understandable and most of them are ones the Zoning Board should consider permitting. The only one Staff has a concern about is the chainlink fence on the south side of the property. Part of it is proposed to be removed for the detention pond construction and Village Code wouldn't allow it to be replaced with the same material as it's a prohibited fence material. So, Staff recommends any replacement be of a material that meets Village Code and that there be a plan by the School District to remove the rest of it in the future. **Chairman Manion** asked if the fence is currently grandfathered. **Director McNellis** stated if the building addition weren't occurring, the fence could remain in perpetuity. Staff wonders if the fence is even necessary. **Mr. Gassen** stated initially they thought it may need to be reinstalled, but it may not be necessary. **Chairman Manion** asked that Mr. Gassen research this further and get back to the Zoning Board at their next meeting in two weeks. He noted he thinks this is a safety issue.

Chairman Manion once again asked if anyone from the audience had anything to say regarding these requests. There was no public comment.

Mr. Gassen requested the Findings of Fact be entered into the record. **Director McNellis** stated that since no recommendation would be forthcoming tonight, Staff wanted to know if the Zoning Board had any additional stipulations that should be considered for the next meeting. **Chairman Manion** stated that from his point-of-view curb replacement at the eastern entrance is a non-issue, to which the other Zoning

Board members agreed. He noted he is still concerned about the fence on the south side of the property by the detention pond.

The Zoning Board did not have any further questions or concerns.

Chairman Manion asked for a consensus to continue the Public Hearing to the January 26th meeting. There was a consensus and Chairman Manion reopened the Zoning Board meeting.

3.3 **PUBLIC HEARING** regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 14,000 square foot building addition for Laura B. Sprague elementary school, 2425 Riverwoods Road (Lincolnshire-Prairie View School District 103)

Chairman Manion recessed the Zoning Board meeting and opened the Public Hearing. **Director McNellis** provided Staff's remarks, including the history of the property and the necessity for a Special Use permit for the proposed addition, as well as the entire property. He also noted the zoning exceptions being requested. Further, he stated Staff received e-mails from two residents. The resident who had sent an e-mail today requested that it be presented to the Zoning Board, so Staff believes it would be appropriate for it to be read into the record, to which the Zoning Board agreed.

*"Dear Mr. McNellis,
My wife, Robin (who is copied on this e-mail), and I live at 8 Buckingham Place (in Lincolnshire) and we have owned our house there since June, 1989. Laura B. Sprague School is located directly behind our back yard, to the north. I have attached a photo of our home, as taken from the Sprague School parking lot (viewing to the south of the school), for your reference and review.*

Unfortunately, we will not be able to attend tonight's Public Hearing to consider a Special Use Permit to ratify operation of a public school with Zoning Exceptions, and including building additions to Sprague School. Accordingly, we would appreciate it if you would share this e-mail with those in attendance at tonight's Public Hearing.

We sincerely appreciate your making the Sprague School proposed building plans available for review, at the Village Hall, which we were able to do this morning.

We did not have any children when we originally bought our house, but we now have 4 kids who all had the pleasure of experiencing District 103's wonderful School system! Robin and I have been involved with all aspects of District 103, including serving as room parents, coaching lots of youth sports teams, volunteering at many school functions, and helping the 103 Learning Fund raise funds to help better the education experience in our great Community. With our youngest child now being a sophomore at Stevenson High School, we are extremely grateful and appreciative of School District 103 and we sincerely want the best for all three District 103 Schools!!

We have also enjoyed living very close to Sprague School for these past 27 years, even though it has sometimes involved cleaning up discarded trash from our back yard, children using the back of our yard as a lavatory, etc. All in all, Sprague School has been a great neighbor and we believe we have been great neighbors to Sprague School, as well.

Recently however, as the attached photos indicate, the fence on our back yard property line has been damaged in several places, due to the snow plow patterns being used for the Sprague School parking lot. In addition, we have had to look at two unsightly "SAM" storage units (located on the school's furthest southwest parking lot corner) for several years now.

In reviewing the proposed building addition plans for Sprague School this morning, arguably no home is going to be as visually impacted as our home is going to be, due to the physical location of the new addition being directly behind our back yard, to the north. Ironically, the last Sprague School Gymnasium addition (on the School's furthest west side) was done when we first moved into our home in 1989.

Due to our continuing fence damages, the "SAM" storage units, and now, the proposed 7,500 square foot, two-story addition to Sprague School (which again, is going to be located directly behind our home), we are respectfully requesting that the proposed building plans include the installation of dense/tall trees, shrubbery, landscaping, etc. along the School's southern property line, across the entire width of our backyard property line, which runs from east to west. We have not spoken to our neighbors to the east and west, but perhaps they would also like similar consideration for their respective homes.

Hopefully, this newly-installed landscaping will help protect our fence, once repaired this Spring, and it will also help buffer our sight lines from the unsightly SAM storage units and the new two-story addition to Sprague School.

Thank you sincerely for your kind consideration of our request, and naturally, we are available for further conversations regarding our request and this e-mail.

Thanks again and continued good luck and well wishes,

*Dwight and Robin Ekenberg
8 Buckingham Place
Lincolnshire, IL 60069"*

Mr. Gassen presented the overall site and building elevation design plans, as well as the sun study, noting the impacts are mainly to two homes for brief periods only in the winter. Landscape screening has been placed to minimize these impacts. Mr. Gassen also requested the Findings of Fact be entered into the record.

Mr. Derek Gilna, 19 Kings Cross, was sworn in. He noted his home is located opposite the main entry into the parking lot. He stated he and his wife had been there for many years and have been beneficiaries of the positive elements of the school, but there are some things he felt it important to bring to the Zoning Board's attention. He further noted the school predated his presence in the neighborhood, but that it was a much smaller institution then. He noted issues with trash and visual unsightliness that they have contacted the school to discuss in the past. His concern is the construction process. He noted problems with previous construction at the school and that it was very inconvenient. He stated there was no guarantee there wouldn't be construction problems again this time.

Mr. Gilna went on to suggest one recommendation, regarding a construction road. He stated that a temporary construction road from Riverwoods Road should be considered.

The other concern he had echoed was what the Ekenberg's had noted, the noise and dirt of construction. He noted that unlike Half Day School, this school is in the middle of a residential neighborhood. Finally, he noted he couldn't see any reason for this construction and the impact and burden this would place on the neighborhood.

Director McNellis stated school construction is different in that the Village is not permitted to get involved in the permitting and construction aspects. Those functions are carried out by a State Building Commission, not by the Village. However, if the streets get dirty, the Village can get them cleaned and as far as contractor hours, the Village requirements need to be followed. He further noted Staff and the Village will certainly work with the School to make sure those issues are addressed.

Mr. Tom Caldwell, 12 Buckingham, was sworn in. He stated he lives in the eastern most house affected in the Sun Study. He wondered if there have been any plans for shielding the properties. Also, he asked whether construction hours, contractor parking and hours for deliveries/garbage would be adhered to. He asked if parking in the area would be worse after construction is completed, and noted it was bad already. He stated he'd like to have some reassurances. **Director McNellis** noted that with regard to construction hours, he would suggest if contractors start before 7 A.M. weekdays residents should call the Police Department on their non-emergency line. Violation of those hours could involve fines. If residents don't call, it doesn't go on record and the Village can't do anything about it.

Mr. Gassen noted that parking would not change after the addition is completed, as no additional staff are contemplated. **Director McNellis** stated contractors cannot completely block a street. The Village can work with the School District to remind contractors this is a residential area and rules apply.

Chairman Manion inquired as to when construction will begin. **Mr. Gassen** stated it will probably begin before the school year ends and be completed by the beginning of the Fall school year. Over the Summer, there should be plenty of parking for contractors. He also added a reminder that the School District is not anticipating an increase in student population, but trying to create new space for existing space shortages at the school.

Member Kalina asked about landscape screening along the south property line to address the sunlight concerns. **Mr. Gassen** stated there is an increase in vegetation from the plan in your packet, as shown in tonight's presentation. **Member Kalina** asked if the additional screening would be on the south side of the parking lot, to which Mr. Gassen answered much of it would actually be adjacent to the south side of the building itself. He further noted there is limited space between the parking lot and the property line, which would preclude planting any trees there. So, they have attempted to locate trees as best they can. There are a cluster of evergreen trees along the south property line west of the parking lot to address the reflected light condition. On the east side, they've had to place trees closer to the building itself. He then went on to further explain the Sun Study.

Member Bichkoff asked about the concerns raised by the School District earlier in the evening regarding large trees close to the school building and the security concern of that condition. With the proposal here for large trees adjacent to the building, who's weighing-in on the conflict between safety and glare? **Director McNellis** stated that Staff primarily looked at it from the point-of-view of the glare issue, rather than a safety issue, but understand the school's concern. We need to find a middle ground.

Member Bichkoff asked if there was anything else that could be done from a materials standpoint. **Mr. Gassen** stated he was not aware of any other solutions. He further noted this problem is really limited to a very brief period at the end of the day in a short timeframe in the Winter. He acknowledged that addressing it is a challenge.

Member Bichkoff asked if there are any easements on the residential properties to the south that are preventing trees from being planted there, to which Director McNellis stated he was not aware of any. **Mr. Gassen** stated it isn't the intention of the School District to create an imposition on the property owners requiring them to modify their properties. **Director McNellis** noted that it is difficult because the property line is so close to the parking lot curb line and the grade change is difficult. He also noted an e-mail requested shrubs in that area could be added. He believes the School District is doing what they can to address this issue. He also noted this will be going to the ARB next week where it may also be addressed. Staff understands it's a concern.

Ms. Patricia Graham, 11 Cornell, was sworn in. She inquired if the school was planning on installing any new lighting. **Mr. Gassen** noted that no site lighting was being proposed at this time.

Director McNellis stated he would also read the e-mail quoted in the Staff memo. This is an e-mail from Trustee Dan Servi, who also lives on Cornell.

"I (have) concern about the potential for increased noise. Since my backyard is also adjacent to the playground on the north, I can attest that it can get noisy when the kids are out playing. The increased noise concern seems to revolve around the fact that the addition will jut out so that it is adjacent to the playground area on the south side of the playground. This could help buffer the neighbors to the south from the noise but may reflect noise to the north. My neighbor proposed a solid fence be erected along the properties adjacent to the north. Aside from the potential noise issue, I would support the fence to improve both aesthetics and security to the property. The current situation is there are multiple fence types in various states of repair and gaps between some of the fences."

Chairman Manion noted he thinks a fence on the north property line would be expensive, but may be an appropriate solution. It would have to be solid to be effective. **Director McNellis** noted that sometimes plant material is better as it has a sound-dampening effect. The other question is do all the neighbors along the north property line want a fence? **Mr. Gassen** stated existing fences are part of the residential properties, which the school didn't install. So, their condition is the responsibility of property owners. He further noted the playground is already there and won't change. Finally, he stated the School District would rather not see additional restrictions here.

Mr. Gilna stated he believes sound will be more of an issue on the south end of the site, not the north end. He stated he couldn't imagine the current noise to the north would be much different.

Ms. Ann Gilna, 19 Kings Cross, was sworn in. She stated she would like to reiterate this is like putting an office building in their community. You have to be considerate and understand residents needs. With the last school project, they were constantly calling the construction company on the hours they were working.

Mr. Gary Gordon, 29 Brunswick lane, and the District 103 School Board President, was sworn in. He began by noting the District understands the concerns. He also noted he and the Superintendent will make themselves available to address the neighbor concerns. He noted the idea of an addition came about as part of a visioning process, in which they held community meetings. The #1 comment they heard is that the use of buildings and educational requirements have changed over time and more space is needed. They considered expansion at Sprague, by possibly adding another grade, but because of the surrounding area being a residential neighborhood, they decided to put the additional grade at Half Day School. The District is using the money they have on these projects and is not going out for a referendum. So, while the District would love to do some other things here to add amenities to the building facades and landscaping, everyone should realize every dollar used on those things comes from the necessities of the building. There are no additional funding sources for this project.

Director McNellis stated the only other Staff comment is with regard to the Special use exceptions. There are two accessory structures that don't meet Village Codes; one is a storage shed, the other is a canopy. The canopy was donated by the American Cancer Society, and is permissible as a zoning exception. Staff has no issues with this. The storage shed doesn't meet Village Code in a number of ways. We were told the use of the shed is for playground equipment storage. We have also been told this needs to be located by the playground and this equipment can't be place in the new building addition.

Chairman Manion asked where the shed is located, to which Mr. Gassen responded it is in the northwest corner of the playground. **Chairman Manion** inquired if it could be moved closer to the building. **Mr. Gassen** stated it was located here to be used for the playground. He also noted the storage pods will be moved when the building addition is done.

Director McNellis inquired if the Zoning Board would like any other information provided prior to the next meeting on the 26th, to which the consensus was nothing more was needed. **Chairman Manion** noted he would like to see what the ARB has to say. **Chairman Manion** asked the Zoning Board if they would like to keep the Public Hearing open to the January 26th meeting, to which there was a consensus.

4.0 UNFINISHED BUSINESS (None)

5.0 NEW BUSINESS

Member Bichkoff inquired as to a replacement for former Member (now Trustee) Leider, to which Director McNellis noted there was no one available at this time.

6.0 CITIZENS COMMENTS (None)

7.0 ADJOURNMENT

There being no further business, **Chairman Manion** sought a motion for adjournment. **Member Kalina** moved, and **Member Bichkoff** seconded the motion to adjourn. The meeting adjourned at 8:54 P.M.

Minutes submitted by Steve McNellis, Community & Economic Development Director.

REQUEST FOR BOARD ACTION
Zoning Board
January 12, 2016

Subject:	Special Use Requests at Half Day School & Sprague Elementary School, and a rezoning from R1 to B1 for the parking lot at Half Day School
Action Requested:	<p>3.1 Public Hearing regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 24,500 square foot building addition for Half Day school, 239 Olde Half Day Road</p> <p>3.2 Public Hearing regarding a request to rezone a public school parking lot from R1 Single-Family Residence Zoning District to B1 Retail Business Zoning District for Half Day school, 239 Olde Half Day Road</p> <p>3.3 Public Hearing regarding a request for Special Use Permit to ratify operation of a public school with zoning exceptions, including a proposed 14,000 square foot building addition for Laura B. Sprague elementary school, 2425 Riverwoods Road</p>
Petitioner:	Lincolnshire – Prairie View School District 103
Originated By/Contact:	Steve McNellis, Director Department of Community & Economic Development
Advisory Board Review:	Zoning Board

Background:

- School District 103 proposes additions to Half Day School and Laura B. Sprague Elementary School, as detailed in the attached presentation packet, to respond to increased enrollment and capacity issues throughout the District.
- Both schools were constructed prior to a 1965 Village Ordinance requiring schools obtain a Special Use Permit in the B1 (Half Day School) and R3 (Sprague Elementary) Zoning Districts in which the schools are located. Neither school had the necessity to obtain a Special Use Permit until now.
- The Half Day School site has maintained school operations since the early 1800's. The school was annexed to the Village of Lincolnshire in 1972, closed in the 1980's, and subsequently modernized and reopened in 1992. Additional land annexed and added to the west side of the school property in 1996 accommodated a parking lot for the most recent building expansion. This additional land was zoned R1 at the time of annexation, but was never rezoned.
- Sprague Elementary School was constructed in 1963 on property annexed to the Village in 1959. Sprague completed building expansions in 1967, 1990 and 1994.
- School District 103 requests Village consideration for the creation of Special Use Permits for both Half Day School and Sprague Elementary to comply with Village Code requirements. The current petition contemplates creation of a Special Use Permit for both sites while also addressing consideration of the proposed additions.

Project Summary:

- The proposed 2-story building expansion at Half Day School contemplates constructing an additional 24,500 square feet and relocating an existing parking lot on the west side of the lot further west to accommodate the proposed building addition.
- The area of the parking lot remains R1 Zoning since being annexed and is proposed to be rezoned to B1 Zoning so the entire school property is one consistent zoning.
- Given the expansion in impervious area at Half Day School, Lake County Stormwater Management Commission (SMC) requires an expansion in the existing detention pond at the southwest corner of the property.
- The proposed 2-story building addition at Sprague Elementary School contemplates construction of an additional 14,000 square feet, on the southwest corner of the existing building, adjacent to the School's gymnasium.
- Much of the Sprague Elementary expansion area is currently asphalt, so the increase in impervious surface is minimal and Lake County SMC will not require a detention pond.

Staff Comments:**3.1 Half Day School – Special Use Request**

- **Parking** - Required parking for a school is one space per employee. Between the existing parking east of the school and the new lot west of the school, there will be a total of approximately 80 spaces. Based on the estimated Staff of 70 in the expanded school, the Village's Code requirement of one space per employee will be met. At the Village Board Preliminary Evaluation meeting, a Trustee noted some concerns from parents who wanted to park and walk their children into school and were told this was not allowed. Given the expanded and enhanced stacking pattern for vehicles in and adjacent to the west parking lot (see attached Car Stacking Exhibit), this concern may be able to be addressed without the need for additional parking.

At Tuesday night's meeting, the Petitioner should confirm the proposed new parking lot meets Village code requirements for parking stall length and drive aisle width.

- **Vehicular Circulation** – A Parking Study, completed by a Traffic Engineer is attached. The findings of this Study demonstrate morning drop-off traffic is currently not an issue and should continue to function optimally with projected additional drop-off traffic. The afternoon pick-up is currently challenging and creates congestion on-site. The study depicts the need to stack up to an additional 26 vehicles on-site for pick-up in the afternoon. With a reconfigured parking lot and new Stacking Plan, an additional 15 vehicles can be accommodated on-site in the afternoon, representing a 50% increase in capacity, satisfying the additional demand.

Given the delicate circulation balance necessary for the entire system to work, Staff recommends a "Drop-off/Pick-Up Entrance" sign be added at the western driveway access.

The attached Traffic Study states curb cut improvements should be considered at the easternmost driveway to accommodate school bus turning radii. While not shown on the attached plans, Staff recommends this improvement as part of the Special use request to insure safe and efficient turning movements off Olde Half Day Road.

- **Pedestrian Circulation** – The School has discussed the idea of a crosswalk across Olde Half Day Road with Mayor Brandt. With the tie-in between students at the School utilizing

the Library, as well as an opportunity to use the Library parking lot for special events at the School, a crosswalk is recommended. Given sightline issues and existing utility poles and infrastructure in the area, Staff is recommending there be further coordination between the Village, the School District and IDOT regarding the best location for this crosswalk.

- **Stormwater Detention** - The proposed detention basin location, size and proposed planting plan must be approved by Lake County Stormwater Management Commission (SMC) and reviewed by the ARB for landscaping requirements. Appropriate safeguards will be necessary for a wet-bottom pond, in light of the school use.
- **Building Design & Landscape Plan** – The ARB will review the building architecture and landscaping details at a meeting on January 19th and provide a recommendation to the Village Board.
- **Special Use Exceptions** – Attached, please find a listing of all exceptions requested as part of the proposed Special Use. The School has been functioning under current conditions for over 40 years, without complaint. Many of the exceptions have been in place for most of that time period. As a result, Staff recommends accepting most of the proposed exceptions, as they relate to conditions that are not expected to change with the new addition. Staff would not typically recommend permitting the parking lot design standard and locational exceptions, however, given the limited ability to provide required parking on-site, as well as required detention, while leaving adequate play area for children, Staff believes these exceptions are warranted. Permitting a prohibited fence material (chainlink) to be removed and replaced along the south property line is an exception Staff believes should not be permitted. Any replaced fencing should meet current code and there should be a phased plan prepared to eliminate this prohibited material over a reasonable period of time.
- **Special Use Findings of Fact:** The attached presentation packet includes the Petitioner's response to the Findings of Fact for Special Use for consideration by the Zoning Board.

3.2 Half Day School – Rezoning Request

The fact that the small parking lot property at the west side of the site was never rezoned to the B1, Retail Business Zoning District, consistent with the remainder of the school property, is an oversight. This should have occurred at annexation in 1996. Since no other site improvements have occurred since that time, this is the first opportunity to remedy that oversight. Given the commercial zoning to the immediate east and south of this property, and office zoning to the north, the proposed B1 Zoning is consistent in intensity. The Comprehensive Plan designates this property as “Public & Institutional Use” consistent with the remainder of the school property. Map Amendment (Rezoning) Findings Fact will be provided to the Zoning Board prior to Tuesday night's meeting. Staff recommends approval.

3.3 Sprague Elementary School – Special Use Request

- **North Property Line Screening** – Staff received the following comment from Trustee Dan Servi, a resident who lives along the North property line: “I (have) concern about the potential for increased noise. Since my backyard is also adjacent to the playground on the north, I can attest that it can get noisy when the kids are out playing. The increased noise concern seems to revolve around the fact that the addition will jut out so that it is adjacent to the playground area on the south side of the playground. This could help buffer the neighbors to the south from the noise but may reflect noise to the north. My neighbor proposed a solid fence be erected along the properties adjacent to the north. Aside from the potential noise issue, I would support the fence to improve both aesthetics and security to the property. The current situation is there are multiple fence types in various states of repair and gaps between some of the fences.” Filling fence gaps could assist in security for the adjacent northern properties, while an alternate option of adding evergreen trees could

assist in sound dampening. The Zoning Board should consider whether or not such measures are warranted as part of the Special Use request for the existing school and proposed expansion.

- **Vehicle Circulation** – Staff has noted vehicles stack in the afternoon on the north side of the existing parking area east of the proposed building addition to pick-up for the “After School Program.” In exiting the site, those vehicles currently turn around in the large asphalt area to be covered by the proposed building addition. Staff is concerned with how this turning maneuver will work with the building addition. The Petitioner has responded – “Vehicles that enter into the parking area adjacent to the new addition would still have the ability to turn around using the new drive that connects to the south face of the new addition.” Staff is comfortable that the School can develop and communicate a plan to address this issue without adding additional impervious area.
- **South Property Line Screening** – In considering the expanse of glass on the south façade of the new building addition and reviewing the Sun Study, Staff is concerned screening for some southern properties may not be adequate. The required 30” of tree replacement, related to proposed tree removals, does not appear to be provided, so there are opportunities to add evergreen tree inches providing increased screening/buffering. The School’s use of “Low E glass” designed to reduce sun glare is very beneficial. However, the addition of evergreen trees in selected areas along the south property line would provide additional assurance that glare does not impact neighbors to the south. Staff will address this matter with the ARB in their review of the Landscape Plan. However, if the Zoning Board agrees with this concern, it can be reinforced with your recommendation the ARB analyze this concern.
- **Building Design & Landscape Plan** – The ARB will review the building architecture and landscaping details at a meeting on January 19th and provide a recommendation to the Village Board.
- **Special Use Exceptions** - Attached, please find a listing of all exceptions requested as part of the proposed Special Use. The School has been functioning under many of the current conditions for almost 50 years (with other “newer” conditions for at least 20 years), without complaint. Many of the exceptions have been in place for most of that time period. As a result, Staff recommends accepting most of the proposed exceptions, as they relate to conditions that are not expected to change with the new addition. The school District has provided the following commentary on the necessity for these structures:

“The shed contains equipment for PE classes and recess periods. Prior storage for this equipment was in the school corridor and the Fire Department requested that the equipment be removed from the corridor so it wouldn’t obstruct egress. The canopy was awarded to the School District through the American Cancer Society. It is intended to minimize student and/or community member exposure to the sun, and support the American Cancer Society’s goal to prevent skin cancer.”

Neither structure meets the Accessory Structure requirements of the Village Code. The storage shed is non-compliant with regard to location, base material, screening and materials, while the canopy is not listed as a permissible accessory structure. The Zoning Board should consider the necessity for these structures as described by the School District at Tuesday night’s meeting.

- **Special Use Findings of Fact:** The attached presentation packet includes the Petitioner’s response to the Findings of Fact for Special Use for consideration by the Zoning Board.

Recommendation:

Staff recommends approval of the two Special Use Permit requests, as well as the Rezoning request at Half Day School, subject to the following conditions:

3.1 Half Day School – Special Use Request

1. New “Drop-off/Pick-Up Entrance” sign be added at the west driveway access to the site.
2. Curb cut improvements at the east driveway access to accommodate school bus turning radii.
3. School District 103 work with the Village Board and Village Staff to coordinate approvals for a crosswalk across Olde Half Day Road at a mutually-agreeable location.
4. The proposed detention basin location, size and proposed planting plan be approved by Lake County Stormwater Management Commission (SMC) and reviewed by the ARB for landscaping requirements.
5. Removed chainlink fencing to be replaced by Code-Compliant fencing. Remaining chainlink fencing to be eliminated over a period of time mutually-agreeable to the Village and School District 103.

3.2 Half Day School – Rezoning Request – Recommended as presented.

3.3 Sprague Elementary School – Special Use Request

1. ARB to review and consider additional Evergreen trees in selected areas along the south property line to reduce impact of potential sun glare on properties to the south.
2. Curb cut improvements at the east driveway access to accommodate school bus turning radii.

Motions:

Attendance at Tuesday night’s meeting will meet the threshold for a quorum to open the meeting and hold a Public Hearing, but not to take action on these requests. Therefore, discussion on these requests will conclude at a Special Zoning Board Meeting on January 26th at 7:00 P.M. At that time, the Zoning Board will have sufficient attendance to take action and vote on these requests. Any revisions requested at Tuesday night’s meeting can be addressed at that meeting. Motions will be provided in the Zoning Board packet for the January 26th meeting.

Reports and Documents Attached:

- Half Day School Special Use & Rezoning Request Presentation Packet, prepared by Wight & Company, dated January 8, 2016.
- Sprague Elementary School Special Use Request Presentation Packet, prepared by Wight & Company, dated January 8, 2016.
- Standards for Special Use, prepared by Wight & Company, dated January 7, 2016.

Meeting History	
Village Board Evaluation (COW):	December 14, 2015
Current Zoning Board (Public Hearing)	January 12, 2016



UNAPPROVED Minutes of the **ARCHITECTURAL REVIEW BOARD** held on Tuesday, January 19, 2016, in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chairman Grover, Members Gulatee, Hardnock, Jensen (departed at 8:55 p.m.), Baskin Kennerley (arrived at 7:05 p.m.); Alternate Member Barranco and Trustee Liaison Hancock.

ABSENT: None

ALSO PRESENT: Tonya Zozulya, Economic Development Coordinator

CALL TO ORDER: Chairman Grover called the meeting to order at 7:00 p.m.

1.0 ROLL CALL

The roll was called by **Economic Development Coordinator Zozulya** and **Chairman Grover** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Architectural Review Board held Tuesday, November 17, 2015.

Member Gulatee moved and **Member Hardnock** seconded the motion to approve the minutes of the regular meeting of the Architectural Review Board held on November 17, 2015, as presented. The motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS:

3.1 Consideration of Site and Building Design plans for a proposed 24,500 square foot building addition and associated parking lot relocation for Half Day School, 239 Olde Half Day Road (Lincolnshire-Prairie View School District 103)

David Gassen, a Senior Project Architect, Wright & Co, representing School District 103, provided background information on the project. He stated the proposed 2-story building addition will involve shifting the existing parking lot further west. The detention basin, which will remain mostly dry except during extreme rain events, will be planted with suitable plants. Landscape screening is also proposed along the west property line to benefit the house adjacent to the parking lot. Plantings along the west and north building foundation were chosen to provide for all-season interest and varied heights. The addition is proposed to match the existing building height, materials and color (white painted brick). The proposed corrugated metal rooftop screen will be centrally located on the roof and will extend 6" over the rooftop equipment. They are proposing white fiber cement panels to break up the building facade. Two new light poles are proposed in conformance with Village codes. **Mr. Gassen** reviewed building massing images and showed sample photos of proposed fiber cement accents and window system/glazing from other locations.



Tonya Zozulya, Lincolnshire's Economic Development Coordinator, stated staff would like to note School District 103 and their team of architects has been working diligently on the building expansion proposal with the Village the last few months. She said the School District is on a very tight schedule to have the proposal reviewed and approved by the Village and get the new building under construction. She stated staff is in support of the proposed additions and noted the following staff comments and recommendations to the ARB:

1. Staff requests the ARB further consider the reasoning behind the fiber cement wall panels and determine if this material is appropriate where proposed.
2. Staff recommends the ARB consider whether or not the horizontal ribs on the proposed rooftop screen are appropriately spaced for compatibility with the addition.
3. Staff also recommends aluminum coping to match that found on the building to help tie the design together.
4. Given chain link fencing is a prohibited material in the Village's Fences & Screens Code, Staff recommends chain link fence removed be replaced only with code-compliant fencing. Staff also encourages the School District to develop a phased plan to eliminate this prohibited material over a reasonable period of time.

Member Hardnock inquired about the proposed fiber cement material. **Mr. Gassen** provided a sample of the material depicting the white color and a smooth finish. He stated it will be installed near existing stair towers and in between windows.

Chairman Grover inquired about the fiber panel size. **Mr. Gassen** stated it is approximately 1.5' x 5'in size.

Member Gulatee inquired about the assembly method. **Mr. Gassen** responded their intent is to have no joints between the panels to make them look nondescript.

Member Kennerley stated the white panel accents would fade away against the white brick and sought clarification regarding their locations.

Member Baskin asked the architect what they are trying to achieve with the addition and how the addition can be designed to influence students. He would have preferred to see a non-white exterior color scheme as children are stimulated by color. **Mr. Gassen** stated the white color proposed for the addition has been predetermined. They are trying to match the existing building, including matching the window height.

Member Baskin stated he does not mind the fiber panel material and does agree with staff's recommendation regarding incorporating the building coping into the rooftop screen design. He also stated he does not like the look of the chain link fence.

Mr. Gassen said there are sections of the existing chain link fence along the south property line abutting Half Day Rd. that may have to be removed due to the expansion of the detention area in the southwest corner of the property. There is a berm and vegetation adjacent to the fence. Should that occur, the school district will have no intent to replace the removed fence sections.

Chairman Grover inquired about the depth of the detention basin. **Mr. Gassen** said the



detention basin may accumulate up to 4' of water during heavy rain. However, the water will drain within 24-48 hours. Plantings will obscure the water. He does not anticipate going outside to play during heavy rain as the School District does take children's safety seriously. **Chairman Grover** asked Mr. Gassen to speak to the School District about children's safety related to potential water collecting in the detention area.

Economic Development Coordinator Zozulya inquired whether the School District considered replacing the existing chain link with a wooden fence to match the existing fence along the east property line. **Mr. Gassen** said the School District is not considering that.

Chairman Grover inquired about the ownership of the wooden fence as the "finished" side faces inward onto the school property. **Mr. Gassen** said the fence appears to be 6' in height. It is unclear who installed it, whether it was the School District or the adjacent commercial properties to the east.

Trustee Hancock inquired whether the School District is considering installing a logo or another graphic element on the building façade to break it up. He is also concerned the building would appear too sterile and confining given the size of the brick. **Mr. Gassen** stated the School District has no intention to provide a logo on the building exterior.

Member Jensen stated he finds the new addition interesting and likes it.

Chairman Grover and **Member Hardnock** stated they do not have issues with the proposed paneling.

Member Gulatee asked the ARB if they wanted to request 3D models from the School District. There was no interest to request it.

Chairman Grover sought any more questions or comments from the ARB. There being none, requested a motion.

***Member Hardnock** moved and **Member Baskin** seconded a motion to approve and recommend to the Village Board approval of Site and Building Design Plans for a proposed 24,500 square foot building addition and associated parking lot relocation for Half Day School, located at 239 Olde Half Day Road, as presented at a meeting held January 19, 2016 and in a presentation packet dated January 11, 2016 from Wight & Company, with cover letter dated January 14, 2016, and further subject to incorporating the aluminum coping found on the building into the new rooftop screen design.*

The motion passed unanimously by voice vote.



- 3.2 Consideration of Site and Building Design Plans for a proposed 14,000 square foot building addition for Laura B. Sprague Elementary School, 2425 Riverwoods Road (Lincolnshire-Prairie View School District 103)

David Gassen, Senior Project Architect, Wright & Co, representing School District 103 provided background on the proposed building addition. He stated they propose to remove existing trees and pavement to make room for the addition. He said the existing canopy will be removed and relocated further north, adjacent to the playground. It was donated by the American Cancer Society. One existing shed will be removed and one, furthest to the north, will remain. The existing POD containers will be removed and not replaced. The proposed rooftop equipment will be centrally located on the roof and screened per code. Their intent is to match existing brick. Three different window types are proposed (clear, spandrel glass with opaque coating and tinted glass). The architect reviewed building massing images. No new light poles are proposed. **Mr. Gassen** noted they completed a Sun Study per staff request. The study showed two properties (one furthest east and one furthest west) may be impacted by the glare from the building glass in mid-winter for a very brief time. The study did not account for the existing wooden area near the house to the east. **Mr. Gassen** also stated they are proposing replacement evergreen trees where deciduous trees would be installed per staff request to further protect the adjacent residents to the south from a possible glare.

Member Jensen stated evergreen trees may not prove a good long-term solution due to their susceptibility to various diseases. **Mr. Gassen** stated it is the School District's preference not to install evergreens for security reasons but they are open to it to mitigate potential glare effects.

Member Kennerley inquired about the type of evergreen plantings proposed for the southwest corner of the property. **Scott Laffin, a Landscape Designer, Wight & Company**, stated they were 2 white firs and a blue spruce. No new foundation landscaping is proposed along the north building elevation.

Economic Development Coordinator Zozulya stated staff is in support of the proposed building addition and would like to offer the following comments to the ARB:

- The ARB should determine if the proposed foundation landscape screening is sufficient to break-up the window façade.
- Staff recommends the ARB consider whether or not the horizontal ribs are appropriately spaced to be compatible with the building.
- Staff also recommends adding aluminum coping to match that found on the building to help tie the design together. Further, Staff recommends a color more compatible with the building brick.
- Staff recommends the ARB give due consideration to the appropriateness of the landscape screening proposed along the south property line. Staff recommends a landscape hedge, a minimum 3' tall at planting, be provided



where grades are possible along the south property line in locations adjacent to the parking lot.

A floor plan was reviewed. **Mr. Gassen** stated the School District plans to use the addition for kindergarten classrooms.

Member Hardnock asked staff whether any opposition to the proposed addition has been received by the Village. **Economic Development Coordinator** stated she is not aware of any opposition. Staff received construction-related concerns.

Several ARB members stated they believed the foundation landscaping along the south and west property line will be destroyed by kids during play and special events.

There was discussion regarding installing a hedge along the south property line for screening. Due to limited room along the property line (5' or less) as well as grade variations, no big trees would be feasible. **Chairman Grover** stated he would like to see a hedge in that location. **Trustee Hardnock** questioned how a small hedge will help with the screening and suggested the School District consider providing a financial allowance to the adjacent neighbors for them to plant taller landscaping on their property. **Mr. Gassen** stated no changes are being made to that parking lot; therefore, the School District feels they should not be required to bring the parking lot into compliance with screening requirements as part of the building expansion project.

Trustee Hancock stated he feels the building design looks modern. He inquired what other window options were considered pointing out the existing windows are constructed of a dark tinted glass. **Mr. Gassen** stated the intent is to carry existing window elements into the addition. No moldings or vertical columns from the existing building will be incorporated but there will be vertical dividers. **Trustee Hancock** stated the School District should consider bringing a second option for the building design as they may run into opposition given a portion of the addition faces residential homes.

Member Baskin expressed concern regarding the impossibility of having the new brick be the exact match for the existing brick which will be a problem. He stated the proposed design looks interesting but is not in keeping with the traditional architecture of the existing building.

Mr. Gassen said the match will be pretty close. He also added the proposed sandstone color for the rooftop screen will complement the building and he does not feel it should be the exact match for the brick because it will look forced. He showed a material sample of the proposed corrugated metal material for the rooftop screen. **Chairman Grover** suggested tying the rooftop screen to the gym wall located approximately 8' south of the proposed rooftop screen.

Member Gulatee inquired when the existing window glass was last replaced. **Mr. Gassen** stated he believes it was replaced after the building was built in the early 1960's but doesn't know when. **Member Gulatee** stated the School District may



have to replace it soon given new Energy Code requirements. **Member Gulatee** recommended the School District consider using a Schott anti-glare glass product for the new windows which are glare-free and used in museums and other buildings (there are examples in Chicago). He also suggested installing vertical fins on the building to prevent glare. **Mr. Gassen** stated he is familiar with this product but am concerned about costs. The proposed glass will produce 12-18% glare.

Member Kennerley recommended swapping some of the proposed plantings along the south with evergreen bushes such as boxwood for added winter interest. They are also hardy enough and kid-friendly. **Mr. Laffin** stated they have no objections to rearranging the landscape plan to incorporate it provided they maintain the same coverage for cost reasons.

***Member Kennerley** moved and **Member Gulatee** seconded a motion to approve and recommend to the Village Board approval of Site and Building Design Plans for a proposed 14,000 square foot building addition for Sprague Elementary School, located at 2425 Riverwoods Road, as presented at a meeting held January 19, 2016 and in a presentation packet dated January 11, 2016 from Wight & Company, with cover letter dated January 14, 2016, and further subject to incorporating aluminum coping into the rooftop screen, installing the rooftop screen flush with the existing wall and replacing some of the proposed plantings along the south elevation with evergreen bushes such as boxwood.*

The motion passed unanimously by voice vote.

Member Jensen departed the meeting at 8:55 p.m.

Trustee Hancock asked staff whether adjacent residents are aware of the school proposal. **Economic Development Coordinator Zozulya** stated all adjacent property owners within a 250' radius of the property were notified of the January 12, 2016 Public Hearing and given the opportunity to review proposed plans in the Community & Economic Development Department office. The Public Hearing was continued to January 26, 2016. The School District's request will then be submitted to the Village Board for final review.

3.3 Consideration of a Wall Signage Plan for Tri-State International Office Center, located at the southwest corner of Rt. 22 and Interstate Tollway 94 (CDW LLC and GA Tri-State Office Park LLC)

Ted Garnett, Garnett Architects, representing the Petitioner, explained CDW's request, reviewed photo simulations for a new wall sign on the Tollway-facing elevation on Building #75, a new CDW sign on the Tollway-facing glass element of the parking garage and approval of 8' tall signage for Tollway-facing elevations for the rest of the campus. All signs would have white lettering with halo illumination. He showed comparable examples from Bannockburn buildings adjacent to the Tollway for LTD Commodities (3' tall, facing Half Day Road) and La Quinta Hotel (8', facing the Tollway). The CDW signs are proposed at 8' tall (with 3' tall letters and a swoosh, for the overall height of 8'). The proposed garage sign would be visible the most as viewed from the on-ramp.

**REQUEST FOR BOARD ACTION
Architectural Review Board Meeting
January 19, 2016**

Subject:	Half Day School (239 Olde Half Day Road) and Sprague Elementary School (2425 Riverwoods Road)
Action Requested:	Consideration of Site and Building Design Plans for a proposed 24,500 square foot building addition and associated parking lot relocation for Half Day School & 14,000 square foot building addition for Sprague Elementary School
Petitioner:	Lincolnshire-Prairie View School District 103
Originated By/Contact:	Steve McNellis, Director Department of Community & Economic Development
Advisory Board Review:	Architectural Review Board & Zoning Board

Background:

- School District 103 proposes additions to Half Day School and Laura B. Sprague Elementary School, as detailed in the attached presentation packet, to respond to increased enrollment and capacity issues throughout the District.
- The Half Day School site has maintained school operations since the early 1800's. The school was annexed to the Village of Lincolnshire in 1972, closed in the 1980's, and subsequently modernized and reopened in 1992. Additional land annexed and added to the west side of the school property in 1996 accommodated a parking lot for the most recent building expansion.
- Sprague Elementary School was constructed in 1963 on property annexed to the Village in 1959. Sprague completed building expansions in 1967, 1990 and 1994.
- The Zoning Board held Public Hearings on January 12th to consider requests for new Special Use Permits related to the overall school properties, and specifically to the proposed building additions at both schools and parking lot relocation at Half Day School.

Project Summary:

3.1 Half Day School

- The proposed 2-story building expansion at Half Day School contemplates a 24,500 square foot addition and relocation of an existing parking lot on the west side of the lot to accommodate the proposed building addition.
- The relocated parking lot will be redesigned for improved circulation and increased in size from 39 spaces to 42. Total parking on-site is increased to 80 spaces, in compliance with Village Code requirements.
- Landscape screening is added along the west property line shared with a single-family residential home, to provide a buffer from the relocated parking lot.
- The building addition has been designed to match existing brick materials and color. Window design has been slightly altered from the existing building design in layout, size and pattern. This is reflective of the interior design plan which has been designed around a more modern classroom layout.
- The expansion in impervious area at Half Day School requires an expansion in the existing detention pond at the southwest corner of the property, per Lake County Stormwater Management Commission.

3.2 Sprague Elementary School

- The proposed 14,000 square foot 2-story building addition at Sprague Elementary School would be located on the southwest corner of the existing building, adjacent to the School's gymnasium.
- Landscape screening has been added in an effort to break-up the expanse of windows on the south building elevation and to address sun glare concerns along that elevation (see attached Sun Study).
- The building addition has been designed with the north and south elevations consisting primarily of three types of glass; clear vision, tinted and clear glazing over gray backing to conceal structural and mechanical elements. The west building elevation and accents on the north and south elevations are brick veneer to match the existing building.
- Much of the Sprague Elementary expansion area is currently asphalt, so the increase in impervious surface is minimal and Lake County SMC will not require a detention pond.

Request Summary:

The requests for both schools include consideration of Site and Building Design Plans, which consist of: Site Plans, Landscape Plans, Building Elevations, Building colors and materials, Rooftop Equipment Screening plans and Photometric plans.

Staff Comments:

3.1 Half Day School

- **Overall Design Compatibility** – The use of matching building material helps provide compatibility between the existing and new structures. As to design details, Staff initially questioned the window sizes and placement, and the use of fiber cement wall panels as window dividers and accents. Staff agrees with the Architects that the proposed design has provides rhythm to the window bays by matching the sill and head elevations between the existing building and new addition.

However, Staff recommends the ARB further consider the reasoning behind the fiber cement wall panels and determine if this material is appropriate where proposed.

- **Rooftop Equipment Screening** – Proposed rooftop equipment screens on Half Day School are a corrugated metal material, in an off-white color. Village Code states rooftop equipment screens “shall be the same materials used in the building walls or a visually similar and compatible material”. In practice, the Village consistently permits dryvit or metal screens. In this case, Staff does not disagree with the material or color.

Staff recommends the ARB consider whether or not the horizontal ribs are appropriately spaced for compatibility with the addition. Staff also recommends aluminum coping to match that found on the building to help tie the design together. It's important the screen look like an architectural element and not a dated corrugated metal wall.

- **Chainlink Fence** – An existing chainlink fence has been located along the south property line for many years, in order to provide a barrier from Rt. 22 traffic. With the expansion of the detention pond at the southwest corner of the property, it's possible the fence will have to be removed in that area. Replacement of that fence has been contemplated by the School District.

Given chainlink fencing is a prohibited material in the Village's Fences & Screens Code, Staff recommends chainlink fence removed be replaced only with code-compliant fencing. Staff also encourages the School District to develop a phased plan to eliminate this prohibited material over a reasonable period of time.

3.2 Sprague Elementary School

- **Window Design/Glazing** – There is extensive use of glazing on the north and south building elevations. These glass ribbons are comparable to those found throughout the building, with the main exceptions that they are two stories here and have a more jagged design style rather than rigid horizontal lines. The proposed glazing has positive benefits as it breaks-up what could be a monolithic brick wall, such as the one on the adjacent gymnasium. Further, the use of a Low-E glass minimizes the impacts of glare from this extensive window design on neighboring properties. However, two stories of extensive window glazing can have a substantial impact in comparison with one-story glass elevations seen elsewhere on this building.

The ARB should consider those impacts and determine if the proposed foundation landscape screening is sufficient to break-up the window façade.

- **Rooftop Equipment Screening** – Proposed rooftop equipment screens on Sprague Elementary School are a corrugated metal material, painted a grayish sandstone color. Village Code states rooftop equipment screens “shall be the same materials used in the building walls or a visually similar and compatible material”. In practice, the Village consistently permits dryvit or metal screens.

In this case, Staff recommends the ARB consider whether or not the horizontal ribs are appropriately spaced to be compatible with the building. Staff also recommends adding aluminum coping to match that found on the building to help tie the design together. Further, Staff recommends a color more compatible with the building brick. It's important the screen look like an architectural element and not a dated corrugated metal wall.

- **South Property Line Screening** - In considering the glass expanse on the building addition south elevation and reviewing the Sun Study, Staff is concerned screening for adjacent residential properties may not be adequate. The Architects propose to address sun glare screening for the most-impacted homes by adding evergreens along the property line in areas southwest of the addition and along the south building elevation of the new addition. The problem is that between the limited space along the south property line and the grade change, planting trees south of the parking spaces cannot be accomplished on this site. Only the area southwest of the proposed addition has sufficient room to add evergreens. In reviewing the requested Special use at their January 12th Public Hearing, the Zoning Board deferred to the ARB to consider alternate or additional solutions for screening along the south property line

Staff recommends the ARB give due consideration to the appropriateness of the landscape screening proposed along the south property line.

There is also a lack of green buffering along the south property line, between the parking area and south property line. Village Code requires a landscape screen in these locations (similar to the landscape buffer proposed west of the Half Day School parking lot relocation).

Concern about this gap in landscaping was voiced by a resident who lives immediately behind the proposed addition.

Staff recommends a landscape hedge, a minimum 3' tall at planting, be provided where grades are possible along the south property line in locations adjacent to the parking lot.

Staff Recommendations:

Staff recommends approval of the proposed additions and related site work for both the Half Day School and Sprague Elementary School, with the following conditions:

3.1 Half Day School

1) Aluminum coping to match that proposed for the roof line of the building addition be added to all four sides at the top of the rooftop screening panels to provide compatibility with the building elevations.

2) Chainlink fence that is removed shall be replaced only with code-compliant fencing. A phased plan to eliminate prohibited chainlink fence material over a reasonable period of time shall be provided.

3.2 Sprague Elementary School

1) Aluminum coping to match that proposed for the roof line of the building addition be added to all four sides at the top of the rooftop screening panels to provide compatibility with the building elevations.

2) Rooftop screening panels should be of a color similar to, and compatible with, the building brick.

3) A landscape hedge, a minimum 3' tall at time of planting, be provided where grades are possible along the south property line in those locations adjacent to the parking lot.

ARB Motions:**3.1 Half Day School**

The Architectural Review Board moves to approve and recommend to the Village Board approval of Site and Building Design Plans for a proposed 24,500 square foot building addition and associated parking lot relocation for Half Day School, located at 239 Olde Half Day Road, as presented at a meeting held January 19, 2016 and in a presentation packet dated January 11, 2016 from Wight & Company, with cover letter dated January 14, 2016, and further subject to

{Insert any additional conditions or modifications desired by the Architectural review Board}

3.2 Sprague Elementary School

The Architectural Review Board moves to approve and recommend to the Village Board approval of Site and Building Design Plans for a proposed 14,000 square foot building addition for Sprague Elementary School, located at 2425 Riverwoods Road, as presented at a meeting held January 19, 2016 and in a presentation packet dated January 11, 2016 from Wight & Company, with cover letter dated January 14, 2016, and further subject to

{Insert any additional conditions or modifications desired by the Architectural review Board}

Reports and Documents Attached:

- Presentation Packet from Wight & Company, dated January 11, 2016.

Meeting History	
Preliminary Evaluation (COW meeting)	December 14, 2015
Zoning Board - Public Hearings	January 12, 2016
Current ARB Review of Revised Ground Signage	January 19, 2016

**REQUEST FOR BOARD ACTION
Committee of the Whole
February 8, 2016**

Subject: City Park PUD – Redevelopment Plan

Action Requested: Continued Preliminary evaluation of a Major Amendment to Ordinance No. 97-1498-22 (amending the CityPark Master Planned Unit Development and approving Regal Cinema) to permit a multi-family development and Regal Cinema renovation in the CityPark development at the southwest corner of Milwaukee Avenue and Aptakisic Road

Petitioner: ECD Company

Originated By/Contact: Steve McNellis, Director
Department of Community and Economic Development

Referred To: Village Board & Architectural Review Board

Background:

- At the January 11th Committee of the Whole meeting, ECD presented a proposal to redevelop the Regal Cinema site including down-sizing and remodeling the existing Regal Cinema and the addition of a 302-unit luxury apartment complex.
- Village Board directed ECD to provide the following additional information and return at a future meeting date for further Preliminary Evaluation:
 - 1) Further in-depth review of the economic impact of the theater and proposed apartments
 - 2) Information on other options explored as part of a Theater redevelopment.
 - 3) Analysis of similar luxury apartment developments in the suburban area, including economic demographics
 - 4) Typical apartment unit layouts
 - 5) Refined Site, Landscaping, Building Elevation and amenity details
 - 6) Breakdown of unit sizes and Code-required parking
 - 7) Traffic Study

Project Summary:

ECD proposes redeveloping the Regal Cinema property, including renovation and reduction in size and number of theaters from 21 screens (including IMAX) to 15 screens (IMAX to remain). Scott Greenberg, ECD President, outlines the proposal in detail in the attached presentation packet. The request contemplates reducing the theater building footprint and constructing a 302-unit luxury rental apartment complex on the southern end of the property.

Review Process – After Preliminary Evaluation by the Village Board, the Architectural Review Board (ARB) will review and recommend building, landscaping and site design for the Theater renovation and new apartment buildings. The Village Board will conduct the Public Hearing for the proposed PUD amendment. This request does not require Zoning Board review.

Preliminary Evaluation Summary (revised to reflect current proposal):

At ARB review and the Public Hearing before the Village Board, Staff intends to raise the following:

- Design Compatibility – Consideration should be given to provide compatibility between the new Apartment buildings and the renovated theater. Though the theater is focusing on interior upgrades and does not have plans for exterior changes, new architectural accents to the theater exterior would help tie the buildings together. Such enhancements are important at the theater entrance and on the north theater façade, which is the most “public-facing” building frontage.
- Vehicular Access – Trustee feedback received subsequent to the initial presentation suggested construction of an additional vehicle access point along the western property line to Aptakasic Road. This would be beneficial for moving theater and apartment traffic in and out the site. This recommendation should be pursued with Lake County Division of Transportation.
- Accessible Parking – Placement of handicapped-accessible parking requires further study. Staff is concerned about the handicapped-accessible parking located in front of the theater. The applicant’s traffic engineer stated the five handicapped-accessible spaces on the main drive aisle to the theater parking field can provide “traffic calming”. The use of different roadway material and “pedestrian zone” signage may also slow traffic without hindering traffic moving through this area.
- Parking Garage Façade – The west and south elevations of the east apartment building are the only location where the internal parking garage outer wall is exposed. The current design matches the brick base of the residential part of the building, but the remaining area is painted concrete. These facades will require architectural enhancement to be compatible with the residential design of the building.

Staff Recommendation:

Preliminary Board feedback and Referral of a Major Amendment to the City Park PUD to the ARB for design review and back to the Village Board for a Public Hearing on the proposed amendment.

Reports and Documents Attached:

- Presentation booklet, prepared by ECD Company and their consultants, dated February 1, 2016.

Meeting History	
COW – Preliminary Evaluation	January 11, 2016
COW – Continued Preliminary Evaluation	February 8, 2016



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Lincolnshire, Illinois

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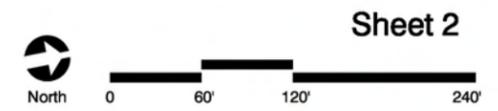
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Landscape Layout

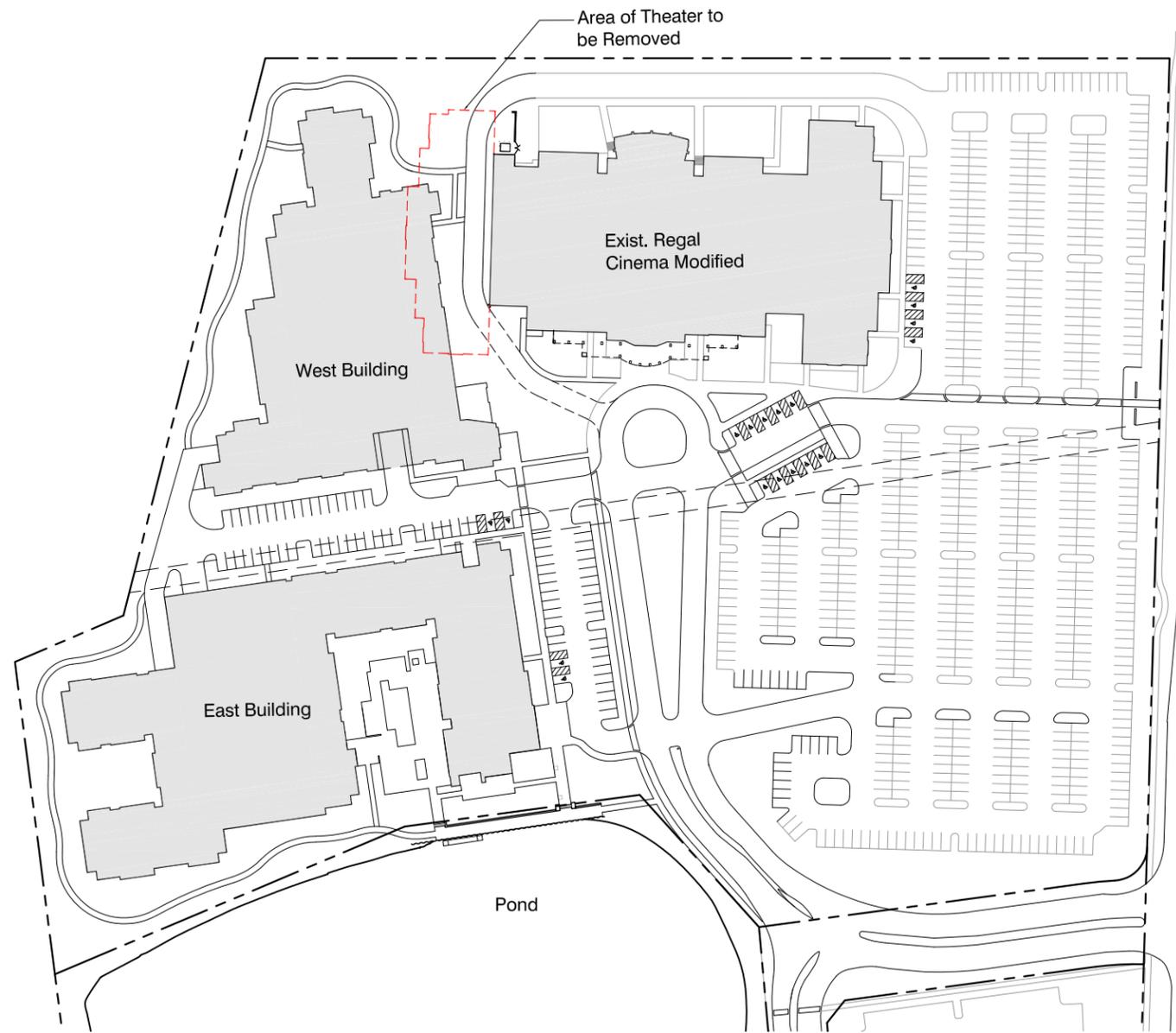


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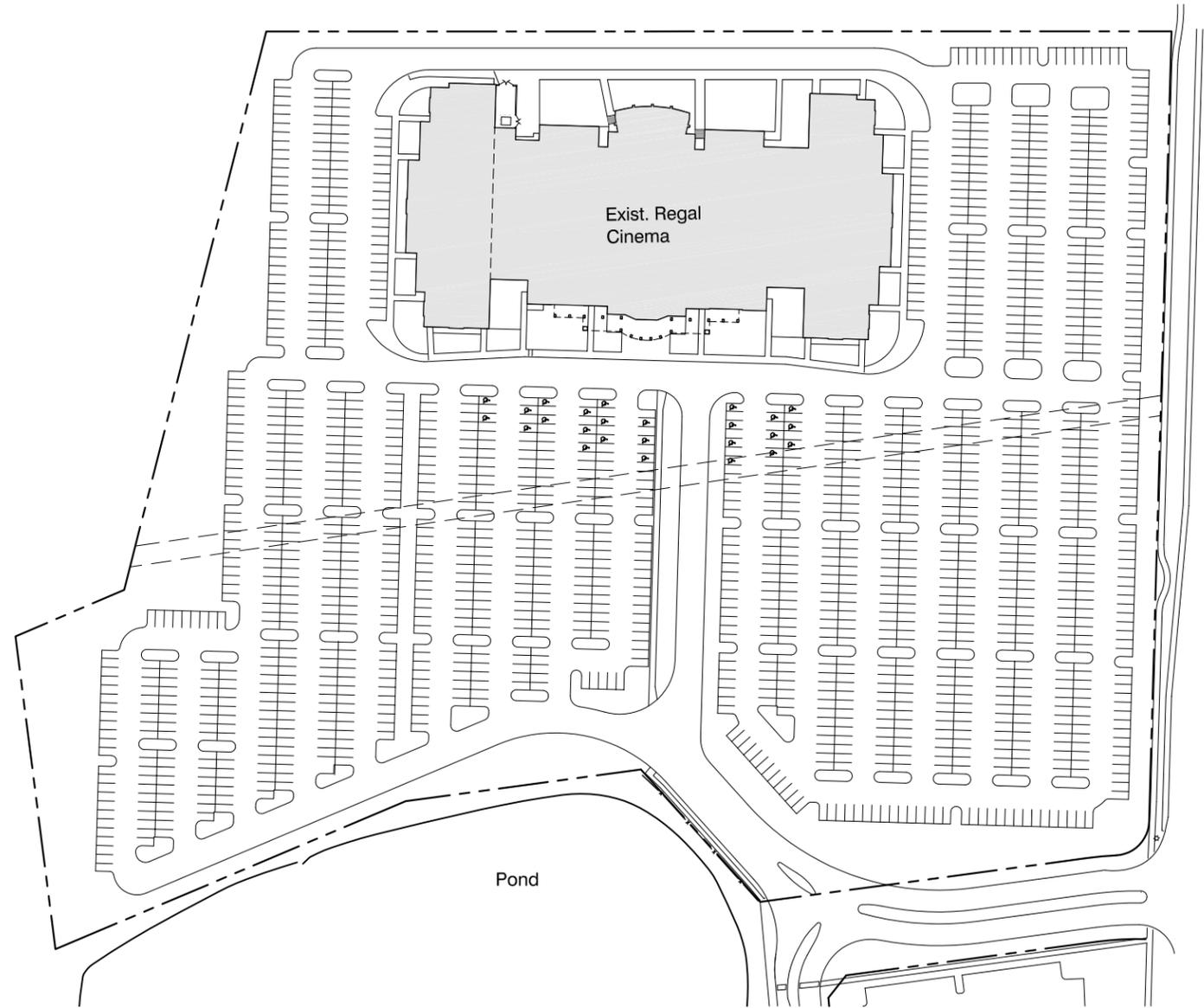
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Proposed

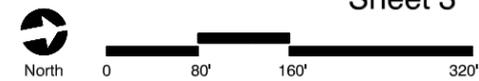


Existing

Site Comparison



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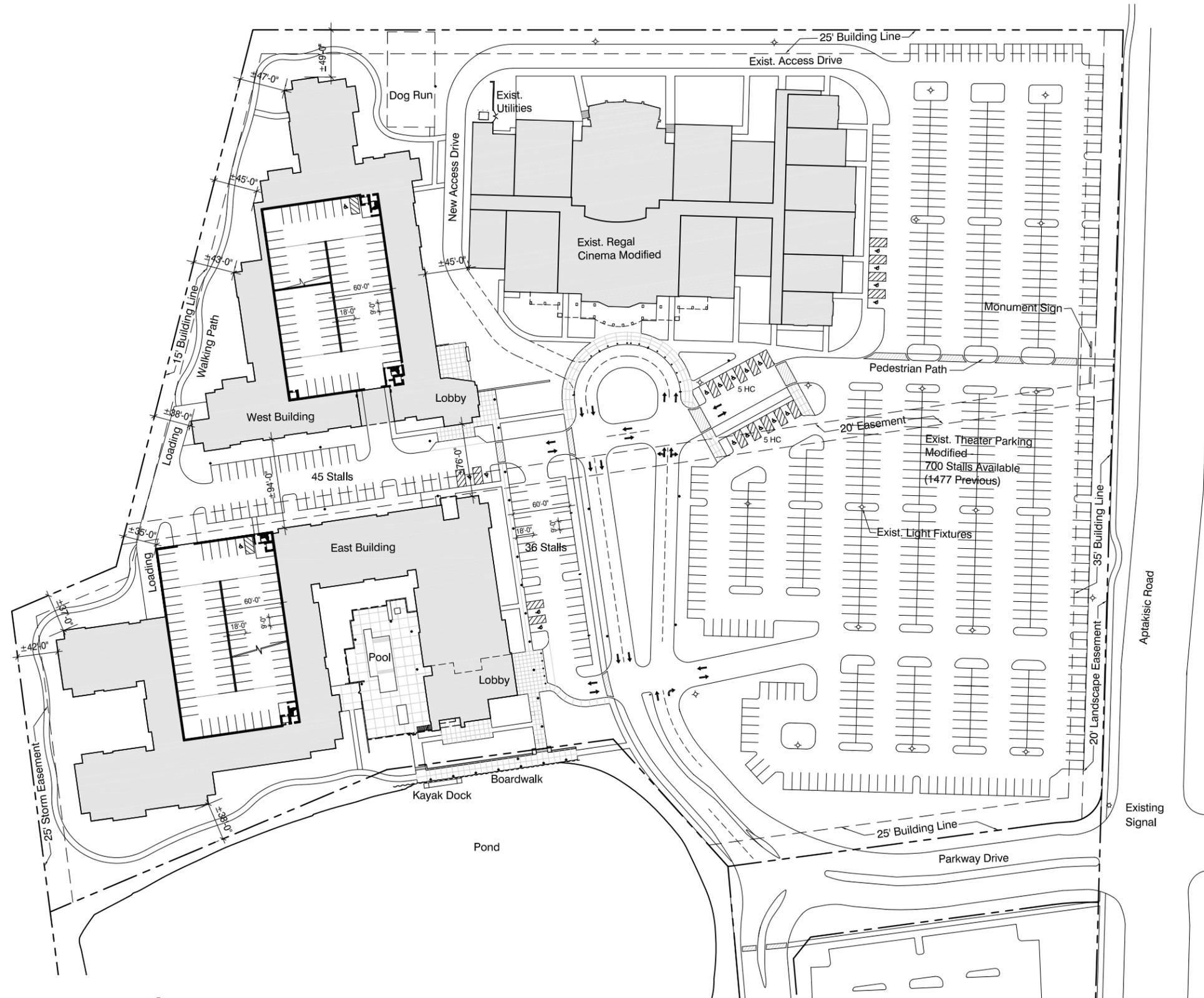


Sheet 3

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Site Data

Zoning Classification	B2 PUD
Site Area	±850,749 sf
Open Space Area	±269,193 sf (31%)
Impervious Surface Area	
Existing	±646,612 sf (76%)
Proposed	±621,366 sf (73%)
Theater Bldg. Area	
Existing	93,937 sf
Proposed	75,117 sf
Area:	East Bldg. 312,210 sf West Bldg. 233,109 sf Total 620,436 sf
Efficiency:	13 8 21
1 Bedroom:	75 45 120
2 Bedroom:	83 64 147
3 Bedroom:	8 6 14
Total Units:	179 123 302
FAR	0.73
Residential Bldg. Ht.	53'-6"

Parking Summary

	Req'd	Provided
Theater	500	678
Req'd Accessible (2%)	10	14
East Bldg.	360	360
Interior Spaces		284
Exterior Spaces		76
Req'd Accessible (2%)	8	9
West Bldg.	255	255
Interior Spaces		250
Exterior Spaces		5
Req'd Accessible (2%)	6	7

Parking Calculations

Theater	
(±1,500 seats x 1/3)=	500
East Bldg. Total	360
(88) Eff.-1 br units x1.5=	132
(91) 2+ br units x2.5=	228
West Bldg. Total	255
(53) Eff.-1 br units x1.5=	80
(70) 2+ br units x2.5=	175



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Site Layout



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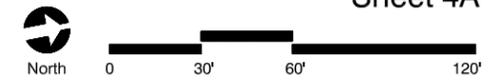


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Enlarged Circulation



Sheet 4A

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 CityPark
 Lincolnshire, Illinois

Site Detail



North

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Elevation Detail

Sheet 9



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South Elevation



North Elevation



West Elevation

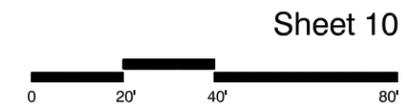


East Elevation



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Lincolnshire, Illinois

East Building Elevations



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South Elevation



North Elevation



Equipment Screen to Match Exterior Building Material - Equipment to be 6" below top of screen

West Elevation



Metal Panel System

Fiber Cement Panels - G

Fiber Cement Panels - A

Brick A

Brick B

East Elevation

Stone

T/ High Parapet
El. +51'-6"

T/ Low Parapet
El. + 50'-0"

51'-6"

Grade
0'-0"



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West Building Elevations

Sheet 11



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East Building - 1st Floor

Sheet 12



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East Building - 2nd Floor

Sheet 13



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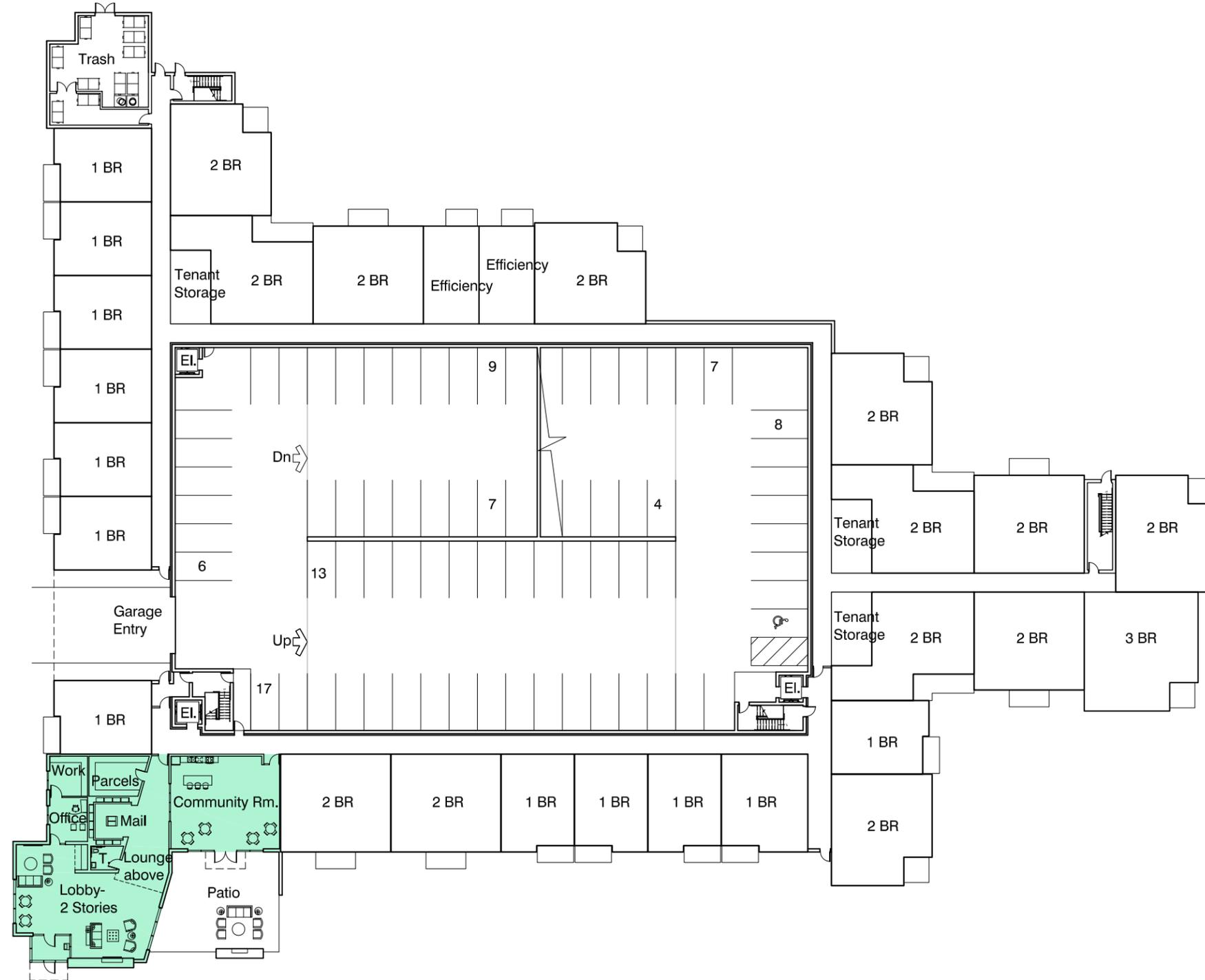
East Building - 4th Floor



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West Building - 1st Floor

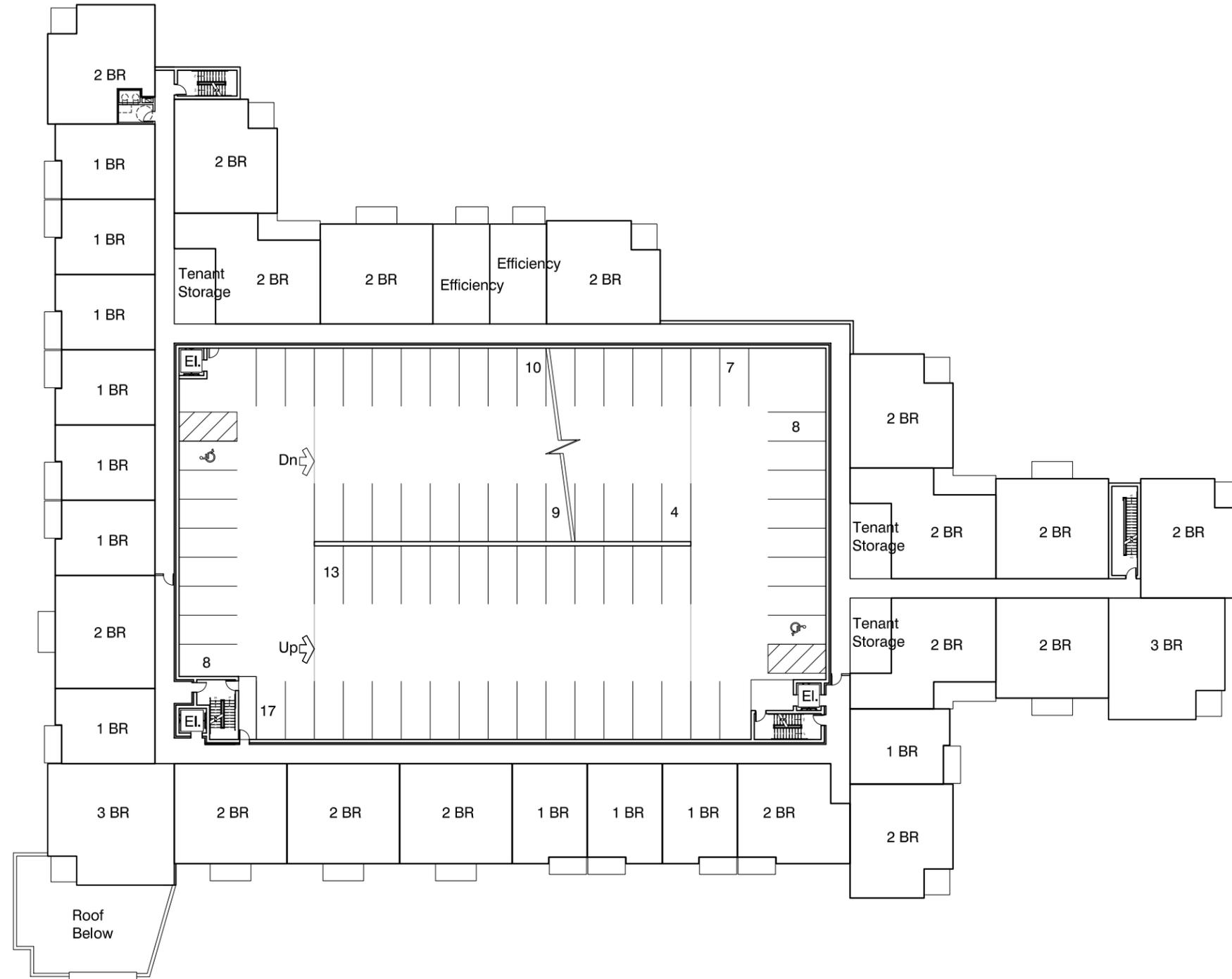


Sheet 16

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West Building - 3rd Floor

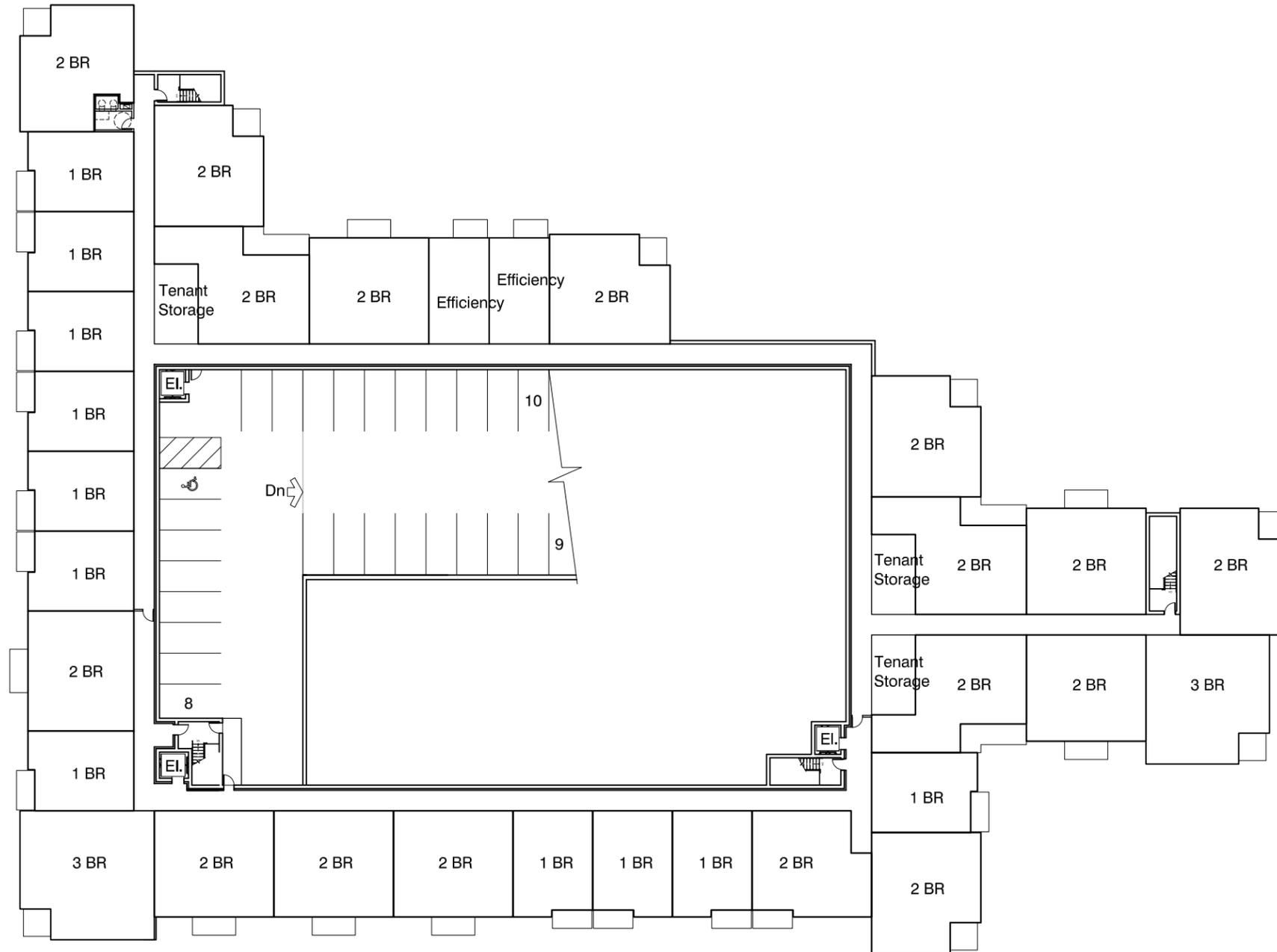


Sheet 18

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West Building - 4th Floor

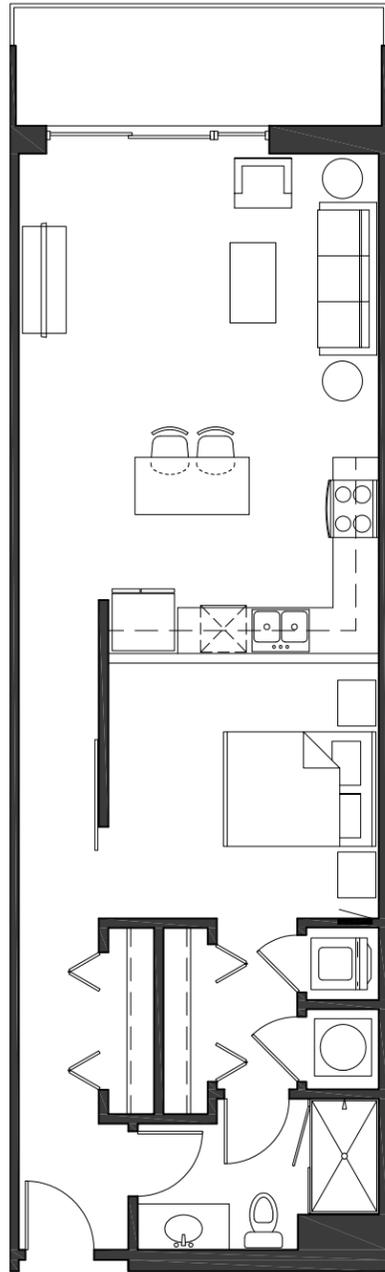


Sheet 19

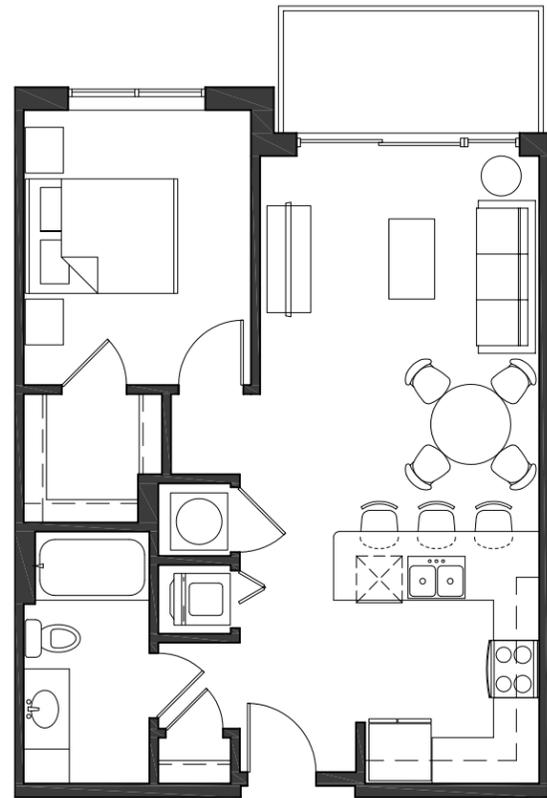
43 South Vail Avenue
 Arlington Heights, Illinois 60005
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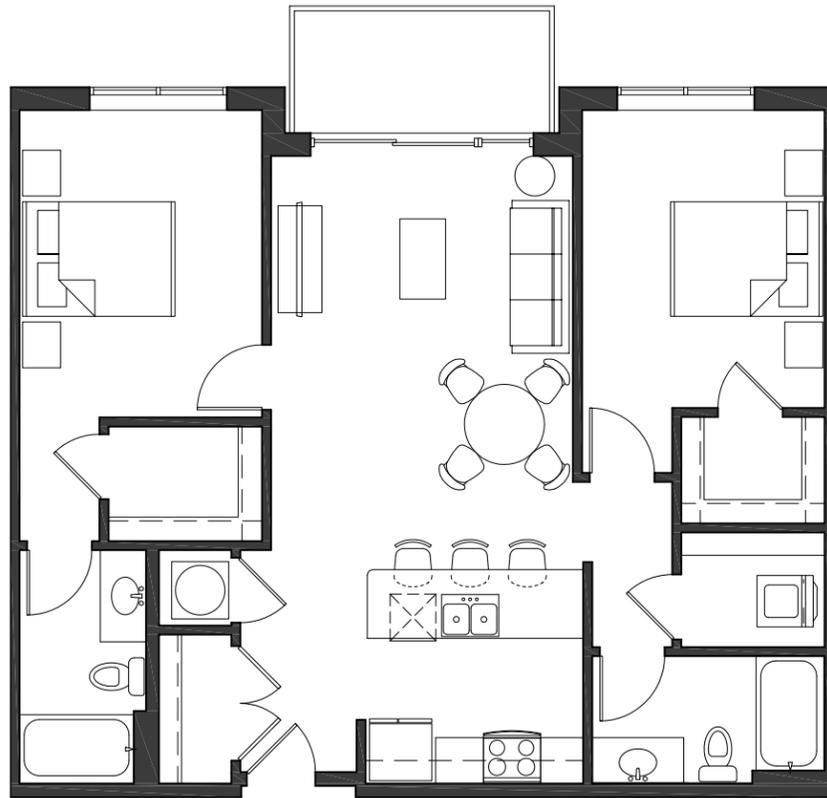
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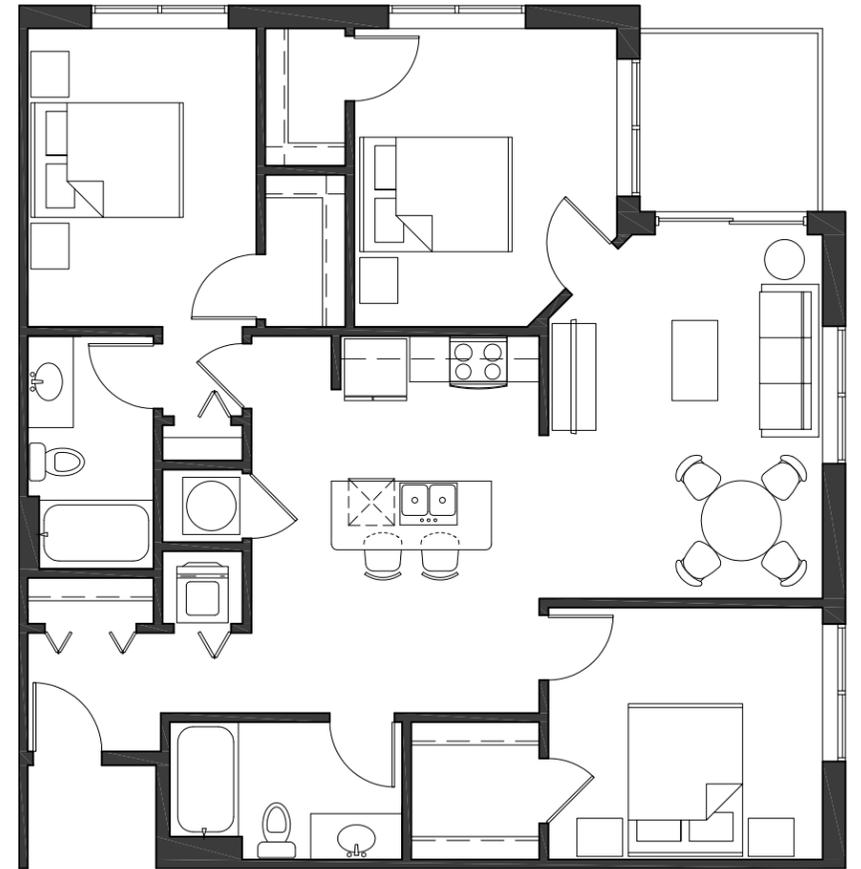
One Bedroom (Loft Style)



One Bedroom



Two Bedroom



Three Bedroom



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Typical Unit Plans



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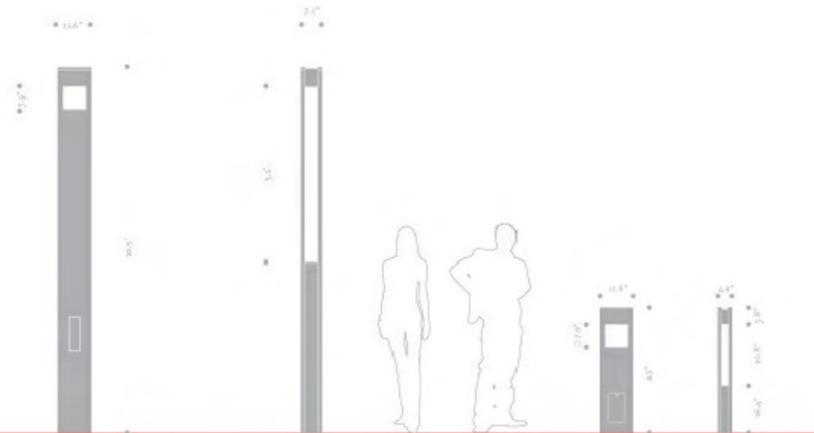
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Site Light



Bike Racks



Bollard Lights



Waste Receptacle



Site Bench

Trees

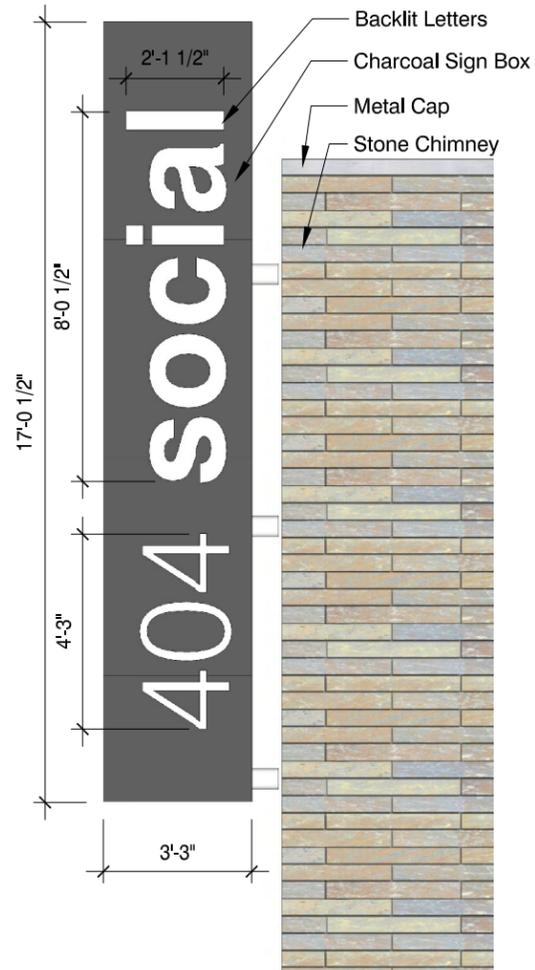
sym	Botanic Name	Common Name	Size
AM	Acer x fremanii 'Marmo'	Marmo Maple	2.5" BB
BN	Betula nigra	River Birch	8' Ht. BB
CC	Crataegus crus-galli 'Inermis'	Thornless Hawthorn	8' Ht. BB
CM	Cornus Mas	Corneliancherry Dogwood	2.5" BB
GT	Gleditsia triacanthos 'Shademaster'	Thornless Honeylocust	8' Ht. BB
JC	Juniperus chinensis 'Iowa'	Iowa Juniper	8' Ht. BB
QB	Quercus bicolor	Swamp White Oak	2" BB
UM	Ulmus davidiana 'Morton'	Morton Elm	2.5" BB

Shrubs

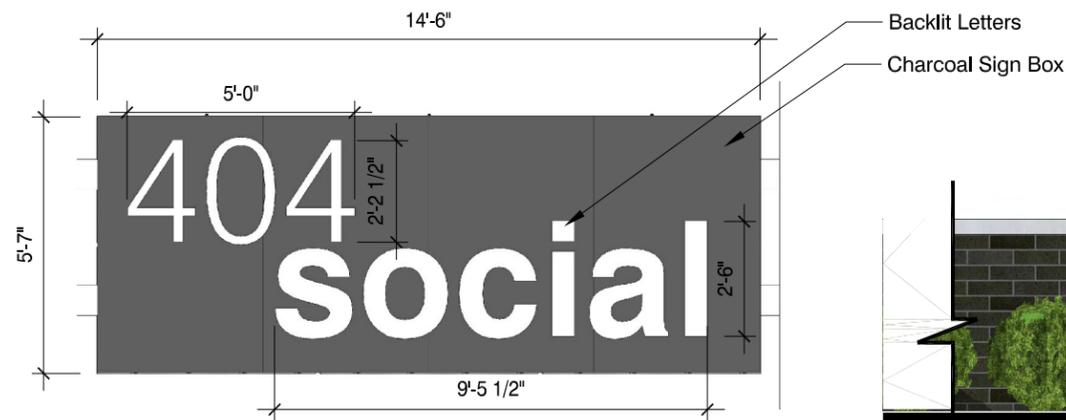
sym	Botanic Name	Common Name	Size
BG	Buxus x 'Glencoe'	Glencoe Boxwood	24" BB
DS	Diervilla sessilifolia 'Butterfly'	Southern Bush Honeysuckle	24" BB
EA	Euonymus alatus 'Compactum'	Compact BurningBush	24" BB
HV	Hamamelis vernalis	Vernal Witchhazel	3' BB
HT	Hydrangea paniculata 'Tardiva'	Tardiva Hydrangea	30" BB
IV	Itea virginica 'Morton'	Morton Sweetspire	24" BB
RA	Rhus aromatica 'Gro Low'	Gro Low Sumac	18" BB
SG	Spiraea japonica 'Gold Flame'	Gold Flame Spirea	18" BB
SK	Syringa pubescens 'Miss Kim'	Miss Kim Lilac	24" BB
TT	Taxus x media 'Tauntonii'	Taunton Yew	24" BB
VJ	Viburnum x 'Juddii'	Judd Viburnum	3' BB

Perennials

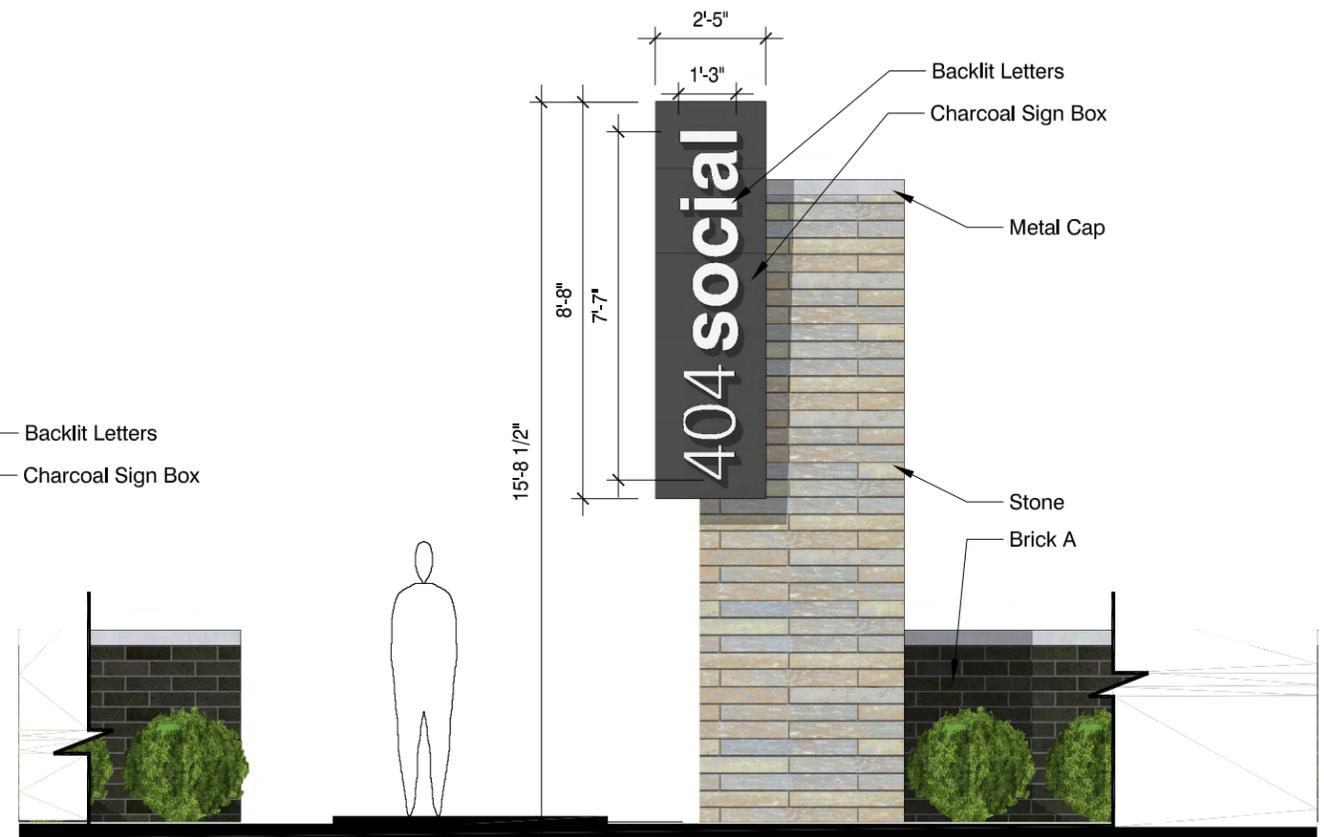
sym	Botanic Name	Common Name	Size
asb	Allium 'Summer Beauty'	Summer Beauty Onion	#1 Cont.
arc	Ajuga x 'Chocolate Chip'	Chocolate Chip Carpet Bugle	4" pots
dh	Chelone lyonii 'Hot Lips'	Pink Turtlehead	#1 Cont.
cvz	Coreopsis verticillata 'Zagreb'	Zagreb Tickseed	#1 Cont.
hga	Hosta 'Guacamole'	Guacamole Hosta	#2 Cont.
hhr	Hemerocallis 'Happy Returns'	Repeating Yellow Daylily	#1 Cont.
mst	Matteuccia struthiopteris	Ostrich Fern	#1 Cont.
pac	Pennisetum alopecuroides 'Cassian'	Cassian Fountain Grass	#1 Cont.
pls	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	#1 Cont.
ptg	Pachysandra terminalis 'Green Carpet'	Green Carpet Pachysandra	4" pots
rus	Rudbeckia subtomentosa	Sweet Black-Eyed Susan	#1 Cont.
snw	Salvia nemorosa 'Wesuwe'	Wesuwe Meadow Sage	#1 Cont.
saj	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	#1 Cont.
sea	Sesleria autumnalis	Autumn Moor Grass	#1 Cont.
ssc	Schizachyrium scoparium 'Carousel'	Carousel Little Bluestem	#2 Cont.
soh	Stachys officinalis 'Hummelo'	Hummelo Betony	#1 Cont.



Building Sign 1



Building Sign 2



Monument Sign



404 social
CityPark
Lincolnshire, Illinois

Signs



ECD COMPANY

250 PARKWAY DRIVE, SUITE 120

LINCOLNSHIRE, IL 60069

847.229.9200 PHONE

847.229.9266 FAX

TO: Mayor and Board of Trustees, Village of Lincolnshire

FROM: Scott David Greenberg, President of ECD Company

DATE: February 1, 2016

RE Submission of Requested Additional Project Information to
Gain Referral to Architectural Review Board by Village Board

ECD Company welcomes the opportunity to return to the Village Board on February 8th to present the additional information you requested concerning ECD Company's proposal to modernize the Regal Theatre and construct a 302-unit luxury rental community on the surplus land Regal no longer needs. These additional materials are being delivered to you with the hope that, on February 8th, you will refer our applications to the Architectural Review Board for consideration.

The following summarizes the additional information that has been or will be provided to you in anticipation of the upcoming meeting:

1. HKM Architects is providing:

- Existing Condition Drawings showing overlay of new plans
- Updated Site Layout Drawings
- Site Data Tables, Square Footages,
- Parking Information and Breakdowns by Buildings
- Preliminary Landscape Layouts
- Proposed Pedestrian Connections
- Details on Out-door Site Amenities
- Tentative Schedule for Proposed Species of Landscaped Material
- Diagrams for Each Floor of Every Building
- Building Elevations with building heights
- Unit Mix
- Various Renderings Viewed from Multiple Directions
- Interior Features in Public Areas
- Interior Features in each unit

2. The Perman Group is providing:

- Four Page Fiscal Impact Executive Summary and Policy Position
- Written Responses to Questions Raised by Trustees and Staff
- Updated Impact Tables reflecting Village Staff Comments

3. Mr. Luay Aboona, a principal at KLOA, Inc. is providing a summary traffic study

4. Ms. Meghan Czechowski, an MAI at Cushman Wakefield, is providing a Summary Market Study (to be delivered prior to COB, February 3rd)

5. Copies of Corporate Support Letters for Luxury Rental Community

We look forward to appearing before you again on February 8th.

ECD COMPANY

CHICAGO

DENVER

404 Social Project Features

Communal and Building Amenities

Roof deck lounge with DJ, video wall and fire tables
Heated courtyard pool with lap lane and water ping pong
Outdoor luxury spa tub
Sundeck with lounge chairs
Poolside Cabanas
Firepit and grilling areas
Tranquil pond with boardwalk and dock
Exterior walking paths
Private, fenced dog run
Pet-washing facilities
Indoor bicycle storage with bicycle maintenance station
Indoor kayak storage
Social lounge/Cyber cafe
Community room
Party room with kitchen
Fitness center
Yoga/spin studio
Media center
Private dining room with kitchen
Business center with conference rooms
Indoor, heated parking
Car wash station with vacuum and tire air
Electric vehicle charging stations
Daily coffee service
Complimentary WiFi in common areas
On-site management
Neighboring entertainment, shopping and dining

Building Architecture

Modern appearance with straight lines and exceptionally high quality finish materials, selected for durability, and in appealing colors for a fresh, hip and urban contemporary feel
Projecting and cantilevered elements call attention to entry areas and special uses
Large cable-supported suspended balconies with high-tech mesh railings, oversize windows, and expansive sliding glass patio doors for sun-filled living spaces
Dynamic and sophisticated rooftop lounge and bar overlooking the communal courtyard and social hub of the complex

Apartment Features

Open floor plan
9-foot ceilings
Top floor loft units with 10-foot ceilings
Private balcony
Luxury baths with rainshower showerheads
Walk-in closets
Breakfast bar
Quartz countertops in kitchen and bath
Stainless-steel gourmet kitchen appliances
Gas range
Built-in microwave
Upgraded cabinetry
In-unit washer/dryer
Wired for high-speed internet access
Plank flooring in living areas
Designer ceramic tile floors and tub surrounds
Operable roller blinds

THE PERMAN GROUP

PUBLIC AFFAIRS STRATEGY
PUBLIC POLICY COMMUNICATIONS

Executive Summary

Over the last several years, as demographic and economic trends caused the marketplace in and around Lincolnshire to shift, the retail/restaurant/entertainment revenue at CityPark and Regal Lincolnshire Stadium 21 Megaplex (the "Regal Theatres") has flattened and begun a downward trajectory. The opening of a new AMC Theater in Hawthorne has caused the Regal Theatres to no longer be viable long term, without a major investment for upgrades to address market changes and a significant reduction in operating costs.

Although mixed-use retail and movie theatre developments have, by most measures, been successful since their inception in the late 1990s, Regal Entertainment and the CityPark developer, ECD Company, are now looking to adjust their concept through a modernization and right-sizing of the existing cinemas, combined with the development of a luxury 302 unit rental apartment community (this redevelopment project is hereinafter referred to as the "Redevelopment Project"). The Redevelopment Project also facilitates a long term extension of the Regal lease.

Increased Village Tax Receipts with the Proposed Redevelopment Project

Provided the Redevelopment Project is approved by the Village, in its first two years (2016-2017), the Village will realize over **\$6.1M**, mainly from fees, permits, and the Park's donation. Below is a forecasted breakdown of the increased tax receipts and fees to the Village between the years 2016-2018.

Increased Village Tax Receipts	2016	2017	2018
Village Receipts from Residential Development			
Sales Tax from Residents Living in Project		27,755	94,828
Utility Tax Receipts		30,336	101,184
Telecommunications Tax Receipts		22,120	73,780
Village Permits & Fees	1,855,180	618,393	
Lincolnshire Park Donation		2,880,325	
Pension & Fire Protection Share of Prop. Tax	33,288	33,288	158,226
Village Receipts from Cinema			
Cinema Admissions Tax Receipts	152,000	182,400	200,640
Concessions Sales Tax Receipts	22,260	26,656	29,321
Retail Sales Tax Receipts Resulting from Cinema	114,548	117,985	121,525
Total	\$2,177,276	\$3,939,258	\$779,504

Starting in 2019, the Redevelopment Project will generate nearly **\$800K** in annual tax receipts for the Village and then scale up so that by 2021, the Village will realize over **\$900K** annually.

Below is a forecasted breakdown of increased tax receipts to the Village between 2019-2023.

Increased Village Tax Receipts	2019	2020	2021	2022	2023
Village Receipts -- Residential					
Sales Tax from Residents Living in Project	97,546	100,566	103,586	106,606	109,928
Utility Tax Receipts	101,184	101,184	101,184	101,184	101,184
Telecommunications Tax Receipts	73,780	73,780	73,780	73,780	73,780
State Income Tax			49,011	49,011	49,011
Motor Fuel Tax			11,594	11,594	11,594
Pension & Fire Protection Share of Prop. Tax	158,226	178,083	178,083	178,083	178,083
Village Receipts -- Cinema					
Cinema Admissions Tax Receipts	206,659	212,859	219,245	225,822	232,597
Concessions Sales Tax Receipts	30,201	31,107	32,040	33,001	33,991
Retail Sales Tax Receipts Resulting from Cinema	125,171	128,926	132,794	136,777	140,881
Total	\$792,766	\$826,505	\$901,316	\$915,859	\$931,049

The proposed Redevelopment Project offers the Village an opportunity to generate continuous tax receipts from the Regal Theatres and new annual tax receipts from the new rental apartments without any significant additional costs to the community.

Declining Village Tax Receipts without the Redevelopment Project

Should the Village not approve the Redevelopment Project, the Village is forecasted to see a significant decline in admission and sales taxes receipts.

The current model for the Regal Theatres is unlikely to be viable going forward. In fact, Regal Entertainment has indicated that if the current trends continue, it is quite possible they will move to close the Lincolnshire theatres. In order for the Regal Theatres to stay open in Lincolnshire, a major reinvestment is necessary to "right size" the cinemas and make operations competitive and profitable – combined with a reduction in operating costs. The Redevelopment Project accomplishes this objective for Regal Entertainment.

Likely Risk of Tax Receipts Being Paid to the Village Should Redevelopment Not Occur

Declining Village Tax Receipts w/o Redevelopment	2015	2016	2017	2018	2019
Total Property Taxes Paid	294,652	303,492	312,597	321,975	331,634
Village Share Pension & Fire Protection	33,280	34,264	35,292	36,351	37,375
Aptakistic-Tripp S.D. #102 Share	117,861	121,397	125,039	128,790	132,654
Stevenson S.D. #125	94,289	97,117	100,031	103,032	106,123
Village Receipts -- Cinema					
Cinema Admissions Tax Receipts	209,000	152,000	121,600	97,280	0
Concessions Sales Tax Receipts	30,543	22,260	17,771	14,216	0
Retail Sales Tax Receipts Resulting from Cinema	114,548	91,639	73,311	58,649	0
Total Cinema Receipts to Village	354,091	265,899	212,682	170,145	0
Total Receipts to Village of Lincolnshire Only	\$387,31	\$300,163	\$247,974	\$206,496	\$37,375

Based on projections from Regal Entertainment and our calculations, in 2016, the Village will only derive **\$265,899** from the cinemas and **\$34,264** from its share of the property tax for Village Employee Pensions and Fire Protection.

With no redevelopment, those numbers will continue to decline in 2017, with an eventual closing of the theatres at the end of 2018. In the absence of redevelopment, the Village will lose sales tax receipts of nearly \$300K per year, leaving only a marginal property tax payable on an obsolescent site.

Local Public Schools Will Generate Surplus Receipts from the Redevelopment Project

School districts #102 and #125 will see a significant net positive financial benefit from the Redevelopment Project. Even after taking into account for the nominal addition of a forecasted 24 elementary school children who will attend the Aptakistic-Tripp School District #102 and the forecasted eight children who will attend Stevenson High School District #125, the new property taxes and impact fees generated by the Redevelopment Project will produce positive tax receipts substantially higher than the marginal costs to educate the additional students.

The immediate new surplus receipts are shown below:

Increased School Tax Receipts & Surplus	2016	2017	2018	2019	2020
Total Property Taxes Paid	303,492	303,492	1,442,613	1,442,613	1,623,661
Aptakistic-Tripp S.D. #102 Surplus Revenue	121,397	320,763*	196,597	184,429	244,320
Stevenson S.D. #125 Surplus Revenue	97,117	132,328*	309,756	304,828	357,692
Total Surplus Revenue to Both School Districts	\$218,514	\$453,091	\$506,353	\$489,257	\$602,012

Lincolnshire-Prairie View School District #103 is unaffected as the Subject Property is not in this Village elementary and middle school district.

* In 2017, Aptakistic-Tripp receives a one-time impact fee of \$370K and Stevenson receives a one-time impact fee of \$90K, which fees are not included in the above table.

Without the redevelopment, it is likely the local school districts will see a significant decline in tax receipts generated by property taxes from the Regal Theatres and CityPark.

Forecasted Demographic Profile of Likely Residents at New Rental Community

- Looking at similar luxury rental apartment communities on the North Shore, the Village can expect the likely residents of the rental community to be an affluent population which, from a household income perspective, will resemble the current population of Lincolnshire.
- The median household income of Lincolnshire is \$112,699, which is the same as the minimum income necessary to rent a 3-bedroom apartment in the proposed residential development.

- Over the next 25 years, demographic shifts and housing preferences related to such shifts will result in a greater diversity of housing demand in Lake County. The growth in Lake County will come from Young Professionals (ages 25-34), who are slower to marry and have children, and from empty-nesters and retirees. It is these populations and their lifestyle choices that are and will be driving demand for the luxury apartments.
- Many of the likely residents will work at Lincolnshire or nearby companies and are apt to be professional and business people.
- Of the 302 units, it is expected that 10% will be for local corporate housing. These units often house out of town senior executives and part time out of town consultants.

Conclusions

- The luxury apartments will have the two-fold benefit of assisting the talent and housing needs of Lincolnshire's companies (upon which Lincolnshire is highly dependent on its daytime population for sales tax receipts), and serving as a modern housing option for Lincolnshire's empty-nesters who are downsizing from their existing residences but want to remain in the Village.
- The Regal Theatres, under a long term lease extension, will continue to be a long term tax receipt generator for the Village and an important amenity for residents and local retail.
- The Redevelopment Project not only helps Regal Theatres and CityPark, but also Lincolnshire Commons, and should spur more commercial and retail synergies throughout the Village. Rental apartments are complementary to Regal Theatres, CityPark and Lincolnshire Commons.
- The Redevelopment Project fits with the Village's stated economic development strategy and goals.
- From a benefit/cost perspective, the Redevelopment Project is a winner for both the local government/taxing districts and the Lincolnshire economy. Without redevelopment, Lincolnshire risks losing critical tax receipts which fund the delivery of vital public services and quality education for its children.

THE PERMAN GROUP

PUBLIC AFFAIRS STRATEGY
PUBLIC POLICY COMMUNICATIONS

MEMORANDUM

TO: Scott Greenberg

FR: Jonathan Perman

DATE: January 27, 2016

RE: Economic and Fiscal Impact of CityPark and Regal Lincolnshire Cinemas Redevelopment on the Village of Lincolnshire Only

Over the time period we examined (2016-2028), the Village of Lincolnshire stands to generate over \$16M (\$11.9M NPV) in tax receipts and fees from the residential project and theatre modernization. This tax revenue includes:

- Village Pension Share and Fire Protection/Pension Share of the Property Tax.
- Tax receipts from the Residential Project: Sales Tax from residents living in the new apartments, state income tax, motor fuel tax, utility tax, and telecommunications tax.
- Fees and Permits associated with the construction of the residential and theatre project.
- Lincolnshire Park donations.
- Cinema Admissions tax receipts.
- Cinema Concessions sales tax receipts.
- Retail sales tax receipts resulting from the movie theatres.

In the first two years (2016-2017), the Village realizes over **\$6.1M**, mainly from fees, permits, and the Parks donation. Starting in 2018, the project will generate nearly **\$800K** in tax receipts for the Village and then scale up so that by 2026, the Village is realizing just over **\$1M** annually.

By comparison, in 2015, the combination of admissions/sales tax receipts from the Regal cinemas, the property taxes paid, and retail sales tax receipts attributed to the movie theatres represents **\$386,422** to the Village of Lincolnshire -- an amount that has been declining.

These estimates do **not** include the tax revenue generated for the Aptakisic-Tripp School District #102 or the Stevenson High School District #125. Nor do they include the one-time donation of \$92,000 to the Vernon Area Public Library in 2017 or the property tax shares that accrue to the nine other tax districts which provide valuable services benefitting the citizens and businesses of Lincolnshire.

The proposed project offers the Village of Lincolnshire an opportunity to generate continuous and growing new tax receipts through the building of the new rental apartments and modernization of Regal Lincolnshire cinemas. In the absence of this project, the cinema is likely to close by the end of 2018 and take with it substantial sales tax revenue leaving only a marginal property tax paid on the obsolescent site.

The attached tables and this narrative comport with the assumptions provided in the full Economic Policy and Forecast for CityPark/Regal Lincolnshire Movie Theatres, published January 4, 2016.

Table 1 Estimated Project Tax Revenue

Type of Tax	2016	2017	2018	2019	2020	2021	2022
Property Tax	303,492	303,492	1,442,613	1,442,613	1,623,661	1,623,661	1,623,661
Sales Tax from Residents Living in the Project		27,755	94,828	97,546	100,566	103,586	106,606
State Income Tax						49,011	49,011
Motor Fuel Tax		30,336	101,184	101,184	101,184	11,594	11,594
Utility Tax		22,120	73,780	73,780	73,780	101,184	101,184
Telecommunications Tax						73,780	73,780
Village of Lincolnshire Fees, Permits, etc....	1,855,180						
Lincolnshire Park Donations	2,880,325						
Village Pension Share of Property Tax	7,673	7,673	36,469	36,469	41,046	41,046	41,046
Village Fire Protection & Pension Share of Prop. Tax	25,615	25,615	121,757	121,757	137,037	137,037	137,037
Total Village Receipts from Residential Project	1,888,468	3,612,217	428,018	430,736	453,613	517,238	520,258
Total Tax Receipts Paid by Residential Project	2,158,672	3,882,421	1,712,405	1,715,123	1,899,191	1,962,816	1,965,836
Village Admissions Tax Receipts	152,000	182,400	200,640	206,659	212,869	219,245	225,822
Village Concessions Sales Tax Receipts	22,260	26,656	29,321	30,201	31,107	32,040	33,001
Village Retail Tax Receipts Resulting from Cinema	114,548	117,985	121,525	125,171	128,926	132,794	136,777
Total Village Tax Receipts Resulting from Cinema	288,808	327,041	351,486	362,031	372,891	384,078	395,601
Grand Total Village of Lincolnshire Tax Receipts	2,177,276	3,939,258	779,504	792,766	826,505	901,316	915,859
Total							
Type of Tax	2023	2024	2025	2026	2027	2028	2016-2028
Total Property Tax	1,623,661	1,827,430	1,827,430	1,827,430	1,827,430	2,056,773	19,353,347
Sales Tax from Residents Living in the Project	109,928	113,250	116,572	120,196	123,820	127,444	1,242,097
State Income Tax	49,011	49,011	49,011	49,011	49,011	49,011	392,088
Motor Fuel Tax	11,594	11,594	11,594	11,594	11,594	11,594	92,752
Utility Tax	101,184	101,184	101,184	101,184	101,184	101,184	1,143,360
Telecommunications Tax	73,780	73,780	73,780	73,780	73,780	73,780	833,700
Village Pension Share of Property Tax	41,046	46,197	46,197	46,197	46,197	51,995	489,254
Village Fire Protection & Pension Share of Prop. Tax	137,037	154,235	154,235	154,235	154,235	173,592	1,633,422
Total Village Receipts from Residential Project	523,580	549,252	552,574	556,198	559,822	588,600	11,180,571
Total Tax Receipts Paid by Residential Project	1,969,158	2,176,249	2,179,571	2,183,195	2,186,819	2,419,786	28,411,242
Village Admissions Tax Receipts	232,597	239,575	246,762	254,165	261,790	269,643	2,904,156
Village Concessions Sales Tax Receipts	33,991	35,011	36,061	37,143	38,257	39,405	424,453
Village Retail Tax Receipts Resulting from Cinema	140,881	145,107	149,460	153,944	158,563	163,319	1,789,001
Total Village Tax Receipts Resulting from Cinema	407,469	419,693	432,283	445,252	458,610	472,368	5,117,610
Grand Total Village of Lincolnshire Tax Receipts	931,049	968,944	984,857	1,001,449	1,018,431	1,060,968	16,298,181

Table 1a-Probable Case Scenario Cumulative and NPV Tax Revenue -- Village of Lincolnshire

Year	2016	2017	2018	2019	2020	2021	2022	2023
Village Receipts from Residential Project	\$ 1,888,468	\$ 3,612,217	\$ 428,018	\$ 430,736	\$ 453,613	\$ 517,238	\$ 520,258	\$ 523,580
Village Tax Receipts from Cinema	288,808	327,041	351,486	362,031	372,891	384,078	395,601	407,469
Total Village of Lincolnshire Tax Receipts	2,177,276	3,939,258	779,504	792,767	826,504	901,316	915,859	931,049
Cumulative Revenue	2,177,276	6,116,534	6,896,038	7,688,805	8,515,309	9,416,625	10,332,484	11,263,533
Net Present Value of Cumulative Revenue	11,943,205							

Year	2024	2025	2026	2027	2028
Village Receipts from Residential Project	\$ 549,252	\$ 552,574	\$ 556,198	\$ 559,822	\$ 588,600
Village Tax Receipts from Cinema	419,693	432,283	445,252	458,610	472,368
Total Village of Lincolnshire Tax Receipts	968,945	984,857	1,001,450	1,018,432	1,060,968
Cumulative Revenue	12,232,478	13,217,335	14,218,785	15,237,217	16,298,185

THE PERMAN GROUP

PUBLIC AFFAIRS STRATEGY
PUBLIC POLICY COMMUNICATIONS

MEMORANDUM

TO: Scott Greenberg

FR: Jonathan Perman

DATE: January 27, 2016

RE: Economic and Fiscal Impact of Residential vs. Commercial Development at CityPark

During the recent discussion by the Village of Lincolnshire Trustees about possible alternatives to the proposed rental apartment proposal at CityPark, a constructive question was asked: would the Village derive more or less financial benefits from a 300,000 sq. ft. commercial office building or from a residential building of the same size? ECD Company (ECDCO) was asked to provide the Village Trustees with an economic and fiscal analysis comparing commercial and residential development.

If the proposed redevelopment of the Regal Lincolnshire theatres with a rental apartment project is approved, the Village of Lincolnshire is estimated to receive **\$16,297,181** (\$11.9M NPV) over the study period 2016-2028 in tax receipts and fees.

Looking at the estimated tax revenue projections with a 300,000 sq. ft. commercial office building instead of the proposed 300,000 sq. ft. residential project, the Village of Lincolnshire stands to receive 40% less tax revenue: **\$9,781,945** (\$6.6M NPV) over the same study period.

Why such a significant difference? First, the largest variation is because under the Village of Lincolnshire ordinance, there is no donation to the Parks Department (**\$2,880,325**) with a commercial office building. Also, according to the Village staff, the water/sewer fees would be only **\$312,201** rather than **\$2,155,374** in the proposed residential project.

Second, the commercial office property is estimated to be assessed at about half of what the residential property is estimated at, using a comparable nearby office building and adjusting for new construction. The result is the Village Pension share and Fire Protection & Pension Share of the property tax will be significantly less than if the residential project advances. In an

affluent community like Lincolnshire, the assessed value of residential property, on a per-square foot basis, tends to be higher than the assessed value of commercial office space.

Finally, the sales taxes generated from spending by residents are higher than spending by employees, given the assumptions of where consumers spend on convenience and comparison goods. The main reason consumer spending is greater with a residential property is rental apartments create households while commercial properties only create individual employees.

The specific differences in taxes and fees over the study period (2016-2028) are:

<u>With Residential Project</u>	<u>With Commercial Office Building</u>
Sales Taxes from Residents: \$1,242,097	Sales Taxes from 600 employees: \$846,900
State Income Tax: \$392,088	None
Village Fees and Permits: \$2,473,573	\$675,245
Village Pension Share of Property Tax: \$489,254	\$247,172
Village Fire Protection & Pension Share of Prop. Tax: \$1,633,422	\$825,206
Total Village Tax Receipts: \$11,180,571	\$4,664,335
Grand Total Village of Lincolnshire Tax Receipts incl. taxes resulting from Cinema: \$16,298,181	\$9,781,945

Although the Vernon Public Library and the school districts are separate taxing bodies and not part of the Village of Lincolnshire, there also would be no donations to these government districts with the commercial office building. On the other hand, under the commercial office building scenario, the Aptakisic-Tripp School District #102 and Stevenson High School District #125 would see all net positive revenue because there would be no new school children.

It is also important to note that generally there is much more certainty about the future of revenues from a residential rental apartment development than commercial office space. While similar residential projects in the area have occupancy rates of 90-95% (or higher) once they reach stabilization after two years of opening, commercial office buildings have a much more uncertain outcome due to the fleeting nature of corporate America. The Village of Lincolnshire is well aware of the many moves and changes by major companies that have transpired in the Village and in surrounding communities in the last several years.

Related to this is the fact that Class A commercial office space in the North Suburban Market is 20.9% vacant, there was no speculative construction completed in 2015, and none is expected in 2016¹. Under these market conditions, it is difficult to imagine that a new Class A office building could be financed now in Lincolnshire.

1. Colliers International, Suburban Chicago Office Research & Forecast Report, 4th Quarter 2015.

Assumptions

The analysis of the movie theatre portion of the redevelopment remains the same.

300,000 sq. ft. commercial office, new construction, Class A.

For a property tax comparable, the report looked at 3 Overlook Point in Lincolnshire, which is close to CityPark and has 290,000 sq. ft. of Class A office space. This building houses Zebra Technologies, which has 230,000 sq. ft. leased.

The number of employees in a 300,000 sq. ft. Class A office building will vary widely. On the low end is NONE, exemplified by 2 Overlook Point, which used to house Walgreens in 321,000 sq. ft. On the high end are buildings which house as many as four employees per 1,000 sq. ft, which would equal 1,200 employees in a 300,000 sq. ft. building. For purposes of this analysis, 600 employees are used.

The current parcel of land and buildings (PIN 15-27-206-018) hosting the Regal Lincolnshire Stadium 21 & IMAX cinemas has an equalized assessed value (EAV) of \$3,090,890 for the 2014 tax year. This includes both the 19.58 acres of land (mostly parking) and the theatre building. After the modernization, it is estimated the value of the buildings will drop by 15% with a reduction in the size of theatres, though the land value will stay the same. While the number of theatre seats are expected to drop 59%, from 4,400 to 1,800, the additional amenities less reduction in the size of the theatre buildings would suggest a diminishment in building value of only 15%. Using the baseline of the 2014 tax bill, this would result in a decrease in EAV of \$186,199.

To determine the property taxes of a new 8-acre parcel which will evolve from the part of the existing cinema parking lot that is no longer needed, we used the closest comparable we could find: 3 Overlook Point in Lincolnshire. That property, opened in 1991, is 300,000 sq. ft. Due to its age we have added 25% to its current EAV (\$5,731,187) to give us an estimated 2013 EAV on the land and buildings of **\$7,163,984**.

So, taking the \$7,163,984 and subtracting the decrease in value of the modernized cinema property, \$186,199, results in a net EAV of **\$6,977,785**. Finally, since this is the EAV in 2013, we bring it up to 2015 (paid in 2016) by adding 3% each for 2014 and 2015. This provides a starting base EAV of **\$7,402,732**.

Property taxes are based on the following assumptions. Lake County Quadrennial Reassessment years occur in 2015, 2019, 2023, and 2027. Taxes based on the reassessment are due in the following years, respectively.

The study uses a 3% growth rate in assessment for a compounded 4-year increase between reassessments of 12.55%.

We have used the current state multiplier of 1.00 and current tax rate on the ECD Subdivision Unit 2, Lot 1 of 9.532926% throughout the study period.

Sales tax receipts are based on **average employee income of \$75,213** in 2016, which is Lincolnshire's per capita income. The growth in household income is estimated at 3% per year.

The study assumes the average household spends 20% of their annual income on convenience goods, of which 30% are purchased locally. The study also assumes the average household spends 10% of their annual income on comparison goods, of which 30% is purchased locally.

The building permit fees are increased by 20% over the residential project, assuming a commercial office construction cost of \$75M rather than \$60M for residential. The administrative fee of \$93,975 collected by the Village remains the same.

Estimated Project Tax Revenue-with Commercial Building-Table 1

Type of Tax	2016	2017	2018	2019	2020	2021	2022
Property Tax	303,492	303,492	705,697	705,697	794,262	794,262	794,262
Sales Tax from 600 Employees (180 in Year 2017)		18,900	64,800	66,600	68,400	70,800	72,600
State Income Tax						None	0
Motor Fuel Tax		30,336	101,184	101,184	101,184	11,594	23,188
Utility Tax		22,120	73,780	73,780	73,780	101,184	536,256
Telecommunications Tax		168,811				73,780	391,020
Village of Lincolnshire Fees, Permits, etc...	506,434						675,245
Lincolnshire Park Donations		None					0
Village Pension Share of Property Tax	7,673	7,673	17,840	17,840	20,079	20,079	111,263
Village Fire Protection & Pension Share of Prop. Tax	25,615	25,615	59,561	59,561	67,036	67,036	371,458
Total Village Receipts from Commercial Project	539,722	273,455	317,165	318,965	330,479	344,473	2,470,530
Total Tax Receipts Paid by Commercial Project	809,926	543,659	945,461	947,261	1,037,626	1,051,620	6,388,973
Village Admissions Tax Receipts	152,000	182,400	200,640	206,659	212,859	219,245	225,822
Village Concessions Sales Tax Receipts	22,260	26,656	29,321	30,201	31,107	32,040	33,001
Village Retail Tax Receipts Resulting from Cinema	114,548	117,985	121,525	125,171	128,926	132,794	136,777
Total Village Tax Receipts Resulting from Cinema	288,808	327,041	351,486	362,031	372,891	384,078	395,601
Grand Total Village of Lincolnshire Tax Receipts	828,530	600,496	668,651	680,995	703,370	728,551	4,952,466
Total							
Type of Tax	2023	2024	2025	2026	2027	2028	2016-2028
Total Property Tax	794,262	893,942	893,942	893,942	893,942	1,006,132	9,777,326
Sales Tax from 600 Employees	75,000	77,400	79,200	81,600	84,600	87,000	846,900
State Income Tax							484,800
Motor Fuel Tax	11,594	11,594	11,594	11,594	11,594	11,594	69,564
Utility Tax	101,184	101,184	101,184	101,184	101,184	101,184	607,104
Telecommunications Tax	73,780	73,780	73,780	73,780	73,780	73,780	442,680
Village Pension Share of Property Tax	20,079	22,599	22,599	22,599	22,599	25,435	135,909
Village Fire Protection & Pension Share of Prop. Tax	67,036	75,449	75,449	75,449	75,449	84,918	453,748
Total Village Receipts from Commercial Project	348,673	362,006	363,806	366,206	369,206	383,911	2,193,805
Total Tax Receipts Paid by Commercial Project	1,055,820	1,157,900	1,159,700	1,162,100	1,165,100	1,279,690	6,980,310
Village Admissions Tax Receipts	232,597	239,575	246,762	254,165	261,790	269,643	2,904,156
Village Concessions Sales Tax Receipts	33,991	35,011	36,061	37,143	38,257	39,405	1,504,531
Village Retail Tax Receipts Resulting from Cinema	140,881	145,107	149,460	153,944	158,563	163,319	219,868
Total Village Tax Receipts Resulting from Cinema	407,469	419,693	432,283	445,252	458,610	472,368	2,635,674
Grand Total Village of Lincolnshire Tax Receipts	756,141	781,698	796,089	811,458	827,815	856,278	4,829,479

**Table 1a-Probable Case Scenario -- w/ Commercial Building
Cumulative and NPV Tax Revenue -- Village of Lincolnshire**

Year	2016	2017	2018	2019	2020	2021	2022	2023
Village Receipts from Commercial Project	\$ 539,722	\$ 273,455	\$ 317,165	\$ 318,865	\$ 330,479	\$ 344,473	\$ 346,273	\$ 348,673
Village Tax Receipts from Cinema	288,808	327,041	351,486	362,031	372,891	384,078	395,601	407,469
Total Village of Lincolnshire Tax Receipts	828,530	600,496	668,651	680,896	703,370	728,551	741,874	756,142
Cumulative Revenue	828,530	1,429,026	2,097,677	2,778,573	3,481,943	4,210,494	4,952,368	5,708,510
Net Present Value of Cumulative Revenue	6,571,274							

Year	2024	2025	2026	2027	2028
Village Receipts from Commercial Project	\$ 362,006	\$ 363,806	\$ 366,206	\$ 369,206	\$ 383,911
Village Tax Receipts from Cinema	419,693	432,283	445,252	458,610	472,368
Total Village of Lincolnshire Tax Receipts	781,699	796,089	811,458	827,816	856,279
Cumulative Revenue	6,490,209	7,286,298	8,097,756	8,925,572	9,781,851

Table 2: Estimated Per Employee Spending & Sales Tax Revenue-Commercial Bldg.

Type of Spending	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028
Per Capita Income	75,213	77,469	79,793	82,187	84,653	87,192	89,808	92,503	95,278	98,136	101,080	104,112	107,236
20% Convenience Goods	15,043	15,494	15,959	16,437	16,931	17,438	17,962	18,501	19,056	19,627	20,216	20,822	21,447
10% Comparison Goods	7,521	7,747	7,979	8,219	8,465	8,719	8,981	9,250	9,528	9,814	10,108	10,411	10,724
30% Local Spent Convenience Goods	4,513	4,648	4,788	4,931	5,079	5,232	5,388	5,550	5,717	5,888	6,065	6,247	6,434
30% Local Spent Comparison Goods	2,256	2,324	2,394	2,466	2,540	2,616	2,694	2,775	2,858	2,944	3,032	3,123	3,217
1.5% Taxable Share Convenience Goods	68	70	72	74	76	78	81	83	86	88	91	94	97
1.5% Taxable Share Comparison Goods	34	35	36	37	38	39	40	42	43	44	45	47	48
Total Tax Revenue	102	105	108	111	114	118	121	125	129	132	136	141	145

MEMORANDUM TO: Scott David Greenberg
ECD Company

FROM: William R. Woodward
Senior Consultant

Luay R. Aboona, PE
Principal

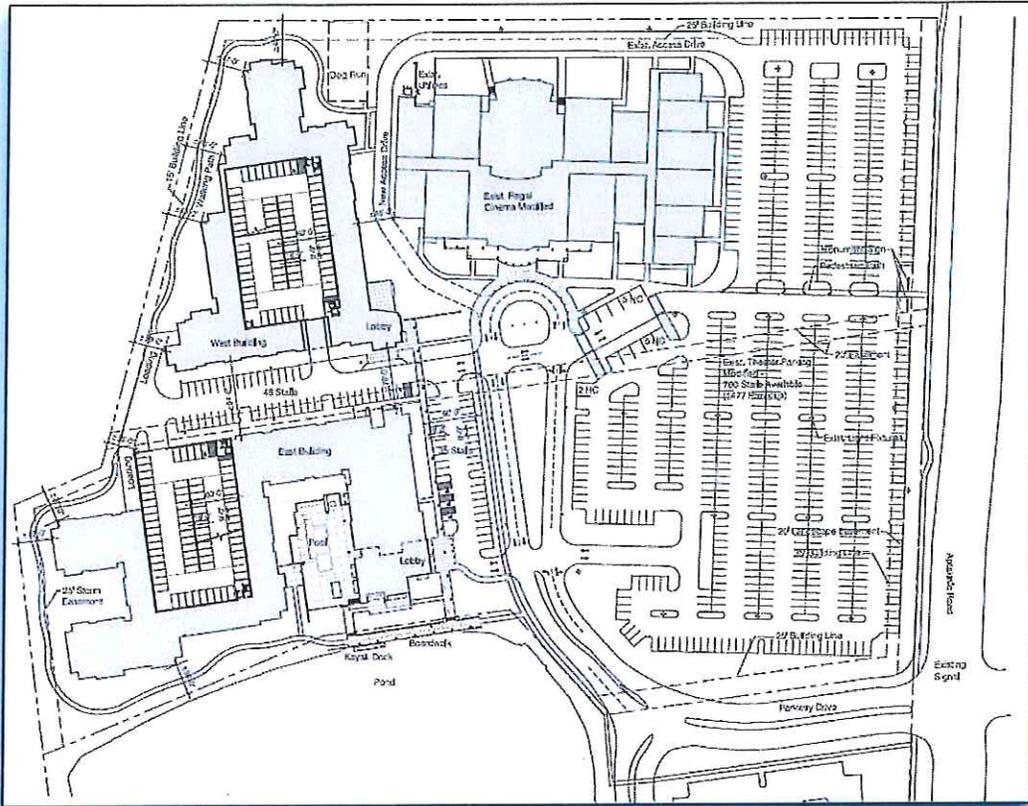
DATE: February 1, 2016

SUBJECT: Site Circulation and Parking Evaluation Summary
CityPark Residential Development
Lincolnshire, Illinois

This memorandum summarizes the results of a summary site circulation and parking evaluation conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the proposed CityPark residential apartment development to be located on the Regal Cinemas parcel, which is located at 300 Parkway Drive in Lincolnshire, Illinois.

The plans call for two apartment buildings to occupy the southern parking field of the Regal Cinemas parcel. The west building will provide approximately 123 units and 255 parking spaces, and the east building will provide approximately 179 units and 360 parking spaces. Further, the Regal Cinemas will be modified by reducing the number of screens from 21 to 15 screens, and the number of seats from approximately 4,000 seats to 1,500 seats. Additionally, the number of parking spaces for the movie theater will be reduced to 700 parking spaces. **Figure 1** shows the conceptual site plan.

The purpose of this evaluation was to address internal circulation and site access and evaluate the parking needs of the proposed development.



Conceptual Site Plan

Figure 1

Development Access

The development will continue to be served by the main access driveway off Parkway Drive, providing two lanes inbound and two lanes outbound under stop sign control.

Internal Circulation

The east-west main access driveway will be divided by a landscaped median and will provide access to the movie theater in addition to the proposed apartment development. At its first internal intersection, the main east-west driveway will intersect with the east apartment building surface parking lot to the south, and the movie theater general parking area to the north. The south leg serving the east apartment building lot should be restricted to right-in/left-out/right-out only turning movements to/from the east-west main access drive. The north leg should provide one lane inbound and one lane outbound under stop sign control.

The east-west main access drive will continue west to the movie theater complex, where it will provide a two-lane port-cochere driveway for drop-off/pick-up of guests. A north-south drive aisle will separate the main east-west access driveway from the port-cochere. To the north, the north-south drive aisle will provide access to the general theater parking. To the south, the drive aisle will provide access to both of the residential apartment buildings, which includes access to the proposed parking garages for each respective building. It is recommended that the northern and southern intersections created by this north-south drive aisle be under all-way stop sign control to control turning movements at these intersections and enforce who has the right-of-way to proceed through the respective intersections.

Estimated Development Traffic Generation

The estimates of traffic to be generated by the proposed residential development and the movie theater enhancement are based upon the proposed land use types and sizes. The volume of traffic generated for all land uses was estimated using data published in the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, 9th Edition.

Table 1 shows a trip generation comparison between the existing use and the total trips anticipated from the proposed use for the weekday morning, weekday evening, and Saturday peak hours. It is important to note that the movie theater is not open during the weekday morning peak hours.

As shown in Table 1, the overall proposed development will generate less traffic during the weekday evening and Saturday peak hours. Although the proposed residential development will generate traffic during the weekday morning peak hour where none currently exists, the modified theater complex development, which includes reducing the number of screens and seats, will continue not to generate traffic during this time. As such, the overall proposed residential development combined with the movie theater enhancement will have a comparable, if not lower impact to the surrounding roadway network that what is already being currently experienced particularly during the Saturday peak hour.

Table 1
TRIP GENERATION COMPARISON – PEAK HOUR TRAFFIC VOLUMES

Land-Use	Weekday				Saturday	
	A.M.		P.M.		P.M.	
	In	Out	In	Out	In	Out
<u>Proposed Development</u>						
Apartments–302 units (LUC 220)	31	121	119	65	72	72
Theater – 1,500 seats (LUC 445)	<u>0</u>	<u>0</u>	<u>54</u>	<u>96</u>	<u>169</u>	<u>156</u>
Total Proposed Trips:	31	121	173	161	241	228
<u>Current Development</u>						
Theater – 4,000 seats	<u>0</u>	<u>0</u>	<u>240</u>	<u>160</u>	<u>650</u>	<u>600</u>
Trip Generation Difference:	+31	+121	-67	+1	-409	-372

Pedestrian Access

A continuous sidewalk is proposed along the south side of the east-west main access drive from Parkway Drive to the movie theater building. Further, sidewalks are proposed around and within the two apartment buildings. Additionally, high-visibility crosswalks will be provided at major internal intersections, including the two intersections at the movie theater port-cochere entrance and exit. Additionally, bicycle racks will be provided within the development. All of these proposed features will continue to encourage and enhance pedestrian and bicycle mobility within the area.

Parking Evaluation

A parking evaluation comparison of the two land uses between the proposed parking, the parking required based on Village Code, and the parking recommended based on survey data published by ITE (4th Edition of the Parking Generation Manual) follows.

Residential Parking

A total of approximately 615 parking spaces are proposed for the total 302-unit apartment development, which translates to a parking rate of approximately 2 parking spaces per unit. The Village requires 1.5 spaces per 1-bedroom units and 2.5 spaces for 2+ bedroom units. The development proposes a total of 141 1-bedroom units and 161 2+ bedroom units, requiring 615 parking spaces. Therefore, the proposed residential parking supply meets Village Code. Furthermore, ITE data shows an average peak parking demand of 1.23 spaces per unit, or 246 parking spaces. As such, the proposed 615 parking spaces are adequate to accommodate peak residential parking demands.

Theater Parking

The plans for the theater complex include reducing the number of overall seats from 4,000 seats to approximately 1,500 seats. A total of approximately 700 parking spaces are proposed for the 1,500-seat theater complex, which translates to a parking rate of approximately 1 space per 2 seats. Village Code requires 1 space per 3 seats, or 500 parking spaces. As such, the proposed parking exceeds Village Code requirements. Furthermore, ITE data suggests a parking rate of approximately 1 space per 6 seats, or 250 parking spaces. Given this information, the proposed 700 parking spaces for the approximate 1,500 seat theater complex are adequate to accommodate peak parking demands.

A parking occupancy survey was conducted at the theater from Thursday, January 21st through Saturday, January 23, 2016. The surveys indicate that the peak occupancy on a weekday was 315 parking spaces and on Saturday was 665 parking spaces. When translated to the reduced number of seats, the peak observed demand will be approximately 250 parking spaces, which can be easily accommodated by the proposed parking supply.

Conclusion

Based on the proposed development plan and the preceding evaluation, the following preliminary conclusions and recommendations are made.

- The proposed development will generate comparable, if not less, vehicle traffic during peak hours than the existing use.
- The proposed residential development will generate a low volume of traffic and, as such, will have a low impact on the surrounding roadways.
- The proposed access drive on Parkway Drive will continue to be adequate to accommodate traffic during peak hour periods.
- The proposed 615 parking spaces for the residential parking meets Village Code and will be adequate to accommodate peak parking demands.
- The proposed 700 parking spaces for the theater complex exceeds Village Code and will be adequate to accommodate peak parking demands.

February 4, 2016

Mr. Scott Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, IL 60069

Re: Preliminary Apartment Market Research – Lincolnshire, IL

Dear Mr. Greenberg:

The following information has been researched and summarized based upon our preliminary market research regarding the Primary Market Area (PMA) within a 20 minute drive-time of Lincolnshire, IL.

TYPICAL TENANT PROFILE OF NEWLY CONSTRUCTED LUXURY SUBURBAN APARTMENTS

We have summarized the typical tenant profile as reported by property managers within the PMA:

Tenant Profile	
Category	% of total
<i>Local</i>	35%
<i>Out of Town</i>	65%
Families	15%
Millennials	22%
31-40 Age Group	25%
40-60 Age Group	23%
60+ Age Group	15%

According to our survey, “local renters” describes renters from within the suburb and greater Chicago Metro area. “Out of town” renters describe those from outside the greater Chicago Metro area, but most commonly are from outside of Illinois.

Approximately 10 percent of local renters are considered to be “empty nesters” and the majority of the local renters (35 percent) have recently sold homes. Working professionals make up 85 percent of the tenancy with Millennial's contributing to approximately 26 percent of the “working professional” category.

Based upon our survey of three newly constructed luxury suburban apartment projects, the average household income of renters is approximately \$100,000.

DEMOGRAPHIC TRENDS

The following table summarizes demographic trends for the PMA:

Demographic Trend Summary



Geography: 20 Minutes

Date: February 3, 2016

300 Parkway Drive, Lincolnshire, IL 60069 [Normal Traffic]

	2010		2015A		2020		Percent Change	
	Census	%	Estimate	%	Projection	%	2000 to 2010	2015 to 2020
Total Population	489,241		492,892		502,076		0.1%	1.9%
Total Households	179,982		182,431		187,041		4.3%	2.5%
Employed Civilian Population 16+	242,672		238,087		245,826		-1.7%	3.3%
Blue Collar	64,485	26.6%	63,467	26.7%	65,432	26.6%	17.4%	3.1%
White Collar	178,188	73.4%	174,621	73.3%	180,394	73.4%	-7.1%	3.3%
Employees	n/a		383,469		n/a		n/a	n/a
Establishments*	n/a		24,393		n/a		n/a	n/a

Population by Age

	2010		2015A		2020		Percent Change	
	Census	%	Estimate	%	Projection	%	2000 to 2010	2015 to 2020
0 to 4	28,568	5.8%	26,815	5.4%	26,180	5.2%	-16.6%	-2.4%
5 to 14	68,703	14.0%	65,961	13.4%	62,194	12.4%	-7.8%	-5.7%
15 to 19	34,761	7.1%	36,079	7.3%	34,799	6.9%	2.4%	-3.5%
20 to 24	26,314	5.4%	28,058	5.7%	29,718	5.9%	-3.6%	5.9%
25 to 34	54,054	11.0%	54,006	11.0%	56,445	11.2%	-13.3%	4.5%
35 to 44	65,174	13.3%	61,141	12.4%	59,080	11.8%	-24.1%	-3.4%
45 to 54	80,716	16.5%	76,876	15.6%	70,022	13.9%	9.2%	-8.9%
55 to 64	63,830	13.0%	69,857	14.2%	75,098	15.0%	45.9%	7.5%
65 to 74	34,603	7.1%	40,031	8.1%	50,237	10.0%	18.1%	25.5%
75 to 84	22,116	4.5%	22,341	4.5%	25,825	5.1%	24.4%	15.6%
85+	10,401	2.1%	11,725	2.4%	12,478	2.5%	75.3%	6.4%
Median Age	40.3		41.2		42.2		10.3%	2.5%

Households by Income

	2010		2015A		2020		Percent Change	
	Census	%	Estimates	%	Projections	%	2000 to 2010	2015 to 2020
\$0 - \$15,000	9,260	5.1%	10,445	5.7%	8,595	4.6%	5.8%	-17.7%
\$15,000 - \$24,999	10,453	5.8%	11,410	6.3%	9,911	5.3%	1.3%	-13.1%
\$25,000 - \$34,999	12,164	6.8%	12,309	6.7%	10,876	5.8%	-10.4%	-11.6%
\$35,000 - \$49,999	18,984	10.5%	19,311	10.6%	17,229	9.2%	-12.5%	-10.8%
\$50,000 - \$74,999	30,276	16.8%	28,988	15.9%	25,799	13.8%	-10.7%	-11.0%
\$75,000 - \$99,999	24,334	13.5%	23,267	12.8%	22,895	12.2%	-3.4%	-1.6%
\$100,000 - \$149,999	33,970	18.9%	32,219	17.7%	38,225	20.4%	17.6%	18.6%
\$150,000 +	40,540	22.5%	44,482	24.4%	53,511	28.6%	34.1%	20.3%
Average Hhld Income	\$128,374		\$130,164		\$148,769		22.6%	14.3%
Median Hhld Income	\$83,533		\$83,793		\$97,991		13.9%	16.9%
Per Capita Income	\$47,410		\$48,345		\$55,584		28.2%	15.0%

Important highlights from the preceding demographics table are summarized below:

- The number of households is expected to increase 2.5 percent over the next five years.
- The typical renter profile age ranges from 25 to 45, which accounts for approximately 23.4 percent of the population within the PMA
- White collar employees make up 73 percent of the employed civilian population within the PMA
- Approximately 42 percent of households have an income greater than \$100,000 within the PMA

DEMAND ANALYSIS – BASED UPON DEMOGRAPHIC TRENDS

This section quantifies the forecasted income-qualified renter demand. Demand is estimated by calculating the projected change in renter-occupied households. These renter-occupied households are adjusted for income, vacant competitive units, development activity, and demand from the SMA. The result is the estimated renter demand in the PMA through 2020.

HOUSEHOLD GROWTH

OCCUPIED HH SUMMARY - PMA	
2010 Households actual	179,982
2015 Households estimate	182,431
2020 Households projection	187,041
Projected Total HH Increase 2015-2020	4,610
Projected Annual HH Increase 2015-2020	922

OWNER VERSUS RENTER OCCUPANCY

2015 OCCUPIED HH BY TENURE - PMA		
Occupied Households	182,431	100.00%
Owner Occupied	139,284	76.35%
Renter Occupied	43,147	23.65%

Source: Experian Marketing Solutions, Inc.

Based upon the average age of rental improvements within the market, we have estimated an annual demolition rate of 0.50 percent for the PMA.

Estimated Units Removed in PMA Through Demolition	
Existing Renter Households	39,011
x Estimated Annual Demolition Rate	0.50%
x Forecasted years	5
= Estimated Units removed from market (rounded)	975
<i>Estimate per year</i>	195

HOUSEHOLD CONCLUSIONS

Based on the estimated number of households in the years 2015 and 2020, and the current renter-occupancy percentage, the number of households that should be absorbed in the next five years is computed as follows.

Forecasted Rental Households in the PMA	
2020 Households	187,041
- 2015 Households	182,431
= Net Change in Households - Forecasted	4,610
x Percent of Renter Occupied Households	23.65%
= Net New Demand for Rental Households	1,090
+ Units Removed from Market (0.5%) - {39011 x 0.005 x 5 years}	975
= Net New Demand w/ Units Removed from Market	2,065

Forecasted Rental Households in the PMA	
2020 Households	187,041
- 2015 Households	182,431
= Net Change in Households - Forecasted	4,610
x Percent of Renter Occupied Households	23.65%
= Net New Demand for Rental Households	1,090
+ Units Removed from Market (0.5%) - {39011 x 0.005 x 5 years}	975
= Net New Demand w/ Units Removed from Market	2,065
x Percent of Income Qualified Renter Households	75.00%
= Net New Demand for Income-Qualified Rental Units	1,549

EXISTING COMPETITIVE VACANT INVENTORY

As shown in the table below, this results in pent-up demand of 552 units.

Pent-Up Demand/(Oversupply) of Competitive Inventory	
Competitive Units	39,011
x Stabilized Vacancy Rate	5%
= Stabilized Vacant Units (Rounded)	1951
- Current Vacant Units	1399
= Pent-up Demand/(Oversupply)	552

The competitive units have a significantly lower vacancy rate than the stabilized vacancy rate. Therefore, a total of **552 units** were added to our demand calculations.

DEVELOPMENT ACTIVITY

Our survey indicated that there are proposed properties within the PMA. The following table summarizes the proposed properties:

COMPARABLE APARTMENT COMPLEXES CURRENTLY PROPOSED						
Comp Number	Property Name, Address, City, State	County	Total Units	Estimated Construction Start	Project Delivers	Developer
1	8601 West Bryn Mawr Avenue, Chicago, IL	Cook	405	Feb-16	NA	J.C.F. Real Estate
2	McGovern Flats, 764 Central Avenue, Highland Park, IL	Lake	73	Feb-16	Jan-17	Owner/Developer
3	1241 Danforth Court, Vernon Hills, IL	Lake	60	Apr-16	NA	Owner/Developer
4	400 Town Street, Wheeling, IL	Cook	300	May-16	NA	Urban R2 Development
Total			838			

As of the date of this analysis, there are 838 units proposed in the PMA. We have adjusted this by our stabilized occupancy of 95.0 percent.

Our survey indicated that there are properties currently under construction within the PMA. The following table summarizes the new developments:

COMPARABLE APARTMENT COMPLEXES CURRENTLY UNDER CONSTRUCTION							
Comp Number	Property Name, Address, City, State	County	Total Units	Construction Start	Project Delivers	Developer	Retail (Y/N)
1	680 East Algonquin Road, Schaumburg, IL	Cook	192	Apr-14	Jun-17	Urban Street Group, LLC	N
2	920 East Northwest Highway, Palatine, IL	Cook	118	NA	Apr-16	F&F Realty Ltd.	N
3	Northgate Crossing, 250 Northgate Parkway, Wheeling, IL	Cook	288	Oct-14	Mar-16	REVA Development Partners	N
4	Northshore 770, 770 Skokie Boulevard, Northbrook, IL	Cook	347	Aug-14	Jan-16	Morningside Equities Group	N
5	The Oaks of Vernon Hills Phase II, 770 E. US-45, Vernon Hills, IL	Lake	32	Mar-15	May-16	REVA Development Partners	N
Total			977				

As of the date of this analysis, there are 977 units under construction. We have adjusted this by our stabilized occupancy of 95.0 percent.

We believe there will be demand from the SMA, including other parts of the Chicago metro area. The secondary market demand consists of potential residents who currently reside outside the Primary Market Area boundaries and would be attracted to the proposed development. These residents could live in other areas of Chicagoland, or even relocating to the area from other areas outside the state. We have focused this area of demand on the existing leasing patterns for the properties located in PMA. According to the leasing managers of area apartments the many renters are new to the area. Market participants indicated that this percentage could be as high as 65 percent of its resident base. Upon surveying the local communities in the marketplace, the consensus was that this could range from a low of 20 to a high of 65 percent. We have adjusted the potential PMA demand base upward by 30 percent for the demand from the secondary market area.

The following table illustrates the demand for the subject's proposed units within the subject's Primary Market Area. Based on all the information, demand within the subject's area is illustrated in the chart on the following page. The demand analysis includes existing vacant units, units that were recently completed, units currently under construction, and any proposed units within the PMA.

DEMAND ESTIMATES FOR PROPOSED SUBJECT DEVELOPMENT - FIVE YEAR PROJECTION			
Demand			Units
2020 Households			187,041
- 2015 Households			182,431
= Net Change in Households - Forecasted			4,610
x Percent of Renter Occupied Households			23.65%
= Net New Demand for Rental Households			1,090
+ Units Removed from Market (0.5%) - {39011 x 0.005 x 5 years}			975
= Net New Demand w/ Units Removed from Market			2,065
x Percent of Income Qualified Renter Households			75.00%
= Net New Demand for Income-Qualified Rental Units			1,549
Competitive Inventory			
	Inventory	Vacant	
Stabilized Multi-family Competitive Properties	39,011	1,399	
Market Derived Occupied Units for Stabilized Vacancy Rate for PMA (5%)		1,951	
- Current Vacant Competitive Units		1,399	
+/- Pent-up Demand/(Oversupply) for Stabilized Market Vacancy			552
Total Rental Demand for Proposed Project			2,101
+ Total Demand from Secondary Market Area (30%)			900
Total Rental Demand for Proposed Project			3,001
Units Recently Completed			
- Competitive Units Recently Completed			0
= Total Rental Demand for Proposed Project			3,001
Units Currently Under Construction			
- Competitive Units Currently Under Construction			928
= Total Rental Demand for Proposed Project			2,073
Proposed or Potential Competitive Projects in the Pipeline			
- Competitive Units Currently Proposed (Excluding the Subject)			796
= Demand for Rental Housing			1,277
= Excess Demand for Rental Housing (Excluding Subject's Units)			1,277
- Developer's Proposed Subject Development			287
= Excess Demand for Rental Housing			990

Unit In Place Capture Rate - Proposed 302 Units in Phases					
	2016	2017	2018	2019	2020
Subject Unit Completions		140	140	22	
Stabilization Rate		95%	95%	95%	
Units to Stabilize		133	133	21	
Total Cumulative Renter Demand	255	510	765	1,020	1,275
Total Cumulative Units to Stabilize	0	0	133	133	154
Remaining Renter Demand	255	510	765	887	1,121
Capture Rate		26.1%	17.4%	2.4%	

The result demonstrates the base unfilled demand for the PMA is 1,277 units, excluding the planned 302 unit (287 units stabilized) property in Lincolnshire. Based on the forecasted rental demand, and the identified future supply, including the proposed subject developments, the market will remain undersupplied.

The household projections shown in the Demographic Summary table are based on the historical trend and likely do not adequately reflect the potential future demand for the subject property's apartments. It should be noted that this demand analysis is considered to be a conservative estimate of overall potential demand for the subject property, as demonstrated housing demand is often constrained by the lack of supply growth.

We believe the demand chart illustrated above is conservative and there is sufficient demand for the proposed development based on the existing inventory within the PMA since it will leave a base unfilled rental demand.

ABSORPTION ANALYSIS

The following table summarizes absorption rates at newly completed luxury apartment developments in the Chicago suburbs, many of which are located within the PMA:

HISTORICAL ABSORPTION RATES OF COMPARABLE APARTMENT COMPLEXES

Comp Number	Property Name, Address, City, State	Date Constructed	Total Units	Occupancy	Absorption Months	Units Absorbed Per Month
1	Tapestry Glenview, 2550 Waterview Drive, Northbrook, IL	Dec-14	262	63.7%	14	12
2	One Arlington Place, 3400 Stonegate Boulevard, Arlington Heights, IL	Oct-14	214	87.6%	16	12
3	Midtown Square, 998 Church Street, Glenview, IL	Dec-14	138	82.6%	14	8
4	AMLI Deerfield, 1525 Lake Cook Road, Deerfield, IL	Aug-15	240	27.0%	6	11
5	Oaks of Vernon Hills, 103 Oak Leaf Lane, Vernon Hills, IL	Aug-14	328	70.7%	18	13
6	Woodview Apartments, 15 Parkway North, Deerfield, IL	Jun-15	248	53.6%	8	17
7	The Reserve Glenview, 195 North Waukegan Road, Glenview, IL	Sep-15	238	44.4%	5	21
8	Park 205, 205 West Touhy Avenue, Park Ridge, IL	Oct-15	115	33.9%	4	10
Total			1,783			

INDICATED RANGE

Low	Aug-14	115	27.00%	4	8
High	Oct-15	328	87.58%	18	21
Average	Mar-15	223	57.93%	11	13

Compiled by Cushman & Wakefield, Inc.

Demand from residents for apartments in the PMA has been proven by the market's rapid acceptance of similar luxury suburban apartments.

MARKET RENT AND OCCUPANCY SURVEYS

The following table summarizes rents and occupancies of a competitive set that includes new developments within the PMA:

COMPETITIVE APARTMENT PROJECTS																				
PROPERTY INFORMATION									QUOTED MONTHLY RENT & CONCESSIONS											
No.	PROPERTY NAME ADDRESS, CITY, STATE	NUMBER OF UNITS	NET BUILDING AREA	AVERAGE UNIT SIZE	YEAR BUILT	NUMBER OF BUILDINGS	NUMBER OF STORIES	OCCUPANCY RATE (%)	BEDS/ BATHS	UNIT SIZE (SF)			QUOTED RENT PER MONTH			QUOTED RENT \$/SF/MONTH			RENT INCLUSIONS	CONCESSIONS
										Min	Max	Ave.	Min	Max	Ave.	Min	Max	Ave.		
1	Northshore770 770 Skokie Boulevard Northbrook, IL	347	342,836	988	2016	1	9	NA	1BR/1BA 1BR/1BA + Study 2BR/2BA 2BR/2BA + Study	667 755 1,009 1,099	904 972 1,157 1,341	786 864 1,083 1,220	\$1,540 \$1,690 \$2,260 \$2,490	\$1,540 \$1,690 \$2,260 \$2,490	\$1,540 \$1,690 \$2,260 \$2,490	\$1.70 \$1.74 \$1.95 \$1.86	\$2.31 \$2.24 \$2.24 \$2.27	\$2.01 \$1.99 \$2.10 \$2.06	No inclusions.	No concessions.
2	Tapestry Glenview 2550 Waterview Drive Northbrook, IL	290	341,571	893	2014	1	4	63.7%	Studio 1BR/1BA 1BR/1BA 1BR/1BA + Den 2BR/2BA 2BR/2BA	599 715 822 1,019 1,064 1,212	599 860 879 1,019 1,077 1,237	599 788 851 1,019 1,071 1,225	\$1,369 \$1,574 \$1,574 \$2,006 \$1,929 \$2,431	\$1,481 \$2,281 \$2,281 \$2,552 \$3,025 \$3,800	\$1,425 \$1,928 \$1,928 \$2,279 \$2,477 \$3,116	\$2.29 \$2.20 \$1.91 \$1.97 \$1.81 \$2.01	\$2.47 \$2.65 \$2.59 \$2.50 \$2.81 \$3.07	\$2.38 \$2.43 \$2.25 \$2.24 \$2.31 \$2.54	No inclusions.	1 month free
3	Midtown Square 998 Church Street Glenview, IL	138	136,344	988	2014	1	4	82.6%	1BR/1BA 2BR/2BA	773 934	925 1,343	849 1,139	\$1,785 \$2,600	\$2,250 \$3,195	\$2,018 \$2,898	\$2.31 \$2.38	\$2.43 \$2.78	\$2.37 \$2.58	No inclusions.	1.5 months free
4	AMLI Deerfield 1525 Lake Cook Road Deerfield, IL	240	227,280	947	2015	1	4	27.0%	Studio 1BR/1BA 1BR/1BA + Den 2BR/2BA 2BR/2BA + Den	527 722 966 1,147 1,260	631 858 966 1,261 1,365	579 790 966 1,204 1,313	\$1,403 \$1,657 \$2,167 \$2,451 \$2,717	\$1,730 \$1,918 \$2,167 \$2,685 \$3,101	\$1,567 \$1,788 \$2,167 \$2,568 \$2,909	\$2.66 \$2.24 \$2.24 \$2.13 \$2.16	\$2.74 \$2.30 \$2.24 \$2.14 \$2.27	\$2.70 \$2.27 \$2.24 \$2.13 \$2.21	No inclusions.	No concessions.
5	Woodview Apartments 15 Parkway North Deerfield, IL	248	233,368	941	2015	1	4	53.6%	Studio 1BR/1BA 1BR/1BA 2BR/2BA 2BR/2BA	605 663 826 983 1,218	605 790 859 1,151 1,319	605 727 843 1,067 1,269	\$1,540 \$1,668 \$2,048 \$2,208 \$2,783	\$1,540 \$1,840 \$2,103 \$2,654 \$3,052	\$1,540 \$1,754 \$2,076 \$2,431 \$2,918	\$2.55 \$2.33 \$2.45 \$2.25 \$2.28	\$2.55 \$2.52 \$2.48 \$2.31 \$2.31	\$2.55 \$2.42 \$2.46 \$2.28 \$2.30	No inclusions.	No concessions.
6	The Reserve Glenview 195 North Waukegan Road Glenview, IL	238	241,808	1016	2015	1	3	44.4%	Studio 1BR/1BA 2BR/2BA 3BR/2BA	633 750 1,100 1,385	633 964 1,271 1,407	633 857 1,186 1,396	\$1,575 \$1,730 \$2,425 \$3,015	\$1,575 \$2,135 \$2,975 \$3,045	\$1,575 \$1,933 \$2,700 \$3,030	\$2.49 \$2.21 \$2.20 \$2.16	\$2.49 \$2.31 \$2.34 \$2.18	\$2.49 \$2.26 \$2.27 \$2.17	No inclusions.	1.5 months free
STATISTICS																				
Low:		138	136,344	893	2014	1	4	63.7%												
High:		347	342,836	1,016	2016	1	9	82.6%												
Average:		250	253,868	962	2015	1	5	78.9%												
Totals:		1,501	1,523,207																	

Compiled by Cushman & Wakefield of Illinois, Inc.

The previous competitive set represents newly completed projects that are currently in their initial lease up. As such, we have surveyed newer stabilized apartment complexes within the subject's immediate area in order to indicate typical occupancy in the PMA:

STABILIZED RENT COMPARABLE SUMMARY						
No.	Project Name	Year Built	Total Units	NRA	Average Unit Size (SF)	Occupancy Rate (%)
1	AMLI Museum Gardens	2004	294	328,692	1,118	90.1%
2	Woodlake Apartments	2000	260	235,560	906	93.0%
3	Landings of Lake Zurich	2001	206	186,018	903	95.0%
4	Aloft at the Glen Tower Center	2004	181	186,792	1,032	NA
5	Kingston Pointe	2011	146	200,458	1,373	97.9%
6	River 595 Apartments	2010	60	86,520	1,442	86.6%
		Year Built	Total Units	NRA	Average Unit Size (SF)	Occupancy Rate (%)
STATISTICS (properties with stabilized occupancies)						
Low:		2000	60	86,520	903	86.6%
High:		2011	294	328,692	1,442	97.9%
Unweighted Average:		2005	191	204,007	1,129	92.5%
Totals:			1,147	1,224,040		

Compiled by Cushman & Wakefield of Illinois, Inc.

TYPICAL UNIT MIX

The following table summarizes the typical unit mix:

COMPETITIVE PROPERTIES INSIDE THE PRIMARY MARKET AREA - UNIT MIX											
Name of Complex	Year Built	Studio	%	1BR	%	2BR	%	3 BR	%	Total Units	Average Unit Size
Northshore 770	2016	0	0.00%	146	42.07%	201	57.93%	0	0.00%	347	972
Tapestry Glenview	2014	29	10.00%	148	51.03%	113	38.97%	0	0.00%	290	893
AMLI Deerfield	2015	23	9.58%	127	52.92%	90	37.50%	0	0.00%	240	947
AMLI at Museum Gardens	2005	0	0.00%	36	12.24%	228	77.55%	30	10.20%	294	1,118
The Oaks of Vernon Hills	2014	0	0.00%	192	58.54%	126	38.41%	10	3.05%	328	1,023
Woodview Apartments	2015	24	9.68%	112	45.16%	104	41.94%	8	3.23%	248	941
One Arlington	2014	46	20.72%	118	53.15%	58	26.13%	0	0.00%	222	913
Midtown Square	2014	0	0.00%	68	49.28%	70	50.72%	0	0.00%	138	988
The Reserve Glenview	2015	16	6.72%	96	40.34%	96	40.34%	30	12.61%	238	1,016
Average		16	6.67%	116	44.97%	121	45.50%	9	3.23%	261	979
Developer's Proposed Unit Mix	2017	21	6.95%	120	39.74%	147	48.68%	14	4.64%	302	911

SOURCE: Local Leasing Professionals and CoStar (February 2016)

NATIONAL HOUSING TRENDS

July 2015, CNBC reported that:

"The U.S. homeownership rate fell to 63.4 percent in the second quarter of 2015, according to the U.S. Census. That is down from 63.7 percent in the first quarter and from 64.7 percent in the same quarter of 2014. It marks the lowest homeownership rate since 1967. Homeownership peaked at 69.2 percent at the end of 2004, when the housing market was in the midst of an epic boom. The 50-year average is 65.3 percent."

- The current homeownership rate in the PMA is approximately 75 percent. As such, renter-occupied housing will likely increase if supply is made available.

October 23, 2015 – The Atlantic – in regards to Millennials and housing trends:

"Most of them simply don't have enough money saved to clear the hurdle of a down payment. A mortgage might well be cheaper overall, but the one-time cost of becoming a homeowner is simply too high for most of them. While the job market is slowly getting better, Millennial wage growth remains pretty slow and student-debt loads

continue to rise. On top of that, they're expected to save up the little they can spare as they continue paying rent that's only getting more expensive."

"In August 2015, the median price of a home in the U.S. was around \$292,000, which would require saving up nearly \$30,000 for purchase. Additionally, it's not like they're going off to buy a house the moment they have \$30,000 saved up—for example, financial wisdom suggests saving up to six months worth of expenses as an emergency fund. And that difficult proposition is based on the national median home price, but young people skew toward living in cities with steep home prices."

April 14, 2015, CNBC reported that:

"Millennials are getting married later in life than previous generations, and a sense of urgency to purchase comes with stability, marriage and growing families," said Kamens, an agent with Coldwell Banker Hearthside in Newtown, Pennsylvania, near Philadelphia. She is also the mother of two 20-somethings."

"Kamens said it will happen once they're more established in their careers and family, and 'when education for children becomes a factor, they may settle with less for the convenience of quick travel time to workplace.' Neeta Mulgaokar, a real estate agent in New York with Mirador and a millennial, stands by the trend. 'Many of my clients are saying, 'Why would I buy when it's so expensive? I could use that money for something else like travel or starting a business.'"

"According to a recent Goldman Sachs study, 30 percent of millennials consider buying a home important but not a priority."

"Another big factor is the transient nature of the generation's preferences coupled with the technology that supports their habits. "Many companies, like Ernst & Young, are including remote work options for their millennial employees," Mulgaokar pointed out. "Many millennials have been burned or felt trapped by contracts (cell phones, cable, even student loans) and are shying away from long-term commitment," she said. "They will pay more to avoid it all together."

CONCLUSION

The national trends indicate that people are choosing to rent due to a desire for low-maintenance lifestyle, a desire for a transient lifestyle, as well as the high up-front cost of homeownership. Based upon the preliminary market statistics, demographics, and surveys of market participants, and analysis of national housing trends, it appears there is adequate demand for the proposed 302 unit development. The statistics provided in the preceding tables are considered to be preliminary numbers and will be further reported/supported within our Market Study to be delivered on February 5, 2016.



January 4, 2016

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

c/o Mr. Scott David Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, Illinois 60069

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

I am writing to express Aon's support for the 300 unit residential development at CityPark Lincolnshire proposed by ECD Company. As one of Lincolnshire's largest employers, our more than 3,000 colleagues are a short walk from this proposed rental apartment development.

As the world's leading provider of risk and human capital consulting, our people are our greatest assets. Thus Aon's ability to attract and retain the best qualified employees is essential for long-term growth and success of our firm. Workplaces that support a dynamic work and living environment, specifically an amenity-rich, residential community attractive to everyone from young professionals to senior managers will continue to make Aon an employer of choice for a diverse pool of talent.

I encourage you to support ECD's proposed rental development. If you have any questions, you may contact me at your convenience.

Sincerely,

A handwritten signature in black ink, reading "Kathryn Reilly", is positioned above the typed name.

Kathryn Reilly
Director, Global Public Affairs

Aon
200 Randolph
Chicago, Illinois 60601
309.381.3252

Lake County Partners

Location. Collaboration. Opportunity.

100 Tri-State International Drive, Suite 122
Lincolnshire, IL 60069
Phone: (847) 597-1220
Fax: (847) 597-1235
www.lakecountypartners.com

December 22, 2015

The Honorable Elizabeth Brandt
Mayor
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

Dear Mayor Brandt,

I am writing regarding the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by the ECD Company. As part of our economic development efforts during 2015 we have been focused on Leadership Lake County—an initiative designed to attract and retain young professionals, aged 22-39, in Lake County.

The Leadership Lake County initiative is overseen by a Steering Committee made up of representatives from prominent Lake County businesses and organizations, including Northshore University HealthSystem, Walgreens Boots Alliance, Hollister, Grainger, Sysmex, Manhard Consulting, Baxter, VW Credit, and Discover. To advance the initiative, the committee has looked at the current research on Lake County's demographics, young professional-oriented programs and organizations, and other resources that could support the initiative's objectives.

The data that the Steering Committee has collected thus far has indicated that job opportunities with thriving businesses will be the number one factor driving talented young professionals to Lake County. The ability to put down roots in Lake County will also be a key factor in retaining young professionals. Through focus group discussions with young professionals at businesses located throughout Lake County we gained insight into the personal perspectives of Millennials living and/or working in Lake County. By listening to the "wants" and "needs" of the young professionals we know that they desire diversity in housing options. As they begin their careers they are looking for an amenity-rich, residential community that would be provided by the proposed development. By supporting the concept of housing for young professionals you will provide a benefit to the recruiting efforts of local businesses and make it easier for them to retain top talent. You will also continue to position the Village of Lincolnshire as a premier destination for businesses in northern Illinois.

Sincerely,



Michael Stevens
President & CEO

Location. Collaboration. Opportunity.



Adlai E. Stevenson High School District 125

Two Stevenson Drive, Lincolnshire, IL 60069
847-415-4000 fax 847-634-2039 <http://d125.org>

December 15, 2015

Mayor Brandt and the Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069-3035

Dear Mayor Brandt and the Board of Trustees,

Stevenson High School has been approached by Scott Greenberg, of ECD Company, to express an opinion on the residential development on Milwaukee Avenue in the City Park Mall. After several discussions with Scott and Jonathan Perman and reflecting back upon the City Park Development's impact, Stevenson High School has no objection to this project. Some of the considerations that were addressed include:

Student Impact: Student enrollment data was analyzed by a third party demographer and the impact on Stevenson was estimated at eight students. Even if the enrollment projections are low, the high school has the capacity to absorb those students.

Transportation: The City Park Development is small enough not to warrant any additional bus services, and eight to ten students can be absorbed into existing routes.

Impact Fees: It is estimated that the City Park Development will produce impact fees of \$90,372 dollars, although significant, not necessarily enough to provide any significant services.

Real Estate Taxes: It is expected that the City Park Development will generate an additional \$364,519, these funds have the potential to enhance existing programs on the Stevenson campus.

EAV Growth: Over the next three years, the City Park Development is expected to increase the District equalized assessed valuation by \$50 million, and Stevenson property taxes by \$364,519. At eight to 10 students, the average EAV per student is significantly higher than current levels.

Scott Greenberg and ECD Company has had excellent relationship with the school district and has generously donated to the District in the past and will continue to be an active supporter of Stevenson High School. For these reasons, Stevenson High School supports the City Park development. Should you have any questions please feel free to contact me at 847-415-4119.

Sincerely,

Mark S. Michelini
Assistant Superintendent for Business



December 9, 2015

Scott Greenberg
President and CEO
SMASHotels
250 Parkway Drive
Suite 120
Lincolnshire, IL 60069

Dear Mr. Greenberg,

On behalf of my colleagues, I would like to thank you and Mr. Natenshon for your visit to our offices this week and the explanation of your plans for the further development of your EDC Company properties at Aptakisic and Milwaukee. The restaurants and theatres are already frequented by Sysmex staff – we're just minutes away. As a business, we find it convenient to be located close to several upscale restaurants, as there is a need to entertain business associates, prospects and customers on a fairly regular basis. We're very much in favor of better options, both in terms of diversity as well as count.

As we discussed, Sysmex is an international firm and provides opportunities for its global talent to hone its skills around the world, including here in Lincolnshire. Of the top 10 US-based senior managers, only four are US born. At any given time, there are perhaps a dozen or so employees at all levels on assignments here for up to several years. Few are familiar with the area when transferring to Lincolnshire and I suspect some would find it advantageous to have upmarket residential options for rent so close to the office, while experiencing a sense of community and other recreational pursuits associated with good quality of life. We also find that there are key employees that, for a variety of reasons, are unable to relocate to the Chicago area and prefer to commute frequently. Some have sought rental properties here locally for use during their visits, and there may be some interested in your development for these same reasons.

Sysmex expects to remain a fixture within Lincolnshire for quite some time. We are pleased to hear that your plans will enhance the community here and, for this reason, we offer our encouragement for you to go forward. We'll be anxious to hear about your progress, whenever you have an opportunity to share good news.

Sincerely,

A handwritten signature in black ink, appearing to read "A. Ezers", with a long horizontal flourish extending to the right.

Andre Ezers
EVP, Corporate Secretary
Chief Compliance Officer
email ezersa@sysmex.com



ZEBRA

Zebra Technologies Corporation
3 Overlook Point
Lincolnshire, IL 60069

p 847-634-6700
f 847-913-8766
zebra.com

December 21, 2015

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069
Elizabeth Brandt, Lincolnshire Village Mayor, mayorbrandt@lincolnshireil.gov
Brad Burke, Lincolnshire Village Manager, bburke@lincolnshireil.gov

RE: REQUEST TRUSTEES SUPPORT FOR ECD'S PROPOSED RENTAL APARTMENTS

Dear Mayor Brandt and Members of the Board of Trustees,

I am writing to express Zebra's support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

Our campus is located a ten to fifteen minute walk from this proposed rental apartment development. Our ability to attract and retain the best qualified employees is essential for long-term growth and profitability of our company. An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our corporate campus would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I encourage you to support ECD's proposed luxury rental development.

Sincerely,

A handwritten signature in black ink that reads "Dan Circo". The signature is written in a cursive, flowing style.

Dan Circo
Senior Manager, Americas Facilities

CC: Mr. Scott David Greenberg - ECD

Charles Portis
Senior Director
Chicago Agency Leasing



Cushman & Wakefield of Illinois, Inc.
200 South Wacker Drive, Suite 1325
Chicago, Illinois 60606
312-819-4166 (P)
312-819-4107 (F)
Charles.portis@cushwake.com

December 10, 2015

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

c/o Mr. Scott David Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, Illinois 60069

RE: Proposed 300 Unit Luxury Rental Apartment Project and its appeal to office tenants in the Lincolnshire Office Leasing Market

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees:

At Scott Greenberg's request, I am writing to provide you with my professional opinion regarding the impact of ECD Company's proposed 300 unit luxury residential rental apartment project adjacent to the Regal Theater at CityPark on the Lincolnshire office leasing market.

As a senior office leasing professional at Cushman Wakefield, I have been active in the market for almost 30 years representing both tenants and landlord. Currently, for example, I am representing a pair of technology firms seeking to lease 20,000 square feet in the Central North (i.e. Lincolnshire/Bannockburn area) market.

As you know, there is a large amount of available space in and around Lincolnshire, especially concentrated along Milwaukee Avenue. A number of the recent large transactions in the area have elected to take spaces closer to the Tollway. Examples would include CDW's recent lease at Tri State International in Lincolnshire, Baxalta's lease at 1200 Lakeside in Bannockburn, and Donlen's pending lease for 70,000 square feet at 3000 Lakeside in Bannockburn. The pace of leasing at buildings around Milwaukee Avenue has been considerably slower.

However, a change which would potentially make Milwaukee Avenue based office buildings more attractive would be to provide some new high quality apartment options. Today, prospective Class A office users are keenly focused on the availability of quality rental housing options for their employees, especially given the intense competition to attract these workers to the suburbs. The availability of quality rental housing, located in close

proximity to the office, is an increasingly important consideration for our Class A office users, and especially those fast growing firms seeking younger employees, for whom commute (or lack thereof!) is often a key consideration.

The Milwaukee corridor is already retail-rich, and those stores also appeal to tenants. However, adding a dynamic new multi-family project to the mix would further enhance the appeal of the significant inventory of vacant office space in Lincolnshire. Approval of a new, luxury, amenity filled apartment community in City Park would be very attractive to the corporate office market and I believe will boost leasing of the current inventory of vacant office space along the Milwaukee Avenue corridor.

If you have any questions or wish to discuss my insights into this market, please feel free to contact me.

Regards,

CUSHMAN & WAKEFIELD OF ILLINOIS, INC.



Charlie Portis
Senior Director



Kevin Clifton
Executive Vice President

CBRE, Inc.
Brokerage Services
Office Properties

3000 Lakeside Drive
Suite 105 S
Bannockburn, IL 60015

847 572 1445 Tel
847 572 1401 Fax

kevn.clifton@cbre.com
www.cbre.com

November 16, 2015

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

c/o Mr. Scott David Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, Illinois 60069

RE: Impact of ECD Company's Proposed 300 Unit Luxury Rental Apartment Project on Vacancies in the Lincolnshire Office Leasing Market

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

At the request of Scott Greenberg, I am writing to provide you with my professional real estate opinion regarding the impact of ECD Company's proposed 300 unit luxury residential rental apartment project adjacent to the Regal Theater at CityPark on the Lincolnshire office leasing market.

As a senior CBRE office leasing professional in suburban Chicago for over 30 years, I am particularly aware of the challenges of leasing Class A office space along the Milwaukee Avenue corridor in the Village of Lincolnshire.

As you may know, there is currently considerable Class A office vacancy along the Milwaukee Avenue corridor (nearly 700,000 square feet including sublease space) and over the past three to four years, the pace of leasing office space has been very slow at this location.

Today, prospective Class A office users are keenly focused on the availability of quality rental housing options for their professional millennial aged employees, especially given the intense competition to

attract these workers to a suburban location. The availability of quality rental housing, located in close proximity to the office, is an increasingly important consideration for our Class A office users.

Approval of a new, luxury, amenity rich apartment community in City Park would be very attractive to the corporate office market and I believe will boost leasing of the current inventory of vacant office space along the Milwaukee Avenue corridor.

If you have any questions or wish to discuss my insights into this market, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Kevin Clifton". The signature is written in a cursive, flowing style.

Kevin Clifton
Executive Vice President, CBRE



50 1/2 Raupp Blvd.
Mailing address: P.O. Box 7124
Buffalo Grove, Illinois 60089
847-541-7799 Fax 847-541-7819
E-mail: info@bgfcc.org
www.bglcc.org

President
Michael Abruzzini
Buffalo Grove Bank & Trust

Executive Vice-President
Dr. Gregg Stern
Stern Chiropractic

Vice-President
Larry Wankovsky
Triple J Ventures

Secretary
Adriane Johnson
Populus, XP

Treasurer
Robert Braun
American Enterprise Bank

Past President
Marc Blumenthal
Attorney at Law

At-Large Exec. Director
Nels Flatebo
The Leaders Forum

Directors
Vicki Baker
Gifts of Distinction

Darren Boundy
Comed

Amanda Burton
Vernon Area Public Library

Greg Diethrich
Stevenson High School Foundation

Marilyn Doppler
Remax Suburban

Judith Kristan
Beckley CPA

Crystal Maleski
Clear Path Social

Ronnis Oher
Life Maps

Cathy Schwarz
Temple Chai

Aaron Zarkowsky
Howard and Howard

Village Liaisons
Jenny Maltas
Buffalo Grove

Tonya Zozulya
Lincolnshire

Executive Director
Roger Sosa

Executive Assistant
Fran Caputo

January 4, 2016

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

c/o Mr. Scott David Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, Illinois 60069

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED
RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of
Trustees:

I am writing to express the Buffalo Grove Lincolnshire Chamber of
Commerce's support for the 300 unit luxury residential rental
development at CityPark Lincolnshire proposed by ECD Company.

The Chamber represents over 350 local businesses in the communities of
Lincolnshire and Buffalo Grove. The ability to attract and retain the best
qualified employees is essential for long-term growth and profitability of
our members. Significant commute times to Lincolnshire pose a
structural challenge to recruitment of younger employees as well as
retention of baby boomers.

An amenity-rich, residential community attractive to young professionals
and senior managers in close proximity to our corporate members would
provide a benefit to their recruiting efforts and make it easier to retain
top talent.

I urge you to support ECD's proposed luxury rental development. If you
have any questions, feel free to contact me.

Sincerely,

Roger Sosa
Executive Director



December 10, 2015

550 Bond Street
Lincolnshire IL 60069
847.325.1000 TEL
847.325.1001 FAX
www.interiorinvestments.com

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

I am writing to express Interior Investments' support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

At our Lincolnshire campus, we employ over 100 people. Our campus is located a ten minute bike ride from this proposed rental apartment development.

Our ability to attract and retain the best qualified employees is essential for long-term growth and profitability of our company. Significant commute times to our Lincolnshire corporate campus can pose a structural challenge to recruitment of younger employees as well as retention of baby boomers.

An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our corporate campus would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I urge you to support ECD's proposed luxury rental development. If you have any questions, feel free to contact me.

Sincerely,
Interior Investments, LLC

A handwritten signature in black ink, appearing to read "D. Shannon", is written over the typed name.

Donald G. Shannon
Principal

December 14, 2015

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

I am writing to express E.H. Wachs a division of ITW's support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

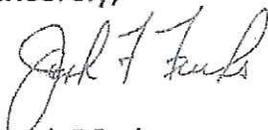
At our Lincolnshire campus, we employ approximately 70 people. Our campus is located on Knightsbridge Parkway, a ten minute bike ride from this proposed rental apartment development.

Our ability to attract and retain the best qualified employees is essential for long-term growth and profitability of our company. Significant commute times to our Lincolnshire corporate campus pose a structural challenge to recruitment of younger employees as well as retention of baby boomers.

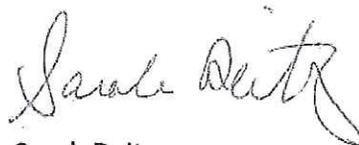
An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our corporate campus would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I urge you to support ECD's proposed luxury rental development. If you have any questions, feel free to contact us.

Sincerely,



Joseph F Fuchs
Controller
Ph.847-484-2689



Sarah Deitz
Accounting Manager/HR
Ph. 847-484-2653

KNUTH Machine Tools USA, Inc.



Tel. (847) 415-3333
Fax (847) 415-2402
info@knuth-usa.com

KNUTH Machine Tools USA, Inc.
590 Bond St. • Lincolnshire, IL
60069

Tuesday, December 22, 2015

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

I am writing to express Knuth Machine Tools support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

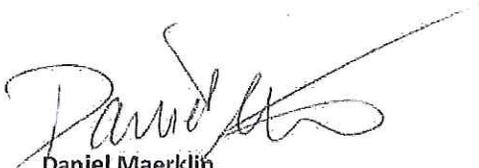
Our facility is located a eight minute bike ride from this proposed rental apartment development.

Our ability to attract and retain the best qualified employees is important for the long-term growth and profitability of our company.

An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our location would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I encourage you to support ECD's proposed luxury rental development.

Sincerely,



Daniel Maerklin,
President

All sales are subject to our General Terms and Conditions (go to www.knuth-usa.com).
Sold items remain the property of KNUTH until paid in full.

Bank / Wire Info

US Bank
800 S. Wheeling Rd
Wheeling, IL 60090

Routing #: 071904779
Account #: 199370473985
Swift: USBKUS44IMT

Headquarters and Shipping Address

KNUTH Machine Tools USA
590 Bond St • Lincolnshire, IL 60069
Tel. (847) 415-3333
Tax ID No.: 20-0118592

E-Mail: info@knuth-usa.com • Internet: www.knuth-usa.com

December 11, 2015

Mayor and Board of Trustees
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, Illinois 60069
Elizabeth Brandt, Lincolnshire Village Mayor, mayorbrandt@lincolnshireil.gov
Brad Burke, Lincolnshire Village Manager, bburke@lincolnshireil.gov

c/o Mr. Scott David Greenberg
President
ECD Company
250 Parkway Drive, Suite 120
Lincolnshire, Illinois 60069
Scott Greenberg, ECD Company President, Scott@ecdco.com

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

Kubota Engine America is very excited to be able to express our support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

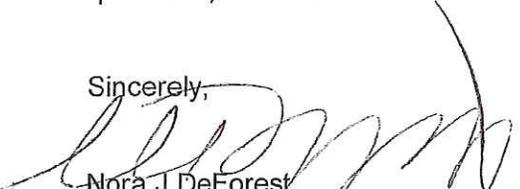
We employ over 100 people and our location is a ten minute bike ride from this proposed rental apartment development.

Our ability to attract and retain the best qualified employees is essential for long-term growth and profitability of our company. Significant commute times to our Lincolnshire location pose a challenge to recruitment of younger employees as well as retention of baby boomers.

An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our location would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I urge you to support ECD's proposed luxury rental development. If you have any questions, feel free to contact me.

Sincerely,



Nora J DeForest

Senior Manager, Human Resources and Facilities

CENTRAL MACHINES, INC.

Your Automation Connection

645 Margate Dr. • Lincolnshire, IL 60069
Phone: (847) 634-6900 • Fax: (847) 634-6901



Mayor and Board of Trustees

December 22, 2015

Village of Lincolnshire

One Olde Half Day Road

Lincolnshire, Illinois 60069

Elizabeth Brandt, Lincolnshire Village Mayor

Brad Burke, Lincolnshire Village Manager

c/o Mr. Scott David Greenberg

President

ECD Company

250 Parkway Drive, Suite 120

Lincolnshire, Illinois 60069

Scott Greenberg, ECD Company President

RE: REQUEST TRUSTEES SUPPORT ECD'S PROPOSED RENTAL APARTMENTS

Dear Village of Lincolnshire Mayor and Members of the Board of Trustees,

I am writing to express Central Machines, Inc. support for the 300 unit luxury residential rental development at CityPark Lincolnshire proposed by ECD Company.

Our campus is located a ten minute bike ride from this proposed rental apartment development.

Our ability to attract and retain the best qualified employees is essential for long-term growth and profitability of our company. Significant commute times to our Lincolnshire corporate campus pose a structural challenge to recruitment of younger employees as well as retention of baby boomers.

An amenity-rich, residential community attractive to young professionals and senior managers in close proximity to our corporate campus would provide a benefit to our recruiting efforts and make it easier to retain top talent.

I urge you to support ECD's proposed luxury rental development. If you have any questions, feel free to contact me.

Sincerely,

Peter Kendler

Digitally signed by Peter Kendler
DN: cn=Peter Kendler, o=Peter Kendler, cn=United
States, #1.3.6.1.5.5=Central Machines, Inc. ou=CMO
e=pkendler@centralmachines.com
Reason: I am the author of this document
Location:
Date: 2016-01-04 09:50:06-0600

Peter Kendler

President Central Machines, Inc.

REQUEST FOR BOARD ACTION

Subject: An Ordinance Making Appropriations To Defray All Necessary Expenses And Liabilities Of The Village Of Lincolnshire, Lake County, Illinois For The Fiscal Year 2016.

Action Requested: PUBLIC HEARING: Conduct Public Hearing on Proposed Appropriation Ordinance

Consideration and Discussion of Appropriations Ordinance and Direct Placement on the February 22, 2016 Regular Village Board Meeting Agenda for Approval

Originated By/Contact: Michael R. Peterson, Finance Director/ Treasurer
Bradly J. Burke, Village Manager

Referred To: Mayor Brandt and Board of Trustees

Summary/ Background:

The annual Appropriation Ordinance must be passed by municipalities with a population under 500,000 during the first quarter of the fiscal year - 65 ILCS 5/8-2-9. Approval of an Appropriation Ordinance is the formal means for authorizing the expenditures of funds in a particular fiscal year.

Prior to passage, the Village is required to:

1. Make a copy of the Ordinance available for public inspection in pamphlet form.
2. Publish a Public Hearing legal notice in the local area newspaper at least ten days prior to the hearing.
3. Hold a Public Hearing.

Supplemental Information:

The Annual Appropriation Ordinance represents the legal spending limit available to fund items included in the 2016 Budget. The proposed 2016 Appropriation Ordinance continues to utilize the same format started in 2014. The draft Ordinance reflects the annual Appropriation at 110% of each department/operating area level. This provides flexibility for Staff and Village Officials to allocate expenditures among line items to accommodate price changes and unexpected expenditures that may occur throughout the year.

In 2015 it was staff's goal to adhere to the approved budget as opposed to the annual appropriation ordinance. This goal was achieved, and it should be noted all departments/operating areas of the Village finished below budgeted expenditures for Fiscal Year 2015. For 2016, the budget will remain the spending plan and objective of the Village staff.

Since the approval of the Fiscal Year 2016 Budget, two additional expenses have come to Staff's attention and are recommended to added to the 2016 Appropriation Ordinance:

51-05-80-3008 Equipment- Vehicle Retrofit: Original budget \$6,000 for one vehicle. At the time the Village Budget was approved, Staff did not anticipate the delivery date would be delayed several months for the 2015 Police vehicle on order; therefore it is necessary to carry-over the cost from 2015 to 2016.

51-05-80-7001 Capital Assets- Vehicles: Original budget \$36,000 for one vehicle excluding police vehicle retrofits. As noted above Staff did not anticipate a delivery delay from 2015; therefore it is necessary to carry-over one vehicle to 2016. The appropriation was increased \$27,000 for this line item, new total \$63,000.

Staff will be available at Monday's meeting to respond to any questions the Village Board may have regarding the Appropriations Ordinance or the above mentioned changes in expenditures for FY2016.

Recommendation:

Conduct Public Hearing on February 08, 2016.

Consideration and Discussion of placing the Appropriations Ordinance on the Consent Agenda for Approval at the February 22, 2016 meeting.

Reports and Documents Attached:

- Published Legal Notice
- Draft Appropriation Ordinance

Meeting History	
Regular Village Board Meeting:	February 22, 2016
Committee of the Whole Meeting:	February 08, 2016
Public Hearing:	February 08, 2016

LEGAL NOTICE
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN to all interested persons that the Corporate Authorities of the Village of Lincolnshire, Lake County, Illinois on February 8, 2016, 7:00 am, at the Village of Lincolnshire Public Meeting Room, Village Hall, One Olde Half Day Road, Lincolnshire, Illinois will conduct a public hearing on the Village's Annual Appropriation Ordinance for the 2016 fiscal year.

The appropriations expected to be considered include the following proposed budget expenditures for said fiscal year commencing January 1, 2016 and ending December 31, 2016.

General Fund	
Administration	331,540
Finance	299,540
Police	4,406,380
Community & Economic Development	1,317,090
Insurance & Common	1,537,460
Public Works- Administration	226,300
Streets	1,187,920
Parks & Open Space	1,532,880
Buildings & Grounds	153,340
Debt & Transfers	3,290,580
General Fund Total	14,283,030

Water and Sewer Operations Fund	4,963,750
Motor Fuel Tax Fund	192,500
Police Pension Fund	1,271,270
Retirement Fund	782,130
Water and Sewer Improvement Fund	1,233,980
Fraud, Alcohol, Drug Enforcement Fund	77,070
Vehicle Maintenance Fund	536,610
E-911 Fund	508,090
Park Development Fund	207,350
Sedgebrook SSA Fund	1,292,170
Traffic Signal SSA Fund	5,370
General Capital Fund	2,683,025

All persons interested may appear and be heard relative to the Annual Appropriation Ordinance and each person shall have the opportunity to ask questions concerning the entire appropriations of the Village.

The Corporate Authorities reserve the right to continue their hearing from time to time as may be required without further notice.

The proposed Annual Appropriation Ordinance shall be on file in the Village Clerk's office at least ten days prior to February 8, 2016 and is available for public inspection and examination during regular business hours.

/s/ Barbara Mastandrea
Village Clerk
Village of Lincolnshire
Lake County, Illinois
Published in Daily Herald January 24, 2016 (4430420)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the DAILY HERALD. That said DAILY HERALD is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published January 24, 2016 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY Daula Baltz
Authorized Agent

Control # 4430420

VILLAGE OF LINCOLNSHIRE

ORDINANCE NO. 16-xxx

ANNUAL APPROPRIATION ORDINANCE

**AN ORDINANCE MAKING APPROPRIATIONS OF SUMS OF MONEY
FOR ALL THE NECESSARY EXPENDITURES OF THE
VILLAGE OF LINCOLNSHIRE
FOR ALL CORPORATE AND SPECIAL PURPOSES
FOR THE FISCAL YEAR
BEGINNING JANUARY 1, 2016 AND ENDING DECEMBER 31, 2016**

VILLAGE OF LINCOLNSHIRE

ORDINANCE NO. 2016-xxx

ANNUAL APPROPRIATION ORDINANCE
AN ORDINANCE MAKING APPROPRIATIONS OF SUMS OF MONEY
FOR ALL THE NECESSARY EXPENDITURES OF THE
VILLAGE OF LINCOLNSHIRE
FOR ALL CORPORATE AND SPECIAL PURPOSES FOR THE FISCAL YEAR
BEGINNING JANUARY 1, 2016 AND ENDING DECEMBER 31, 2016

WHEREAS, a proposed Appropriation Ordinance for the Village of Lincolnshire, Lake County, Illinois for the fiscal year ending December 31, 2016, upon which this Appropriation Ordinance is based, was heretofore duly prepared and has been made conveniently available for public inspection by the Corporate Authorities of this municipality for at least ten days prior to the public hearing hereinafter mentioned and prior to adoption of this ordinance; and

WHEREAS, a public hearing was duly held February 8, 2016 in this municipality on said proposed ordinance prior to the adoption hereof and notice by publication of the time and place of the holding of said public hearing and of the place where copies of the proposed Appropriation Ordinance would be accessible for examination, was given at least ten days prior to the hearing thereof in the Daily Herald;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND THE BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNSHIRE, LAKE COUNTY, ILLINOIS, as follows:

Section 1. Finding Facts. The Corporate Authorities of this municipality hereby find as facts all of the matters hereinabove recited in the “**WHEREAS**” clauses hereof.

Section 2. General Corporate Appropriations. The following sums of money, or as much thereof as may be authorized by law, are hereby appropriated for the general purposes of the Village of Lincolnshire, Illinois, herein specified for the fiscal year commencing on January 1, 2016 and ending December 31, 2016:

GENERAL CORPORATE FUND:

ADMINISTRATION	331,540
FINANCE	299,540
POLICE	4,406,380
COMMUNITY & ECONOMIC DEVELOPMENT	1,317,090
INSURANCE & COMMON	1,537,460
PUBLIC WORKS: ADMINISTRATION	226,300
STREETS	1,187,920
PARKS & OPEN SPACES	1,532,880
BUILDINGS & GROUNDS	153,340

DEBT & TRANSFERS

01-26-64-7101 Loan Payments	481,600
01-26-98-5100 Transfer Out- General Cap	2,808,980

DEBT & TRANSFERS	<u>3,290,580</u>
TOTAL GENERAL FUND APPROPRIATION	\$14,283,030

SECTION 4: That there be appropriated from the Water and Sewer Fund:

WATER & SEWER OPERATIONS FUND

Water & Sewer: Administration	1,226,880
Public Works: Operating	<u>3,736,870</u>
TOTAL WATER & SEWER FUND APPROPRIATION	\$4,963,750

SECTION 5: That there be appropriated from the Motor Fuel Tax Fund:

MOTOR FUEL TAX FUND

03-01-80-5009 Infra- Road Resurfacing	<u>192,500</u>
TOTAL MFT APPROPRIATION	\$192,500

SECTION 6: That there be appropriated from the Police Pension Fund:

POLICE PENSION FUND

05-01-61-4001 Prof Service- Actuary	3,300
05-01-61-4005 Prof Service- Bookkeeping	12,100
05-01-61-4007 Prof Service- IDOI	3,960
05-01-61-4013 Prof Service- Legal Fees	4,400
05-01-61-4017 Prof Service- Medical Exams	2,200
05-01-61-4030 Contract Svc- Banking charges	1,100
05-01-61-4031 Contract Svc- Invst Adv & Misc	88,000
05-01-61-4032 Contract Svc- Fiduciary Ins	3,300
05-01-63-1000 Memberships- IPPFA	1,650
05-01-63-3000 Professional Development	8,800
05-01-70-9510 Retirement & Reserves	<u>1,142,460</u>
TOTAL POLICE PENSION APPROPRIATION	\$1,271,270

SECTION 7: That there be appropriated from the Retirement Fund:

RETIREMENT FUND

06-01-70-9101 IMRF	535,790
06-01-70-9200 Social Security	<u>246,340</u>
TOTAL RETIREMENT FUND APPROPRIATION	\$782,130

SECTION 8: That there be appropriated from the Water and Sewer Improvements Fund:

WATER & SEWER IMPROVEMENTS

W&S Improvement Expenses	1,233,980
TOTAL W&S IMPROVEMENTS APPROPRIATION	<u>\$1,233,980</u>

SECTION 9: That there be appropriated from the Fraud, Alcohol, Drug Enforcement Fund:

FRAUD, ALCOHOL, DRUG ENFORCEMENT FUND

11-05-63-8100 Fraud Forfeiture Exp	2,330
11-05-63-8300 Alcohol Enforcement Exp.	69,680
11-05-63-8500 Drug Forfeiture Exp.	<u>5,060</u>
TOTAL FRAUD, ALCOHOL, DRUG ENFORCE APPROPRIATION	<u>\$77,070</u>

SECTION 10: That there be appropriated from the Vehicle Maintenance Fund:

VEHICLE MAINTENANCE FUND

Vehicle Maintenance Fund Expenditures	536,610
TOTAL VEHICLE MAINT FUND	<u>\$536,610</u>

SECTION 11: That there be appropriated from the E911 Fund:

E911 FUND

E911 Expenditures	508,090
TOTAL E911 FUND APPROPRIATION	<u>\$508,090</u>

SECTION 12: That there be appropriated from the Park Development Funds:

PARK DEVELOPMENT FUND

18-01-86-9901 Misc Park Improvements	207,350
TOTAL SSA 2 PARK DEVELOPMENT FUND APPROPRIATION	<u>\$207,350</u>

SECTION 13: That there be appropriated from the Sedgebrook SSA Fund:

SEDGEBROOK SSA FUND

20-01-61-4000 Professional Services	16,500
20-01-64-7100 Bond Payment	<u>1,275,670</u>
TOTAL SEDGEBROOK SSA APPROPRIATION	<u>\$1,292,170</u>

SECTION 14: That there be appropriated from the Traffic Signal SSA Fund:

SSA 2 TRAFFIC SIGNAL FUND

21-01-61-9066 Contract Svc- Signal Maint	<u>5,370</u>
TOTAL SSA 2 TRAFFIC SIGNAL FUND APPROPRIATION	\$5,370

SECTION 14: That there be appropriated from the General Capital Fund:

GENERAL CAPITAL FUND

Facilities	748,000
Equipment	283,000
Furniture & Fixtures	50,000
Storm Sewer & Water	253,000
Parks	807,020
Roadways	260,005
Land	-
Vehicles	255,000
Miscellaneous Capital	<u>27,000</u>
TOTAL GENERAL CAPITAL FUND	\$2,683,025

SECTION 15: Summary of Appropriation. That the following is a summary of the appropriation hereinbefore provided for:

General Corporate Fund	14,283,030
Water And Sewer Operations Fund	4,963,750
Motor Fuel Tax Fund	192,500
Police Pension Fund	1,271,270
Retirement Fund	782,130
Water And Sewer Improvements Fund	1,233,980
Fraud, Alcohol, Drug Fund	77,070
Vehicle Maintenance Fund	536,610
E911 Fund	508,090
Park Development	207,350
Sedgebrook SSA Fund	1,292,170
Traffic Signal SSA Fund	5,370
General Capital Fund	<u>2,683,025</u>
TOTAL APPROPRIATION	\$28,036,345

SECTION 16: That all the unexpended balances of any item made in this Ordinance be expended in making up any insufficiency in any item or items in the same general appropriation and for the same general purpose or in any like appropriation made by this Ordinance.

SECTION 17: That all unexpended balances of annual appropriations from previous years are hereby re-appropriated.

SECTION 18: This Appropriation Ordinance is adopted pursuant to procedure set forth in the Illinois Municipal Code: provided, however, any limitations in the Illinois Municipal code in conflict with the provisions of this Ordinance shall not be applicable to this Ordinance pursuant to Section 6 of Article V11 of the Constitution of the State of Illinois. This Ordinance is enacted pursuant to the Home Rule Powers of the Village of Lincolnshire.

SECTION 19: That this Ordinance shall be in full force and effect from and after its passage, approval and publication as required by law.

PASSED by the Board of Trustees of the Village of Lincolnshire on this __ day of _____, 2016 by a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED by the Mayor of the Village of Lincolnshire on this __ day of _____, 2016.

Elizabeth J. Brandt, Mayor

ATTEST:

Barbara Mastandrea, Village Clerk