



**AGENDA**  
**REGULAR VILLAGE BOARD MEETING**  
**Village Hall - Public Meeting Room**  
**Monday, April 4, 2016 – 7:00 p.m.**

*Reasonable accommodations/auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings of the Board. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need special accommodations to attend. Regular Village Board Meetings will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Trustees to do so.*

**CALL TO ORDER**

**1.0 ROLL CALL**

**2.0 APPROVAL OF MINUTES**

2.1 Approval of the March 14, 2016 Regular Village Board Meeting Minutes

**3.0 REPORTS OF OFFICERS**

3.1 Mayor's Report

3.2 Village Clerk's Report

3.3 Village Treasurer's Report

3.4 Village Manager's Report

**4.0 PAYMENT OF BILLS**

4.1 Bills Presented for Payment on April 4, 2016 in the amount of \$211,476,12

**5.0 CITIZENS WISHING TO ADDRESS THE BOARD (on agenda items only)**

**6.0 PETITIONS AND COMMUNICATIONS**

**7.0 CONSENT AGENDA**

*Items on the Consent Agenda will be approved by one motion. If a Trustee wishes to discuss any item, it will be pulled from the Consent Agenda and discussed under "Unfinished Business".*

7.1 Approval of an Ordinance Amending Special Use for a Planned Unit Development (Lincolnshire Commons) (Ordinance #05-1954-18) for Revisions to an Existing Area of Special Sign Control to Permit New Multi-Tenant Ground Signs (900-970 Milwaukee Avenue and 225 Aptakisic Road - CFNX Linshire, LLC)

7.2 Approval of an Ordinance Authorizing the Disposal of Surplus Property (Village of Lincolnshire)

7.3 Approval of Professional Services Agreement with GovHR USA for Recruitment Services (Village of Lincolnshire)

- 7.4 Approval of Purchase of a Trailer Mounted Sewer Flusher with Camera System, (Unit #502) Under the National Joint Powers Alliance Contract, from Sewer Company of America, Dixon, Illinois in an Amount not to Exceed \$144,796.23 (Village of Lincolnshire)
- 7.5 Approval of Issuance of Class "E", "B", "C" "H" (2), "I" (2), and "J" Liquor Licenses to RFMBG Lincolnshire, LLC, D.B.A. Marriott Lincolnshire Resort (Village of Lincolnshire)
- 8.0 **ITEMS OF GENERAL BUSINESS**
  - 8.1 Planning, Zoning & Land Use
    - 8.11 Consideration of Approval of an Ordinance Rezoning Property Commonly Known as 1700 Riverwoods Road (Manors of Whytegate - Arthur J. Greene Construction Company)
  - 8.2 Finance and Administration
  - 8.3 Public Works
  - 8.4 Police
  - 8.5 Parks and Recreation
  - 8.6 Judiciary and Personnel
- 9.0 **REPORTS OF SPECIAL COMMITTEES**
- 10.0 **UNFINISHED BUSINESS**
- 11.0 **NEW BUSINESS**
- 12.0 **ADJOURNMENT**



One Olde Half Day Road  
Lincolnshire, IL 60069  
[www.lincolnshireil.gov](http://www.lincolnshireil.gov)



2.1

**MINUTES  
REGULAR VILLAGE BOARD MEETING  
Monday, March 14, 2016**

Present:

Mayor Brandt	Trustee Feldman
<del>Trustee Grujanac</del>	<del>Trustee Hancock</del>
Trustee McDonough	Trustee Servi
Trustee Leider	Village Clerk Mastandrea
Village Attorney Simon	Village Manager Burke
Chief of Police Kinsey	Public Works Director Woodbury
Village Treasurer/Finance Director Peterson	Community & Economic Development
Management Analyst Shoukry	Director McNellis

**ROLL CALL**

Mayor Brandt called the meeting to order at 7:00 p.m., and Village Clerk Mastandrea called the Roll.

**2.1 Approval of the February 22, 2016 Regular Village Board Meeting Minutes**

Trustee Servi moved and Trustee Leider seconded the motion to approve the minutes of the Regular Village Board Meeting of February 22, 2016 as presented. The roll call vote was as follows: AYES: Trustees McDonough, Leider, Servi, and Mayor Brandt. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: Trustee Feldman. Mayor Brandt declared the motion carried.

**3.0 REPORTS OF OFFICERS**

**3.1 Mayor's Report**

**3.11 Consideration of Reappointment of Mickey Hearst to Police Pension Board**

Mayor Brandt requested the Board reappoint Mickey Hearst to the Police Pension Board.

Trustee Leider noted he was recently assigned to the Police Pension Board, attended his first meeting, and would strongly support the reappointment of Mickey Hearst.

Trustee Feldman moved and Trustee McDonough seconded the motion to reappoint Mickey Hearst to the Police Pension Board for a two-year term. The roll call vote was as follows: AYES: Trustees Feldman, McDonough, Leider, and Servi. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. Mayor Brandt declared the motion carried.

### **3.12 Primary and Voting**

Mayor Brandt noted March 15, 2016 is the Primary and voting will take place at the various schools and township office.

### 3.2 Village Clerk's Report - None

### 3.3 Village Treasurer's Report

#### **3.31 Revenues and Expenditures for the Month of February, 2016**

Village Treasurer/Finance Director Peterson noted transition is taking place in utility billing from quarterly to monthly and the first full monthly billing started March 1, 2016 and included the new rate increase. Village Treasurer/Finance Director Peterson stated only a handful of people contacted the Village regarding the monthly billing change and noted the transition has been positive.

Village Treasurer/Finance Director Peterson noted the Revenues and Expenditures for the month of February 2016 have been reviewed and funds appear to be in order.

### 3.4 Village Manager's Report

#### **3.41 Recognition of Community & Economic Development Director McNellis**

Village Manager Burke recognized Community & Economic Development Director McNellis who took a position with the Village of Lincolnwood after serving the Village of Lincolnshire for the past 18 ½ years. Village Manager Burke summarized Community & Economic Development Director McNellis' career and accomplishments with the Village of Lincolnshire.

The Board applauded and thanked Community & Economic Development Director McNellis for his service and dedication to the Village of Lincolnshire.

## **4.0 PAYMENT OF BILLS**

### **4.1 Bills Presented for Payment on March 14, 2016 in the amount of \$534,605.78**

Village Treasurer/Finance Director Peterson provided a summary of the March, 2016 bills prelist presented for payment with the total being \$534,605.78. The total amount is based on \$209,100 for General Fund, \$203,600 for Water & Sewer Fund, \$44,800 for Retirement Fund; \$1,500 for Water & Sewer Improvement Fund; \$8,200 for Vehicle Maintenance, \$26,100 for E911 Fund; and \$41,400 for the General Capital Fund.

Trustee Servi moved and Trustee Leider seconded the motion to approve the bills prelist as presented. The roll call vote was as follows: AYES: Trustees Feldman, McDonough, Leider, and Servi. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. Mayor Brandt declared the motion carried.

## **5.0 CITIZENS WISHING TO ADDRESS THE BOARD (on agenda items only)**

## **6.0 PETITIONS AND COMMUNICATIONS**

## **7.0 CONSENT AGENDA**

- 7.1 Award of a Contract with Nettle Creek Nursery, Inc., Morris, Illinois in the Amount of \$223,450 for ITEP Stage 1–Rt. 22 Median Landscaping (Village of Lincolnshire)**
- 7.2 Award of a Contract with All American Exterior Solutions, Lake Zurich, Illinois in the Amount of \$529,000 for Replacement of Village Hall Roof (Village of Lincolnshire)**
- 7.3 Approval of an Ordinance Amending the Village of Lincolnshire Village Code Pertaining to Automatic Amusement Device Licensing (Village of Lincolnshire)**

Trustee McDonough moved and Trustee Feldman seconded the motion to approve the Consent Agenda. The roll call vote was as follows: AYES: Trustees McDonough, Feldman, Leider, and Servi. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. The Mayor declared the motion carried.

## **8.0 ITEMS OF GENERAL BUSINESS**

### **8.1 Planning, Zoning & Land Use**

- 8.11 Approval of a Resolution authorizing publication of the 2016 Official Zoning Map (Village of Lincolnshire – Waiver of First Reading Requested)**

Community & Economic Development Director McNellis provided a summary of the annual 2016 Official Zoning Map noting an error regarding the zoning of the former Hewitt/Aon Property and requested this be a stipulation to correct as part of Board approval.

Trustee McDonough moved and Trustee Feldman seconded the motion to waive the first reading for approval of a Resolution authorizing publication of the 2016 Official Zoning Map. The roll call vote was as follows: AYES: Trustees McDonough, Feldman, Servi, and Leider. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. The Mayor declared the motion carried.

Trustee McDonough moved and Trustee Leider seconded the motion to approve a Resolution authorizing publication of the 2016 Official Zoning Map with the change of zoning to OC for the former Hewitt/Aon property as follows: AYES: Trustees McDonough, Feldman, Servi, and Leider. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. The Mayor declared the motion carried.

### **8.2 Finance and Administration**

**8.21 Approval of the Agreement Between the Village of Lincolnshire and Amdur Productions, Inc. regarding 2016 Lincolnshire Arts & Eats Festival (Village of Lincolnshire).**

Village Manager Burke provided a summary of the Agreement between the Village of Lincolnshire and Amdur Productions, Inc. regarding the 2016 Lincolnshire Arts & Eats Festival. The festival is a combination of the Taste of Lincolnshire and the Art Festival which will take place in August. Village Manager Burke noted sponsorship money of \$5,000 would be needed as part of the budget for the festival.

Trustee Servi asked for additional information regarding the \$5,000 sponsorship money the Village would need to offset the event. Village Manager Burke noted in previous years, the Village has brought in roughly \$10,000 - \$12,000 in sponsorship. A brief conversation regarding fees, sponsorship money, and staff time followed.

Trustee McDonough moved and Trustee Leider seconded the motion to **the** Agreement Between the Village of Lincolnshire and Amdur Productions, Inc. regarding 2016 Lincolnshire Arts & Eats Festival with final review and approval to be done by the Village Attorney as follows: AYES: Trustees McDonough, Feldman, Servi, and Leider. NAYS: None. ABSENT: Trustees Grujanac and Hancock. ABSTAIN: None. The Mayor declared the motion carried.

- 8.3 Public Works
- 8.4 Police
- 8.5 Parks and Recreation
- 8.6 Judiciary and Personnel

**9.0 REPORTS OF SPECIAL COMMITTEES**

**10.0 UNFINISHED BUSINESS**

**11.0 NEW BUSINESS**

**12.0 EXECUTIVE SESSION**

**13.0 ADJOURNMENT**

Trustee McDonough moved and Trustee Feldman seconded the motion to adjourn. The voice vote was unanimous and Mayor Brandt declared the meeting adjourned at 7:13 p.m.

Respectfully submitted,  
**VILLAGE OF LINCOLNSHIRE**

Barbara Mastandrea  
Village Clerk



**VILLAGE OF LINCOLNSHIRE**  
**BILLS PRESENTED FOR PAYMENT**  
April 4, 2016

General Fund	\$	98,570.96
Water & Sewer Fund	\$	25,306.33
Motor Fuel Tax		
Retirement Fund	\$	45,392.99
Water & Sewer Improvement Fund	\$	812.80
Fraud, Alcohol, Drug Enforcement		
Vehicle Maintenance Fund	\$	9,460.54
E 911 Fund	\$	24,075.00
Park Development Fund		
Sedgebrook SSA	\$	67.50
SSA Traffic Signal		
General Capital Fund	\$	7,790.00
GRAND TOTAL	\$	211,476.12

Brad Burke, Village Manager

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
**JOURNALIZED**  
**BOTH OPEN AND PAID**

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: 4IMPRINT, INC.</b>		
4501063	NNO Supplies Tote Bags, Pens, Stickers, and Lip B	1,323.12
TOTAL VENDOR 4IMPRINT, INC.		1,323.12
<b>VENDOR NAME: A T &amp; T</b>		
8472951665mmyy	North Park Phone Svc 03/10-04/09/2016	60.67
TOTAL VENDOR A T & T		60.67
<b>VENDOR NAME: ADVANCED BUSINESS GR</b>		
00019334	T1 Line Charge / ABG Service Charge / VPN -	537.16
TOTAL VENDOR ADVANCED BUSINESS GR		537.16
<b>VENDOR NAME: AIRGAS, INC</b>		
9934436690	Cylinder rental	182.65
TOTAL VENDOR AIRGAS, INC		182.65
<b>VENDOR NAME: AMAZON.COM</b>		
103-2108140-9682649	3 volt batteries	43.97
TOTAL VENDOR AMAZON.COM		43.97
<b>VENDOR NAME: ANCEL GLINK DIAMOND</b>		
49095-2	Feburary 2016 Legal Fees	4,781.25
B15-0011E	BD Escrow - Attorney Fee--Pulte	1,237.50
49095	BD Escrow -Attorney Fees-Stack/14600 Riverside	168.75
49095	BD Escrow - Attorney Fees--CFNX/900 Milwaukee	731.25
49095	BD Escrow - Attorney Fees--Bd.of Ed/2425 Riverwo	618.75
49095	BD Escrow - Attorney Fees -ECD/300 Parkway	56.25
49095	BD Escrow - Attorney Fees - GA Tri-State/Signage	506.25
TOTAL VENDOR ANCEL GLINK DIAMOND		8,100.00
<b>VENDOR NAME: ANDERSON JOHN-ERIK</b>		
T&T 03152016	Reimburse Meals and Parking - Anderson Training	179.00
TOTAL VENDOR ANDERSON JOHN-ERIK		179.00
<b>VENDOR NAME: ARAMARK</b>		
2080474388	Uniform rental	68.16
2080484273	Uniform rental	68.16
2080494062	Uniform rental, set up charges for Matt Liewehr	106.98
TOTAL VENDOR ARAMARK		243.30
<b>VENDOR NAME: ARLINGTON HEIGHTS FORD</b>		
755151	Step assembly for truck #245	327.04
C80478	New DPF and filter assembly for #232	3,280.42
754489	Wheel assembly for #103	144.49
TOTAL VENDOR ARLINGTON HEIGHTS FORD		3,751.95
<b>VENDOR NAME: AZZONE NICK</b>		
03272016	24 hrs worked between 03/22-03/27/2016	888.00
TOTAL VENDOR AZZONE NICK		888.00
<b>VENDOR NAME: B &amp; F CONSTRUCTION CODE SERVICES</b>		
43615	910 Milwaukee--AT&T--Building Plan Review	895.50
43613	100 Village Gm,Stes.100-105-110--Intr.Expansion	895.50
43570	February Insp.--2/01 thru 2/29/2016	760.00
TOTAL VENDOR B & F CONSTRUCTION CODE SERVIC		2,551.00
<b>VENDOR NAME: BADE PAPER PRODUCTS</b>		
200892-00	Paper goods for Village Hal	455.74
TOTAL VENDOR BADE PAPER PRODUCTS		455.74
<b>VENDOR NAME: BARKER LEMAR ENGINEE</b>		
UST trng-MattLiewehr	UST training and compliance binder for Matt Liewehr	295.00

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**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
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INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: BARKER LEMAR ENGINEE</b>		
	TOTAL VENDOR BARKER LEMAR ENGINEE	295.00
<b>VENDOR NAME: BASECAMP WEB SOLUTIONS</b>		
1760	January - March 2016 Web Services	233.75
	TOTAL VENDOR BASECAMP WEB SOLUTIONS	233.75
<b>VENDOR NAME: BAXTER &amp; WOODMAN INC</b>		
0185192	Watermain instal. closeout, engineering thru 3/17/16	812.80
0185191	SCADA support services thru 3/17/16	80.00
	TOTAL VENDOR BAXTER & WOODMAN INC	892.80
<b>VENDOR NAME: BOLLINGER, LACH &amp; ASSOC</b>		
17797	Field survey, engineering report services thru 2/27/16	3,072.00
	TOTAL VENDOR BOLLINGER, LACH & ASSOC	3,072.00
<b>VENDOR NAME: BRANICK THOMAS</b>		
Jan-Mar 2016	Tuition Reimbursement Crime Scene Photography	1,237.50
	TOTAL VENDOR BRANICK THOMAS	1,237.50
<b>VENDOR NAME: BURRIS EQUIPMENT CO.</b>		
W130733	Lely Spreader, for other prices see notes	4,284.00
	TOTAL VENDOR BURRIS EQUIPMENT CO.	4,284.00
<b>VENDOR NAME: CALL ONE</b>		
03152016	Monthly Phone Bill 1122574 03/15/2016	1,143.37
	TOTAL VENDOR CALL ONE	1,143.37
<b>VENDOR NAME: CDW COMPUTER CENTERS</b>		
CFZ4821.1	Adobe Acrobat PDF Software Licensing	507.60
	TOTAL VENDOR CDW COMPUTER CENTERS	507.60
<b>VENDOR NAME: CELINA TENT</b>		
0098347	Custom tent top for North Park	3,065.17
	TOTAL VENDOR CELINA TENT	3,065.17
<b>VENDOR NAME: CHICAGO TRIBUNE MEDIA GROUP</b>		
B16-0001E	BD Escrow -Public Hearing Notice--Lincolnshire Co	70.69
	TOTAL VENDOR CHICAGO TRIBUNE MEDIA GROUP	70.69
<b>VENDOR NAME: CHICAGO WILDERNESS T</b>		
300000596	Membership dues	500.00
	TOTAL VENDOR CHICAGO WILDERNESS T	500.00
<b>VENDOR NAME: CL GRAPHICS</b>		
17758	2016 Spring Newsletter processing	457.92
63504	Zozulya business cards	133.60
77808	Business Cards - Matthew Ulanowski - Reprint	133.60
	TOTAL VENDOR CL GRAPHICS	725.12
<b>VENDOR NAME: CLESEN, INC.</b>		
311793	Salt tolerant seed mix and top soil for restorations	234.50
	TOTAL VENDOR CLESEN, INC.	234.50
<b>VENDOR NAME: COLLEGE OF DUPAGE</b>		
6860	Covelli & Campobasso Registration for "Evidence P	190.00
	TOTAL VENDOR COLLEGE OF DUPAGE	190.00
<b>VENDOR NAME: COMED</b>		
3427049011-04-16	Street lighting master account electric service	800.54
7299013001-03-16	430 Farrington utility station electrical service	163.68
7128083006-03-16	3 Westwood utility station electrical service	105.12

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
**JOURNALIZED**  
**BOTH OPEN AND PAID**

<b>INVOICE NUMBER</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
<b>VENDOR NAME: COMED</b>		
6520050011-03-16	100 Fallstone utility electrical service	124.35
6123019023-03-16	Metered street lighting master account electricity ser	270.12
5225087020-03-16	RNC heating, cost shared with SD103 by agreemen	393.86
3038275001-03-16	Whytegate Pk electrical service	32.97
3038188003-03-16	Northampton liftstation electric service	25.67
0995113016-03-16	Olde Half Day entrance sign electric service	48.03
0777044014-03-16	Olde Mill liftstation electric service	114.30
0339014158-03-16	Metered light Riverwds @ Everett electric service	9.06
0268410000-03-16	Northampton liftstation electric service	90.79
5760114015-03-16	Utilities pumping various locations electric service	124.03
TOTAL VENDOR COMED		2,302.52
<b>VENDOR NAME: COMPASS MINERALS AMERICA, INC</b>		
71466236	Rock salt	1,701.83
71465216	Rock salt	3,533.27
TOTAL VENDOR COMPASS MINERALS AMERICA, INC		5,235.10
<b>VENDOR NAME: CONSTELLATION ENERGY</b>		
63823963	Electricity supply utilities	467.62
63823821	Electricity supply utilities	3,337.97
63862408	Electricity supply utilities	2,095.34
63931771	Electricity supply North Park	725.21
63790394	Electricity supply Spring Lake Park	240.53
TOTAL VENDOR CONSTELLATION ENERGY		6,866.67
<b>VENDOR NAME: CORKY'S CATERING</b>		
95898	2016 Employee Recognition Lunch	610.17
TOTAL VENDOR CORKY'S CATERING		610.17
<b>VENDOR NAME: DROPBOX</b>		
2016-03	March 2016 Fees	9.99
TOTAL VENDOR DROPBOX		9.99
<b>VENDOR NAME: ELEVATOR INSPECTION SERVICES</b>		
58553	100 Tri-State--Instln.of 2 Pit Ladders-Inspections	160.00
58552	75 Tri-State--Instln.3 Pit Ladderrs Inspections @ \$8	240.00
58551	25 Tri-State--Instln. 3 Pit Ladders Inspections	240.00
TOTAL VENDOR ELEVATOR INSPECTION SERVICES		640.00
<b>VENDOR NAME: EST, INC</b>		
13030	Floating Citrus Degreaser	1,380.50
TOTAL VENDOR EST, INC		1,380.50
<b>VENDOR NAME: EUNICE YOON</b>		
Mailbox reimb.	Mailbox reimbursement	100.00
TOTAL VENDOR EUNICE YOON		100.00
<b>VENDOR NAME: FEDEX</b>		
5-345-14808-PW	Overnight ship water test results to IEPA	55.50
5-345-14808	BD Escrow - Overnight Shipping - Sedgebrook	50.14
TOTAL VENDOR FEDEX		105.64
<b>VENDOR NAME: FIRST CHOICE COFFEE SERVICES</b>		
397264	Coffee supply delivered 3/11/16	179.52
TOTAL VENDOR FIRST CHOICE COFFEE SERVICES		179.52
<b>VENDOR NAME: FIRST COMMUNICATIONS</b>		
4780833	T-1 Line / 03 2016	278.26
TOTAL VENDOR FIRST COMMUNICATIONS		278.26
<b>VENDOR NAME: FOREMAN, JD</b>		
F0230	Plug for storm sewer repair	16.90
272288	Drinking fountain cartridges	104.00

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INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: FOREMAN, JD</b>		
	TOTAL VENDOR FOREMAN, JD	120.90
<b>VENDOR NAME: FRESH MARKET, THE</b>		
02182016	Food for Police Dept. Meeting	27.97
	TOTAL VENDOR FRESH MARKET, THE	27.97
<b>VENDOR NAME: GARVEY'S OFFICE PRODUCTS</b>		
PINV1123133	PWF copier toner, misc supplies	156.94
	TOTAL VENDOR GARVEY'S OFFICE PRODUCTS	156.94
<b>VENDOR NAME: GEWALT HAMILTON ASSOCIATES</b>		
3794.542-4	Permit submittal Review-Pulte 1/25/16 to 2/21/16	3,483.00
3794.512-2	As-built review 304 Hamilton Ct 1/26/16	69.00
3794.507-1	As-built review 306 Hamilton Ct 1/26/16	69.00
3794.522-7	As-built review, comment letter Tri-State parking 2/1	136.00
3794.100-13	PE services various projects 1/25/16 to 2/21/16	3,531.00
4904.000-14	ITEP bid coordination services through 2/21/16	434.00
	TOTAL VENDOR GEWALT HAMILTON ASSOCIATES	7,722.00
<b>VENDOR NAME: GRAINGER, INC</b>		
9045827301	Cable ties and basketball nets for North Park	412.98
9053128725	Janitorial supplies for North Park	884.56
9052401636	Fuel nozzle for gas pump	89.35
	TOTAL VENDOR GRAINGER, INC	1,386.89
<b>VENDOR NAME: HAYES MECHANICAL LLC</b>		
364603	No heat at SLP pavilion, service call 2/24/16	447.90
	TOTAL VENDOR HAYES MECHANICAL LLC	447.90
<b>VENDOR NAME: HOBBY LOBBY</b>		
018400706125031116	Custom frame GIS printed documents	241.43
6062132411	Employee Recognition Certificate Frames	39.95
	TOTAL VENDOR HOBBY LOBBY	281.38
<b>VENDOR NAME: HOME DEPOT CREDIT SERVICES</b>		
5022211	Toggle bolts	11.19
4022336	Pipe and fittings	13.94
3022466	Lamp parts, bulbs, wire	49.78
22666	Wooden trash can repair mats	41.52
7013172	Streetlight materials	57.82
2023277	Air filter, blade set	17.93
2013964	Wood handle, debris pan, filter bag, 4 gal vac	127.88
2013995	Spray paint	27.23
6012795	PVC couplings, tape, pipe nipple	118.36
	TOTAL VENDOR HOME DEPOT CREDIT SERVICES	465.65
<b>VENDOR NAME: HOMEDEPOT.COM</b>		
W462749500	Rubber Commercial Door Mat	33.96
	TOTAL VENDOR HOMEDEPOT.COM	33.96
<b>VENDOR NAME: ILLINOIS DEPARTMENT</b>		
Appl lic B.Taylor	Public Applicator license fee for Brad Taylor-pesticid	20.00
Pest. lic fee-Baynon	Public Applicator license fee for Tim Baynon	20.00
Pest lic fee Markham	Pesticide Public Operator license fee for Josh Mark	15.00
	TOTAL VENDOR ILLINOIS DEPARTMENT	55.00
<b>VENDOR NAME: ILLINOIS SECRETARY OF STATE</b>		
1FM5K8AR8DGA9976	Renew Registration Chief's Ford Explorer 1FM5K8A	101.00
	TOTAL VENDOR ILLINOIS SECRETARY OF STATE	101.00
<b>VENDOR NAME: IMRF</b>		
61047	Mar 2016 Member & Employer Contributions	45,392.99
	TOTAL VENDOR IMRF	45,392.99

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
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<b>INVOICE NUMBER</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
<b>VENDOR NAME: INTERDEV, LLC</b>		
1008910.2	February 2016 Monthly Agreement	5,252.83
1008910.1	February 2016 PSA Technician Services & Device	208.00
TOTAL VENDOR INTERDEV, LLC		5,460.83
<b>VENDOR NAME: INTERSTATE ALL BATTERY CENTER</b>		
23014313	Battery for squad #106	113.32
1903901011065	Brush mower battery, Water unit trailer battery	139.60
TOTAL VENDOR INTERSTATE ALL BATTERY CENTER		252.92
<b>VENDOR NAME: IPRF</b>		
33043	Workers Comp and Admin Fee- May	14,578.00
TOTAL VENDOR IPRF		14,578.00
<b>VENDOR NAME: JAYPRO SPORTS</b>		
1145518	Tennis ct. nets	955.35
TOTAL VENDOR JAYPRO SPORTS		955.35
<b>VENDOR NAME: JC LICHT, LLC</b>		
1262-146698092	Paint supplies for Village Hall	50.13
1262-14698092	Lighting for buildings	50.13
TOTAL VENDOR JC LICHT, LLC		100.26
<b>VENDOR NAME: KIESLER POLICE SUPPLY, INC.</b>		
787205	Force on Force Bolt Carrier	441.98
TOTAL VENDOR KIESLER POLICE SUPPLY, INC.		441.98
<b>VENDOR NAME: LAW ENFORCEMENT TRAINING LLC</b>		
1561617	Annual Subscription to CourtSmart Training thru Ma	1,250.00
TOTAL VENDOR LAW ENFORCEMENT TRAINING LLC		1,250.00
<b>VENDOR NAME: LAWSON PRODUCTS INC</b>		
9303977224	Bolt loosener, lock nuts, hex cap screws, galvanized	139.09
TOTAL VENDOR LAWSON PRODUCTS INC		139.09
<b>VENDOR NAME: LIBERTYVILLE CHEVROLET</b>		
893821	Sensor for truck #237	370.30
893792	Pad kit, rotor and filter for Squad #104	203.24
TOTAL VENDOR LIBERTYVILLE CHEVROLET		573.54
<b>VENDOR NAME: LINCOLNSHIRE RIVERWOODS FPD</b>		
3202	200 TriState,Ste.500--Fire Sprinkler	200.00
3201	910 Milwaukee,Ste.B--AT&T-Life Safety	200.00
3200	505 Schelster Rd.-Fire Alarm Altrns.	250.00
3199	100 Village Grn,Stes.100-105-110--Life Safety	200.00
3198	100 Village Grn.,Stes.100-105-110--Fire Sprinkler A	200.00
3188	2000 Millbrook--LG Electronics-Fire Alarm Altrns.	250.00
TOTAL VENDOR LINCOLNSHIRE RIVERWOODS FPD		1,300.00
<b>VENDOR NAME: LINCOLNSHIRE VILLAGE-PETTY CASH</b>		
04042016	Petty Cash Reimbursements 04/04/2016	394.32
TOTAL VENDOR LINCOLNSHIRE VILLAGE-PETTY CASH		394.32
<b>VENDOR NAME: MCMASTER-CARR SUPPLY</b>		
52536071	Silicone sealant, and insulation repair wrap	43.67
50830889	Internal building heater for Westside Reservoir	1,803.06
52536072	Fluke multimeter and carry case	210.31
TOTAL VENDOR MCMASTER-CARR SUPPLY		2,057.04
<b>VENDOR NAME: MGN LOCK-KEY &amp; SAFES</b>		
55425	Duplicate keys	26.00
TOTAL VENDOR MGN LOCK-KEY & SAFES		26.00

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
**JOURNALIZED**  
**BOTH OPEN AND PAID**

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: MICHAEL STERLING</b>		
B15-0051T	BD Bond Refund - Tree Bond - Tree remains viable	2,100.00
TOTAL VENDOR MICHAEL STERLING		2,100.00
<b>VENDOR NAME: MIDWEST HOSE &amp; FITTINGS, INC.</b>		
112928	Hydro fittings and hose	230.79
TOTAL VENDOR MIDWEST HOSE & FITTINGS, INC.		230.79
<b>VENDOR NAME: MUNICAP INC</b>		
032016-038	Dec and Jan Services	67.50
TOTAL VENDOR MUNICAP INC		67.50
<b>VENDOR NAME: NANDAN &amp; KIRAN GHOSALE</b>		
B15-0022EP	BD Bond Refund - Engineering Performance - Utility	6,510.00
TOTAL VENDOR NANDAN & KIRAN GHOSALE		6,510.00
<b>VENDOR NAME: NAPA-SHERIDAN AUTO PARTS</b>		
896185	Fuel filters for club car	5.82
898013	Oil filter for brush mower	12.94
TOTAL VENDOR NAPA-SHERIDAN AUTO PARTS		18.76
<b>VENDOR NAME: NORTH SHORE GAS</b>		
7500010814062-03-16	WSR pump station heating gas utility	125.09
2500064728546-03-16	Gas service 24400 Riverwoods utility account	33.08
3500027843375-03-16	North Pk maintenance bldg gas service	109.20
3500057120542-03-16	North Pk concession bldg gas service	115.81
9500046282673-03-16	3 Westwood utility station gas service	34.12
9500051340015-03-16	100 Fallstone utility station gas supply	32.02
9500065106622-03-16	207 Northampton utility station gas supply	33.21
9500010548967-03-16	430 Farrington utility station gas service	31.46
TOTAL VENDOR NORTH SHORE GAS		513.99
<b>VENDOR NAME: NORTHWEST POLICE ACADEMY</b>		
03102016	"Keeping Good People Good" Training attended by	50.00
TOTAL VENDOR NORTHWEST POLICE ACADEMY		50.00
<b>VENDOR NAME: OAK BROOK MECHANICAL SERVICES INC</b>		
990617	FY 2016 HVAC PM and inspection per agreement	10,345.00
TOTAL VENDOR OAK BROOK MECHANICAL SERVICES		10,345.00
<b>VENDOR NAME: PASQUESI HOME &amp; GARD</b>		
021067/1	Annual plants for Village Hall outdoor planters	76.88
TOTAL VENDOR PASQUESI HOME & GARD		76.88
<b>VENDOR NAME: PAYLOCITY</b>		
102070137	Pay Services 03/18/2016	591.71
102097245	Pay Services 04/01/2016	181.32
TOTAL VENDOR PAYLOCITY		773.03
<b>VENDOR NAME: PBA, INC./FLEXIBLE BENEFITS</b>		
129192	March 2016 Fees	175.00
TOTAL VENDOR PBA, INC./FLEXIBLE BENEFITS		175.00
<b>VENDOR NAME: PLATINUM SNOW REMOVAL</b>		
120	Salting/snow removal service for South Village Gree	1,300.00
TOTAL VENDOR PLATINUM SNOW REMOVAL		1,300.00
<b>VENDOR NAME: POLLARDWATER</b>		
0038241	Rubber fire hose assembly	459.48
TOTAL VENDOR POLLARDWATER		459.48
<b>VENDOR NAME: POMP'S TIRE SERVICE INC.</b>		

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
**JOURNALIZED**  
**BOTH OPEN AND PAID**

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: POMP'S TIRE SERVICE INC.</b>		
290073418	Tire for Arctic Cat	137.50
TOTAL VENDOR POMP'S TIRE SERVICE INC.		137.50
<b>VENDOR NAME: QUILL CORPORATION</b>		
4194148	Toner, highlighters	203.88
4266905	Mouse pad, pens	23.38
4082263	Toner, Paper, Dividers	367.21
4116693	CD Mailers, Correction Tape, Bankers boxes	78.18
TOTAL VENDOR QUILL CORPORATION		672.65
<b>VENDOR NAME: REAL URBAN BARBECUE</b>		
02182016	Food for Police Dept. Meeting	174.00
TOTAL VENDOR REAL URBAN BARBECUE		174.00
<b>VENDOR NAME: RELADYNE</b>		
0950547-IN	Windshield solvent	177.10
0951415-IN	Fuel tank cleaning	1,485.00
TOTAL VENDOR RELADYNE		1,662.10
<b>VENDOR NAME: RONDOUT SERVICE CENTER LLC</b>		
6535	Truck inspections	163.00
TOTAL VENDOR RONDOUT SERVICE CENTER LLC		163.00
<b>VENDOR NAME: SMITH &amp; LALUZERNE &amp; HARTMAN, LTD.</b>		
February 2016	Legal Services February	2,556.25
TOTAL VENDOR SMITH & LALUZERNE & HARTMAN, LT		2,556.25
<b>VENDOR NAME: SPRING ALIGN OF PALATINE</b>		
102740	West Side Reservoir pipe paint.	202.00
TOTAL VENDOR SPRING ALIGN OF PALATINE		202.00
<b>VENDOR NAME: TRAFFIC CONTROL &amp; PROTECTION INC</b>		
85930	Stop signs	251.65
85909	White foil tape	186.20
TOTAL VENDOR TRAFFIC CONTROL & PROTECTION IN		437.85
<b>VENDOR NAME: TREDROC TIRE SVC / A</b>		
312367	Tire disposal service	168.00
TOTAL VENDOR TREDROC TIRE SVC / A		168.00
<b>VENDOR NAME: VERIZON WIRELESS</b>		
9762026628	Data Plan Util 02/13 - 03/12/2016	237.12
TOTAL VENDOR VERIZON WIRELESS		237.12
<b>VENDOR NAME: VERNON HILLS VILLAGE</b>		
DSP-APR16	April 2016 Monthly Dispatch Services	24,075.00
TOTAL VENDOR VERNON HILLS VILLAGE		24,075.00
<b>VENDOR NAME: WAREHOUSE DIRECT WOR</b>		
3002859-0	Copy paper, see notes for other prices	328.98
TOTAL VENDOR WAREHOUSE DIRECT WOR		328.98
<b>VENDOR NAME: WATCHGUARD VIDEO</b>		
WARINV001215	In-Car Camera System/Software Warranty	2,750.00
TOTAL VENDOR WATCHGUARD VIDEO		2,750.00
<b>VENDOR NAME: WILDCAT TROPHY CO</b>		
2477	2015 Employee of the Year Plaque	32.64
TOTAL VENDOR WILDCAT TROPHY CO		32.64

**CUSTOM INVOICE REPORT FOR VILLAGE OF LINCOLNSHIRE**  
**INVOICE DUE DATES 03/15/2016 - 04/04/2016**  
**JOURNALIZED**  
**BOTH OPEN AND PAID**

<b>INVOICE NUMBER</b>	<b>DESCRIPTION</b>	<b>AMOUNT</b>
<b>VENDOR NAME: WILDFIRE</b>		
506490	Employee Recognition Gift Cards	1,750.00
TOTAL VENDOR WILDFIRE		1,750.00
<b>VENDOR NAME: WINKLER'S TREE SERVICE</b>		
88420	Tree pruning 220 trees, locations listed on inv	11,347.00
TOTAL VENDOR WINKLER'S TREE SERVICE		11,347.00
<b>VENDOR NAME: XYLEM WATER SOLUTION</b>		
3556886357	Pump #2 replacement for Indian Creek Lift Stator	5,963.26
TOTAL VENDOR XYLEM WATER SOLUTION		5,963.26
		<b>211,476.12</b>

**REQUEST FOR BOARD ACTION  
Village Board  
April 4, 2016**

<b>Subject:</b>	Proposed 15-lot R2A Single-Family Subdivision – Policy Phase (Mons Property at 1700 Riverwoods Road)
<b>Action Requested:</b>	Approval of an Ordinance Rezoning Property Commonly Known as 1700 Riverwoods Road (Manors of Whytegate)
<b>Originated By/Contact:</b>	Tonya Zozulya, Economic Development Coordinator Department of Community & Economic Development
<b>Referred To:</b>	Zoning Board

The Village Board continued discussion of the 15-lot single-family residential subdivision proposal at the March 14, 2016 COW meeting. At the conclusion of the meeting, the Board requested the developer research and return to the Board with the following additional revisions or information:

1. *Incorporate a requirement for cedar shake roofs into the subdivision architectural covenants.*

Arthur J. Greene submitted revised architectural covenants (see attached) stating permissible roof materials include wood shake roof, slate or tile, eliminating an asphalt material.

2. *Explore the feasibility of relocating the proposed west bike path connection to Whitmore Lane.*

Public Works staff met with the developer on-site to review an appropriate location for the relocated bike path connecting to Whitmore Lane. A new location has been identified (see attached map). The proposed relocation enhances the path visibility, minimize tree loss impacts and avoid a wet area present further east along the berm located on private property. The developer expressed concern to staff about the new path configuration. They believe the path usage would be limited due to the path running parallel to Brampton Lane. In addition, existing dense vegetation would need to be removed to construct the path. Arthur J. Greene marked the proposed path location with red flags. Staff encourages Village Board members to visit the site to review the location prior to Monday night's meeting.

3. *Confirm a bike path easement is provided along Riverwoods Road for the entire frontage of the property.*

The attached Preliminary Plat of Subdivision depicts a 10' bike path easement along the Riverwoods Road subdivision frontage. Staff anticipates constructing this path in conjunction with adjacent segments of Riverwoods Road per the Capital Improvement Plan schedule.

If the R2A rezoning is approved at the April 4<sup>th</sup> meeting, the developer will begin the Technical Phase required for R2A properties. This phase includes subdivision plat and engineering plan reviews at the Zoning Board with final approval by the Village Board.

*Per past Village Board requests, Staff mailed a courtesy notice of the April 4<sup>th</sup> Village Board meeting to all surrounding residents within 250 feet of the subject property.*

**Recommendation:**

Approval of a Rezoning to the R2A District, pursuant to the R2A Policy Phase, for a proposed 15-lot single-family residential subdivision.

**Reports and Documents Attached:**

- Draft Ordinance, prepared by Village Attorney Simon.
- Revised Architectural Design Covenants, prepared by Arthur J. Greene Construction Company, date stamped received March 10, 2016.
- Revised bike path location map, prepared by Public Works staff.
- Presentation Packet, prepared by Arthur J. Greene Construction Company and Manhard Consulting, Ltd., received March 7, 2016.
- Manors of Whytegate Data Sheet, prepared by Manhard Consulting.
- Change in Approved Single-Family Residential Subdivisions North of Route 22 table, prepared by Staff.
- Critical Area 2 Excerpt from Village of Lincolnshire Comprehensive Plan, Update 2012.
- Staff Memorandum of the March 14, 2016 Committee of the Whole meeting.
- Staff Memorandum and Meeting Minutes of the October 13, 2015 Committee of the Whole meeting.

<b>Meeting History</b>	
Referral at Village Board (COW):	February 24, 2014
Zoning Board (Public Hearing):	May 21, 2015
Previous Board Discussion (COW):	October 13, 2015
Board Discussion (COW)	March 14, 2016
Village Board (current)	April 4, 2016

**VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE REZONING PROPERTY  
COMMONLY KNOWN AS 1700 RIVERWOODS ROAD  
(MANORS OF WHYTEGATE)**

**WHEREAS**, application has been made by the Arthur J. Greene Construction Company, an Illinois corporation (the “Applicant”), for the rezoning of a property commonly known as 1700 Riverwoods Road (the “Property”) from R1- Single-Family Residence District to R2A - Single-Family Residence District; and

**WHEREAS**, the proposed rezoning is proposed to be concurrent with and conditioned upon the subdivision of the Property for the development of a new residential subdivision to be known as Manors of Whytegate;

**WHEREAS**, the Zoning Board of the Village of Lincolnshire, Lake County, Illinois, pursuant to publication and personal notice as required by law, held a Public Hearing commencing on May 21, 2015, on the question of the rezoning and whether the Applicant’s plan meets the standards for an environmentally sensitive large lot subdivision specifically described for the R2A Single Family Residence District, and

**WHEREAS**, the Zoning Board has adopted findings of fact required to demonstrate the application for rezoning meets the criteria described in Section 6-14-10-D of the Village Code.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, in the exercise of its home rule powers, as follows:

**Section 1:** That the written findings, dated May 21, 2015, attached hereto as Exhibit A and made a part hereof, are incorporated herein by reference as the findings of this Board with the same effect as if fully recited herein at length.

**Section 2:** That the Lincolnshire Zoning Code, is amended by rezoning the following described properties from R1-Single Family Residence District to R2A Single-Family Residence District:

SEE ATTACHED LEGAL DESCRIPTION AT EXHIBIT B

**Section 3:** That the Zoning Map of the Village of Lincolnshire, Lake County, Illinois, is hereby amended so as to be in conformance with the aforesaid zoning.

**Section 4:** That this ordinance granting a map amendment, including the relief specifically and collectively described in Sections 2 and 3, is subject to and contingent upon the Applicant meeting the following conditions:

- A. The Applicant shall develop the Property in a manner which shall conform in substance with the approved zoning site plan, including measures designed to protect the Property's environmentally-sensitive features, as more fully depicted in the plan attached hereto as Exhibit C;
- B. The approval described herein is contingent on the Applicant completing the "Technical Phase" of R2A development, as more completely described in Section 6-5B-6-2 of the Village Code;
- C. The Village approving a Plat of Subdivision which complies with Title 6 and Title 7 of the Village Code, with a variance for the length of the cul-de-sac; and

Failure of the Applicant to meet all of the foregoing conditions within three (3) years from the date of this Ordinance shall result in the zoning amendment described herein to become null and void and the zoning of the Property shall revert to the R1 Single-Family Residence Zoning District.

**Section 5:** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent that there might be any conflict. The subject properties are subject to all terms and conditions of applicable ordinances and regulations of the

Village of Lincolnshire including, without limitation, zoning ordinances, building codes, subdivision, sign control, tree preservation and landscape regulations.

Section 6: Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. That any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

Section 7: This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law. Provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Applicant and such other parties in interest consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted by the Corporate Authorities by motion.

PASSED this \_\_\_\_ day of \_\_\_\_\_, 2016, by the Corporate Authorities of the Village of Lincolnshire, on a roll call vote as follows:

AYES:

NAYS:

ABSENT:

APPROVED this \_\_\_\_ day of \_\_\_\_\_, 2016.

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Elizabeth J. Brandt, Mayor

ATTEST:

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Barbara Mastandrea, Village Clerk

4818-9038-3396, v. 1

ACCEPTED AND AGREED:

**ARTHUR J. GREENE CONSTRUCTION COMPANY,**  
an Illinois corporation

\_\_\_\_\_  
By:

Title: \_\_\_\_\_

Date: \_\_\_\_\_

## **EXHIBIT A**

### **FINDINGS OF FACT**

*1. Existing zoning classification of the property.*

The existing zoning of the property is R1 Single Family Residence District

*2. Existing uses of property and existing physical, social or economic factors within the general area of the property in question.*

The existing land use of the surrounding area is entirely single family residential. On the north is the Whytegate Unit 3 subdivision; on the south is Whytegate Unit 2 subdivision; on the west is the Manors of Brampton Woods; on the east is Riverwoods Road and the Briarwoods of Lincolnshire Subdivision.

*3. The zoning classification of property within the general area of the property in question.*

The existing zoning surrounding the property and beyond is entirely single family residential. The existing zoning within the immediate area includes: north – R2A Single-Family Residence District; south – R2A Single-Family Residence District; west - R2 Single Family Residence District; and east – R2A Single-Family Residence District.

*4. The suitability of the property in question to the uses permitted under the existing or proposed zoning classification.*

The site is suitable for development under the current zoning, but the resulting lots of that size would not be compatible with the surrounding area. Under the proposed zoning of R2A, lots can be developed at an average of 22,000 square feet which is compatible to surrounding developments. Both water and sanitary sewer is available to the site.

*5. The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification.*

The subject property is the last vacant parcel of land in this area of the Village of Lincolnshire that has not been developed as single family housing. All of the land in the immediate area has been rezoned to similar zoning districts....primarily R2A Single Family Residence District and has been approved in the subdivision process.

## EXHIBIT A

In fact all zoning south ( including Brampton Lane along Riverwoods Road corridor) to Half Day Road, is zoned R-2A.

6. *The length of time the property has been vacant as zoned.*

The property has an existing home which is 70+ years old and up to 4 years ago was home to the owner. The owner is now deceased and the family has gone under contract with the petitioner to sell the property. The property was forcibly annexed by the Village in 1998 and zoned R-1.

7. *The extent to which the property's value is diminished by the existing zoning classification.*

Based on the existing zoning, the development of the property would not be compatible with the surrounding higher -density land use and zoning, thus diminishing the property's value.

8. *The impact upon the objectives of the official Comprehensive Plan of the Village, as amended.*

The Village of Lincolnshire Comprehensive Plan has indicated the subject property to be Critical Area 2 of the East Sector. The Comprehensive Plan calls for an "Environmentally Sensitive Residential" land use classification. The plan as proposed keeps the wetland/ grove of trees intact, keeps the surrounding hedgerow intact, and the proposed zoning and subdivision maintains the density of the surrounding area.

*Prepared by:*

Glenn M. Christensen  
Senior Planner  
Manhard Consulting  
900 Woodlands Parkway  
Vernon Hills, Illinois 60061

*Petitioner:*

**Arthur J. Greene Construction Company**  
**175 East Hawthorn Parkway**  
**Suite 200**  
**Vernon Hills, Illinois 60061**

## **EXHIBIT B**

### **LEGAL DESCRIPTION OF SUBJECT PROPERTY**

THE SOUTH 15 ACRES OF THE NORTH 45 ACRES OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS (EXCEPT THAT PART THEREOF PREVIOUSLY ANNEXED LYING WITHIN RIVERWOODS ROAD).

**EXHIBIT C**

**DEVELOPMENT PLANS TO PROTECT  
ENVIRONMENTALLY-SENSITIVE FEATURES**

[ATTACHED]

## Architectural Design Covenants

**A. Architectural Integrity and Consistency:** The various elements of the home are to be compatible and consistent with the prominent architectural style.

**B. Significant Appeal:** The architectural style, the detailing of the exterior trim, the appointments, the building materials, the colors, and the installation and application of the same shall combine to create a distinctive character and significant appeal.

**C. Singular Improvement:**

1. No more than one (1) home of the same elevation shall be built within Manors of Whytegate.
2. No home shall be built within Manors of Whytegate which is of the same or similar design as another home already built or approved within Manors of Whytegate unless the home has at least two (2) of the following features different from previously built or approved homes:
  - (i) the basic arrangement of the building and its front elevation elements, such as: windows, shutters, doors, entryways or entryway treatments and porches;
  - (ii) the predominant building color of the home
  - (iii) the major exterior building materials (such as: vertical siding, horizontal siding, brick, stone or stucco) or the significant relative proportion of their use;
  - (iv) the roofing materials: wood shakes, slate, tile;
  - (v) the roof structure or style, such as: hip, gable, mansard, etc.;
  - (vi) the site orientation: right-hand or left-hand orientation;
  - (vii) the style of home (i.e., Country French, Tudor, Georgian, Victorian, Cape Cod, etc.).

**D. Professional Quality:** Factors such as roof pitch, the size and location of the windows, the chimney detailing and other elements shall all be considered. The overall appearance of the improvements shall be one of professional quality.

Primary architectural elements and materials that are part of the front elevation of a structure shall be included on all other elevations (sides and rear elevations) at a ratio of approximately two to one. For example: if a front elevation is 100% brick, then the side and rear elevations should be approximately 50% brick on an aggregate basis (with the chimney alone not fully satisfying this requirement). Front elevation accent materials such as stone are excluded from this requirement. The enforcement of this requirement may be adjusted in order to not sacrifice high-quality architectural design for the sake of satisfying a formula.

A home with a “shirt front” of brick (which is brick on the front of home only) will not be acceptable. The brick must be continued on the side elevations with the brick

either continuing on all elevations or having a logical and pleasing termination of the brick material. All sides of the structure shall be designed with a pleasing inclusion and balance of architectural elements: trim detailing, appointments, windows and/or doors. A façade unrelated to the rest of the structure is not in keeping with the desired design criteria.

**E. Additional Requirements:**

1. 40 foot minimum sideyard separation between Homes
2. 100% of Homes to have a minimum of 3 car garage
3. 70% of Homes to have side-entry garage
4. 30% of Homes to have T garage (1 garage side-entry; 1 garage forward facing)
5. All roofs to be wood shake, slate or tile only



Whitmore Ln

Whitmore Ln

Riverwoods

Whytegate Ct

Proposed Path Location



P















Existing Wetland Boundary

Economy Prairie Seed Mix

Economy Prairie Seed Mix

Economy Prairie Seed Mix

**LOT 7**  
37,584 SQ. FT.

**LOT 6**  
24,753 SQ. FT.

**LOT 5**  
24,957 SQ. FT.

**LOT 4**  
26,169 SQ. FT.

**LOT 3**  
24,136 SQ. FT.

**LOT 2**  
24,321 SQ. FT.

**LOT 1**  
24,134 SQ. FT.

**OUTLOT "A"**  
15,557 SQ. FT.

**LOT 8**  
39,047 SQ. FT.

**ROAD A**

**ROAD A**

**LOT 9**  
39,438 SQ. FT.

**LOT 10**  
26,916 SQ. FT.

**LOT 11**  
27,647 SQ. FT.

**LOT 12**  
31,031 SQ. FT.

**LOT 13**  
25,260 SQ. FT.

**LOT 14**  
24,218 SQ. FT.

**LOT 15**  
24,723 SQ. FT.

**OUTLOT "D"**  
86,560 SQ. FT.

Economy Prairie Seed Mix  
Economy Prairie Seed Mix

Trail connection to park

Sight triangle  
Sight triangle

RIVERWOODS ROAD

BRIARWOOD LANE

**Cardno Stormwater Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES/RUSHES</b>		
Carex cristatella	Crested Oval Sedge	1.00
Carex lurida	Bottlebrush Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fowl Manna Grass	1.25
Juncus effusus	Common Rush	1.00
Juncus torreyi	Torrey's Rush	0.25
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	8.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus cyperinus	Wool Grass	0.50
Scirpus fluviatilis	River Bulrush	0.25
Scirpus validus	Great Bulrush	6.00
		40.25

**TEMPORARY COVER**

Botanical Name	Common Name	Oz./Acre
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
		460.00

**FORBS**

Botanical Name	Common Name	Oz./Acre
Alisma spp.	Water Plantain Mix	4.25
Asclepias incarnate	Swamp Milkweed	1.50
Bidens spp.	Bidens Mix	2.00
Helenium autumnale	Sneezeweed	2.00
Lycopus americanus	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Penthorum sedoides	Ditch Stonewort	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
		20.50

Apply at 32.5 pounds per acre

**Cardno Swale Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES</b>		
Andropogon gerardii	Big Bluestem	4.00
Carex comosa	Bristly Sedge	2.50
Carex cristatella	Crested Oval Sedge	2.00
Carex lurida	Bottlebrush Sedge	2.50
Carex spp.	Prairie Sedge Mix	8.00
Carex vulpinoidea	Brown Fox Sedge	4.00
Elymus virginicus	Virginia Wild Rye	8.00
Glyceria striata	Fowl Manna Grass	1.00
Panicum virgatum	Switch Grass	2.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	1.00
Spartina pectinate	Prairie Cord Grass	3.00
		Total 40.00

**TEMPORARY COVER**

Botanical Name	Common Name	Oz./Acre
Avena sativa	Common Oats	360.00
Lolium multiflorum	Annual Rye	100.00
		Total 460.00

**FORBS**

Botanical Name	Common Name	Oz./Acre
Alisma spp.	Water Plantain (Various)	1.00
Asclepias incarnate	Swamp Milkweed	2.00
Aster novae-angliae	New England Aster	1.00
Carex trisperis	Tall Carex	1.00
Eupatorium maculatum	Spotted Joe-Pye Weed	0.25
Iris virginica	Blue Flag	4.00
Liatris spicata	Marsh Blazing Star	1.00
Lobelia cardinalis	Cardinal Flower	0.25
Lobelia siphilitica	Great Blue Lobelia	0.50
Lycopus americanus	Common Water Horehound	0.25
Pycnanthemum virginianum	Common Mountain Mint	0.50
Rudbeckia triloba	Brown-Eyed Susan	0.50
Sagittaria latifolia	Common Arrowhead	0.25
Senna hebecarpa	Wild Senna	1.00
Silphium terebinthinaceum	Prairie Dock	1.00
Verbena hastata	Blue Vervain	1.50
Zizia aurea	Golden Alexanders	0.75
		Total 16.75

Apply at 32.5 pounds per acre

**Plant List**

Key	Quantity	Common Name	Botanical Name	Size	Comments
<b>Canopy Trees</b>					
ACFR	9	AUTUMN BLAZE MAPLE	Acer freemani	2" BB	
ACRR	5	RED SUNSET MAPLE	Acer rubrum 'Red Sunset'	2" BB	
ACSA	6	SUGAR MAPLE	Acer saccharum	2" BB	
CEOC	5	COMMON HACKBERRY	Celtis occidentalis	2" BB	
GLTI	12	SHADEMASTER HONEYLOCUST	Gleditsia triacanthos var inermis 'Shademaster'	2" BB	
QURU	12	NORTHERN RED OAK	Quercus rubra borealis	2" BB	
TIAR	8	REDMOND AMERICAN LINDEN	Tilia americana 'Redmond'	2" BB	

**Village of Lincolnshire Required Landscaping**

**Street Trees**

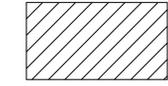
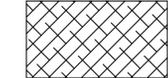
Briarwood Lane

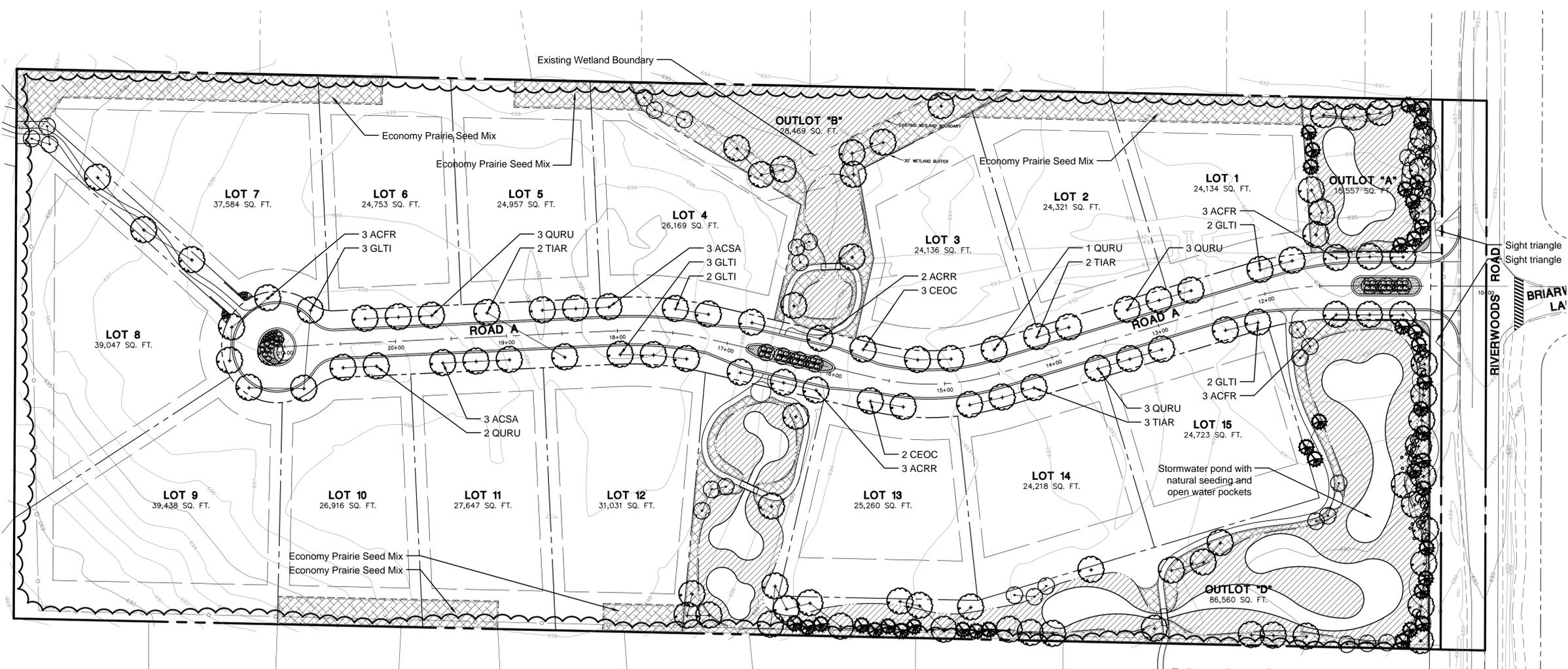
2294.63 feet of total frontage (both sides)  
1 tree per 40 feet = (57.3) = 57 trees

Riverwoods Road

492.96 feet (one side)  
1 tree per 40 feet = (12.3) = 12 trees

**Seeding Legend**

-  IDOT CLASS 1 SEEDING TURF
-  Cardno Stormwater Seed Mix Native Grasses
-  Cardno Swale Seed Mix Native Grasses



**1 Overall Site Plan**

1" = 50'-0"



**Manhard CONSULTING LTD.**  
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 Construction Managers • Environmental Scientists • Landscape Architects • Planners

**MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT**  
**LINCOLNSHIRE, ILLINOIS**  
**OVERALL LANDSCAPE PLAN**

PROJ. MGR.: JCC  
 PROJ. ASSOC.: MN  
 DRAWN BY: MN  
 DATE: 1/27/2016  
 SCALE: AS NOTED

SHEET  
**L1** OF **L4**  
 ACCLN3

**Cardno Stormwater Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES/RUSHES</b>		
Carex cristatella	Crested Oval Sedge	1.00
Carex lurida	Bottlebrush Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fowl Manna Grass	1.25
Juncus effusus	Common Rush	1.00
Juncus torreyi	Torrey's Rush	0.25
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	8.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus cyperinus	Wool Grass	0.50
Scirpus fluviatilis	River Bulrush	0.25
Scirpus validus	Great Bulrush	6.00
		40.25

**TEMPORARY COVER**

Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
		460.00

**FORBS**

Alisma spp.	Water Plantain Mix	4.25
Asclepias incarnate	Swamp Milkweed	1.50
Bidens spp.	Bidens Mix	2.00
Helenium autumnale	Sneezeweed	2.00
Lycopus americanus	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Penthorum sedoides	Ditch Stonecrop	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
		20.50

Apply at 32.5 pounds per acre

**Cardno Swale Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES</b>		
Andropogon gerardii	Big Bluestem	4.00
Carex comosa	Bristly Sedge	2.50
Carex cristatella	Crested Oval Sedge	2.00
Carex lurida	Bottlebrush Sedge	2.50
Carex spp.	Prairie Sedge Mix	8.00
Carex vulpinoidea	Brown Fox Sedge	4.00
Elymus virginicus	Virginia Wild Rye	8.00
Glyceria striata	Fowl Manna Grass	1.00
Panicum virgatum	Switch Grass	2.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	1.00
Spartina pectinate	Prairie Cord Grass	3.00
		3.00
	<b>Total</b>	40.00

**TEMPORARY COVER**

Avena sativa	Common Oats	360.00
Lolium multiflorum	Annual Rye	100.00
		460.00

**FORBS**

Alisma spp.	Water Plantain (Various)	1.00
Asclepias incarnate	Swamp Milkweed	2.00
Aster novae-angliae	New England Aster	1.00
Coreopsis tripteris	Tall Coreopsis	1.00
Eupatorium maculatum	Spotted Joe-Pye Weed	0.25
Iris virginica	Blue Flag	4.00
Liatis spicata	Marsh Blazing Star	1.00
Lobelia cardinalis	Cardinal Flower	0.25
Lobelia siphilitica	Great Blue Lobelia	0.50
Lycopus americanus	Common Water Horehound	0.25
Pycnanthemum virginianum	Common Mountain Mint	0.50
Rudbeckia triloba	Brown-Eyed Susan	0.50
Sagittaria latifolia	Common Arrowhead	0.25
Senna hebecarpa	Wild Senna	1.00
Silphium terebinthinaceum	Prairie Dock	1.00
Verbena hastata	Blue Vervain	1.50
Zizia aurea	Golden Alexanders	0.75
	<b>Total</b>	16.75

Apply at 32.5 pounds per acre

**Plant List**

Key	Quantity	Common Name	Botanical Name	Size	Comments
<b>Canopy Trees</b>					
ACRR	1	RED SUNSET MAPLE	Acer rubrum 'Red Sunset'	2" BB	
ACSA	1	SUGAR MAPLE	Acer saccharum	2" BB	
CASP	6	CATALPA TREE	Catalpa speciosa	2" BB	
GLTI	3	SKYLINE HONEYLOCUST	Gleditsia tricanthos inermis	2" BB	
GYDI	1	KENTUCKY COFFEETREE	Gymnocladus dioica	2" BB	
LISY	3	AMERICAN SWEETGUM	Liquidambar styraciflua	2" BB	
QUBI	3	SWAMP WHITE OAK	Quercus bicolor	2" BB	
QUMC	4	BUR OAK	Quercus macrocarpa	2" BB	
TADI	3	COMMON BALD CYPRESS	Taxodium distichum	5" BB	Multi-stem
<b>Ornamental Trees</b>					
AMGR	6	APPLE SERVICEBERRY	Amelanchier x grandiflora	5" BB	Multi-stem
CECA	6	EASTERN REDBUD	Cercis canadensis	5" BB	Multi-stem
CRVI	3	WINTER KING HAWTHORNE	Crataegus viridis 'Winter King'	5" BB	Multi-stem
<b>Evergreen Trees</b>					
PIPU	3	COLORADO GREEN SPRUCE	Picea pungens	5" BB	
PIST	6	WHITE PINE	Pinus strobus	5" BB	
<b>Shrubs</b>					
CEPO	0	BUTTONBUSH	Cephalanthus occidentalis	#5	
HAVE	3	AUTUMN EMBER WITCHHAZEL	Hamamelis vernalis 'Autumn Embers'	#5	
HYQP	6	PEE WEE OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	#5	
HYQS	12	SNOW QUEEN OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Snow Queen'	#5	
RHAG	16	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	#5	
VINW	4	WINTERHUR SMOOTH WITHEROD	Viburnum nudum 'Winterhur'	#5	
<b>Ornamental Grasses</b>					
CALK	6	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Forerster'	#1	Planted 36" O.C.
CAPE	36	OAK SEDGE	Carex pensylvanica	Plug	Planted 18" O.C.
PANP	14	PRAIRIE FIRE RED SWITCH GRASS	Panicum virgatum 'Prairie Fire'	#1	Planted 36" O.C.
<b>Perennials</b>					
ALCE	288	NODDING WILD ONION	Allium cernuum	#1	Planted 12" O.C.
AMSH	5	NARROW LEAF BLUE STAR	Amsonia hubrichtii	#1	Planted 24" O.C.
CORZ	54	ZAGREB COREOPSIS	Coreopsis verticillata 'Zagreb'	#1	Planted 24" O.C.
ECPM	7	MAGNUS CONEFLOWER	Echinacea purpurea 'Magnus'	#1	Planted 24" O.C.
RUFG	6	GOLDSTURM BLACK EYED SUSAN	Rudbeckia fulgida var. sullivantii 'Goldsturm'	#1	Planted 24" O.C.

**Village of Lincolnshire Required Landscaping**

**Street Trees**

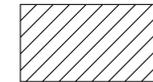
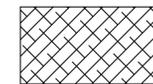
Briarwood Lane

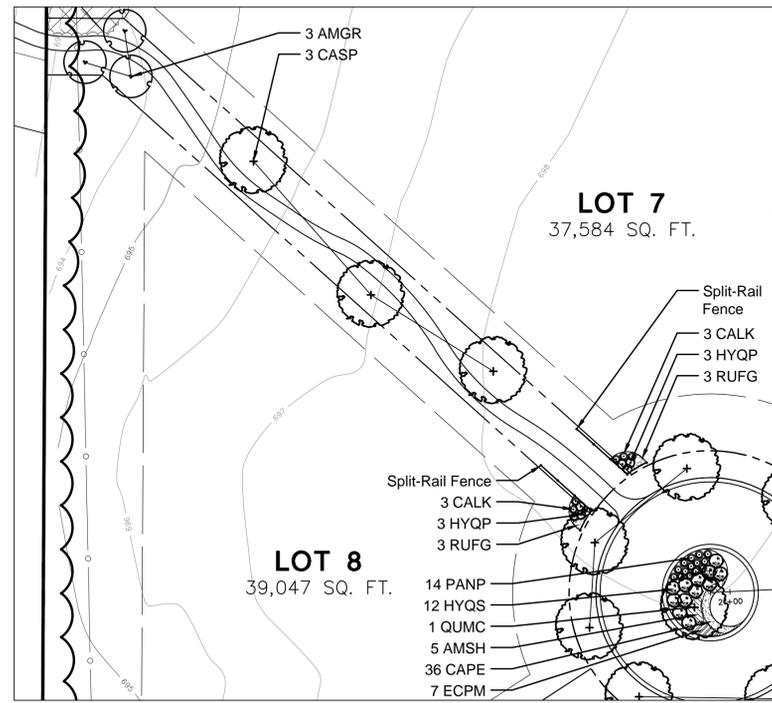
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Riverwoods Road

492.96 feet (one side)  
1 tree per 40 feet = (12.3) = 12 trees

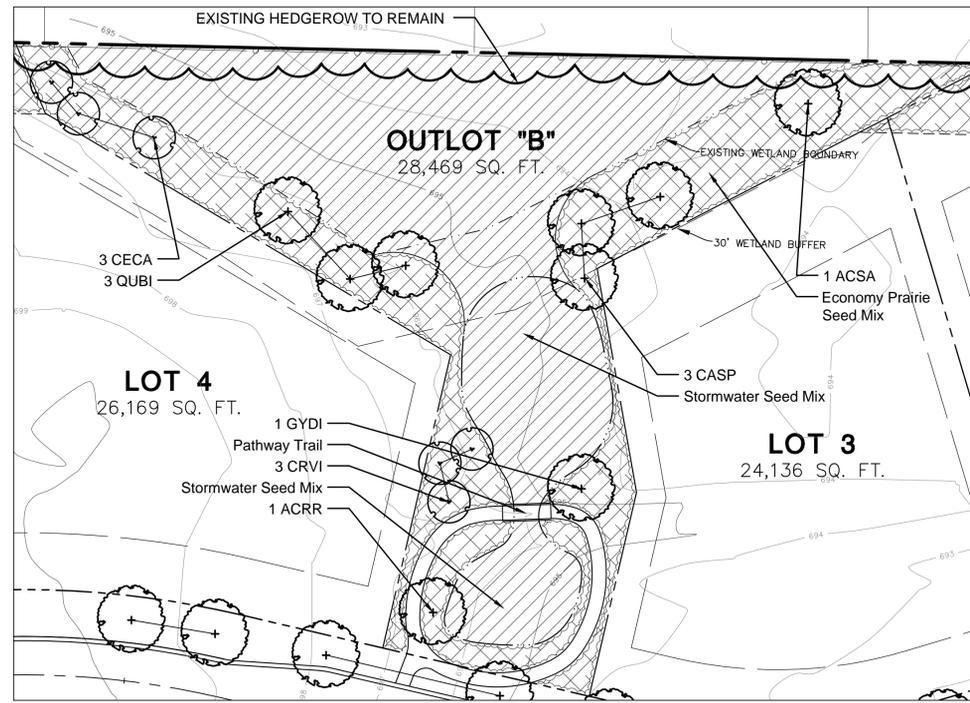
**Seeding Legend**

-  IDOT CLASS 1 SEEDING TURF
-  Cardno Stormwater Seed Mix Native Grasses
-  Cardno Swale Seed Mix Native Grasses



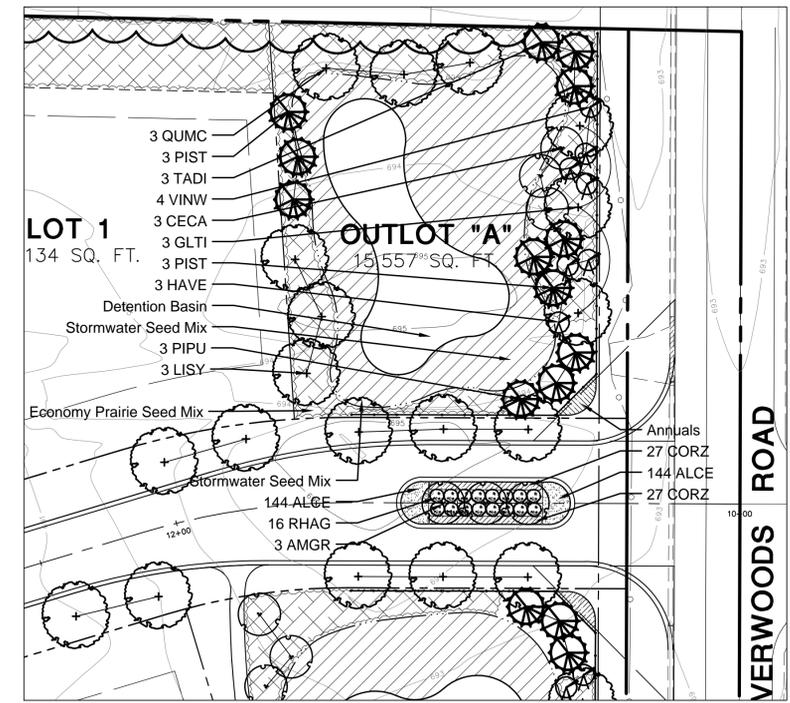
**1 Pedestrian Trail and Cul de Sac Detail**

1" = 30'-0"



**2 North Open Space Detail**

1" = 30'-0"



**3 Entrance Detail**

1" = 30'-0"

**Manhard CONSULTING LTD.**  
 700 Brimley Circle, Suite 200, Lincolnshire, IL 60466  
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MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT  
 LINCOLNSHIRE, ILLINOIS  
 LANDSCAPE PLAN DETAILS- FEATURE AREAS

PROJ. MGR.: JGC  
 PROJ. ASSOC.: MN  
 DRAWN BY: MN  
 DATE: 1/27/2016  
 SCALE: AS NOTED  
 SHEET  
**L3** OF **L4**  
 ACCLN3

**Cardno Stormwater Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES/RUSHES</b>		
Carex cristatella	Crested Oval Sedge	1.00
Carex lurida	Bottlebrush Sedge	2.00
Carex vulpinoidea	Brown Fox Sedge	6.00
Elymus virginicus	Virginia Wild Rye	12.00
Glyceria striata	Fowl Manna Grass	1.25
Juncus effusus	Common Rush	1.00
Juncus torreyi	Torrey's Rush	0.25
Leersia oryzoides	Rice Cut Grass	1.00
Panicum virgatum	Switch Grass	8.00
Scirpus atrovirens	Dark Green Rush	1.00
Scirpus cyperinus	Wool Grass	0.50
Scirpus fluviatilis	River Bulrush	0.25
Scirpus validus	Great Bulrush	6.00
		40.25

**TEMPORARY COVER**

Botanical Name	Common Name	Oz./Acre
Avena sativa	Common Oat	360.00
Lolium multiflorum	Annual Rye	100.00
		460.00

**FORBS**

Botanical Name	Common Name	Oz./Acre
Alisma spp.	Water Plantain Mix	4.25
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Bidens spp.	Bidens Mix	2.00
Helenium autumnale	Sneezeweed	2.00
Lycopus americanus	Common Water Horehound	0.25
Mimulus ringens	Monkey Flower	1.00
Penthorum sedoides	Ditch Stonecrop	0.50
Polygonum pennsylvanicum	Pinkweed	4.00
Rudbeckia subtomentosa	Sweet Black-Eyed Susan	1.00
Sagittaria latifolia	Common Arrowhead	1.00
Senna hebecarpa	Wild Senna	1.00
Thalictrum dasycarpum	Purple Meadow Rue	2.00
		20.50

Apply at 32.5 pounds per acre

**Cardno Swale Seed Mix**

Botanical Name	Common Name	Oz./Acre
<b>PERMANENT GRASSES/SEDGES</b>		
Andropogon gerardii	Big Bluestem	4.00
Carex comosa	Bristly Sedge	2.50
Carex cristatella	Crested Oval Sedge	2.00
Carex lurida	Bottlebrush Sedge	2.50
Carex spp.	Prairie Sedge Mix	8.00
Carex vulpinoidea	Brown Fox Sedge	4.00
Elymus virginicus	Virginia Wild Rye	8.00
Glyceria striata	Fowl Manna Grass	1.00
Panicum virgatum	Switch Grass	2.00
Scirpus atrovirens	Dark Green Rush	2.00
Scirpus cyperinus	Wool Grass	1.00
Spartina pectinata	Prairie Cord Grass	3.00
		Total 40.00

**TEMPORARY COVER**

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Silphium terebinthinaceum	Prairie Dock	1.00
Verbena hastata	Blue Vervain	1.50
Zizia aurea	Golden Alexanders	0.75
		Total 16.75

Apply at 32.5 pounds per acre

**Plant List**

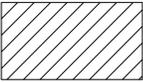
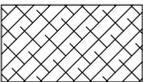
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QUMC	3	BUR OAK	Quercus macrocarpa	2" BB	
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CRVI	3	WINTER KING HAWTHORNE	Crataegus viridis 'Winter King'	5" BB	Multi-stem
POPT	3	QUAKING ASPEN	Populus tremuloides	5" BB	Multi-stem
<b>Evergreen Trees</b>					
PIPU	6	COLORADO GREEN SPRUCE	Picea pungens	5" BB	
PIST	15	WHITE PINE	Pinus strobus	5" BB	
<b>Shrubs</b>					
CEPO	3	BUTTONBUSH	Cephalanthus occidentalis	#5	
HAVE	4	AUTUMN EMBER WITCHHAZEL	Hamamelis vernalis 'Autumn Embers'	#5	
RHAG	20	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	#5	
VINW	5	WINTERHUR SMOOTH WITHEROD	Viburnum nudum 'Winterhur'	#5	
<b>Perennials</b>					
CORZ	36	ZAGREB COREOPSIS	Coreopsis verticillata 'Zagreb'	#1	Planted 24" O.C.

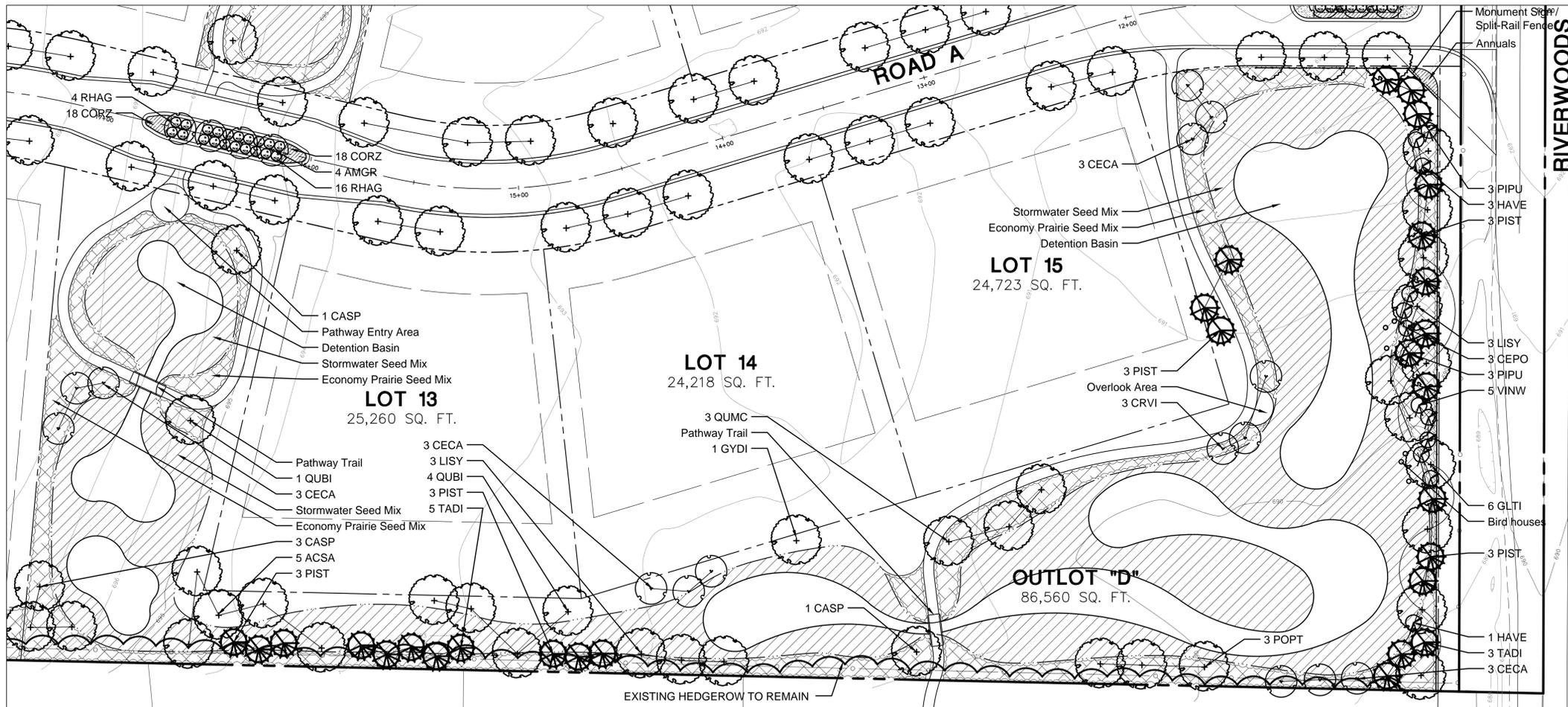
**Village of Lincolnshire Required Landscaping**

**Street Trees**  
 Briarwood Lane  
 2294.63 feet of total frontage (both sides)  
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**Riverwoods Road**  
 492.96 feet (one side)  
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**Seeding Legend**

-  IDOT CLASS 1 SEEDING TURF
-  Cardno Stormwater Seed Mix Native Grasses
-  Cardno Swale Seed Mix Native Grasses



**1 South Open Space Feature Detail**

1" = 30'-0"

1" = 50'-0"



MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT  
 LINCOLNSHIRE, ILLINOIS  
 LANDSCAPE PLAN DETAIL- SOUTH PONDS

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PROJ. MGR.: JGC  
 PROJ. ASSOC.: MN  
 DRAWN BY: MN  
 DATE: 1/27/2016  
 SCALE: AS NOTED

SHEET  
**L2** OF **L4**  
 ACCLN3

EXISTING HEDGEROW TO REMAIN

# OUTLOT "B"

28,469 SQ. FT.

EXISTING WETLAND BOUNDARY

30' WETLAND BUFFER

3 CECA

3 QUBI

1 ACSA

Economy Prairie Seed Mix

# LOT 4

26,169 SQ. FT.

3 CASP

Stormwater Seed Mix

1 GYDI

Pathway Trail

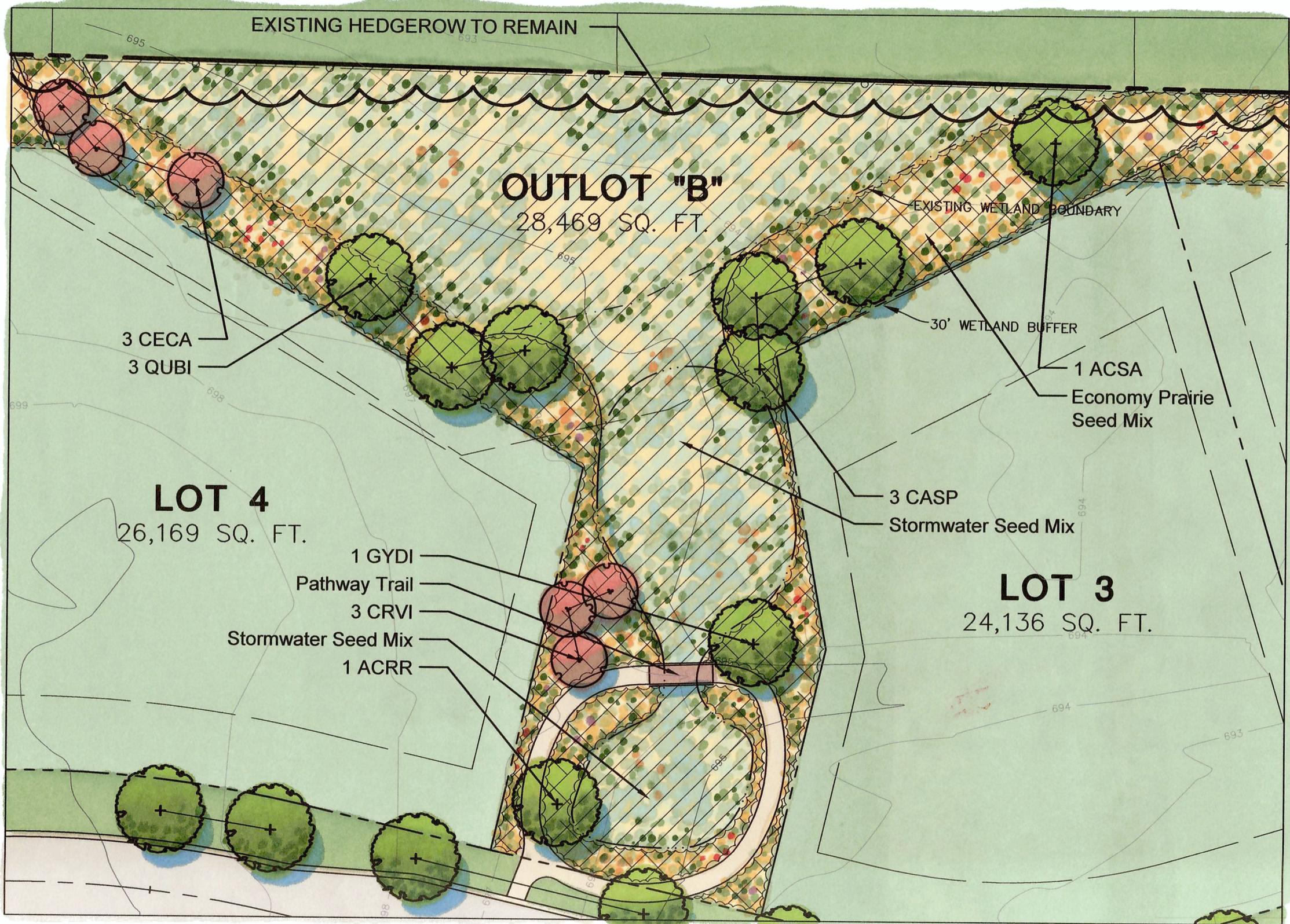
3 CRVI

Stormwater Seed Mix

1 ACRR

# LOT 3

24,136 SQ. FT.



**LOT 1**  
134 SQ. FT.

**OUTLOT "A"**  
15,557<sup>95</sup> SQ. FT.

- 3 QUMC
- 3 PIST
- 3 TADI
- 4 VINW
- 3 CECA
- 3 GLTI
- 3 PIST
- 3 HAVE

Detention Basin

Stormwater Seed Mix

- 3 PIPU
- 3 LISY

Economy Prairie Seed Mix

Stormwater Seed Mix

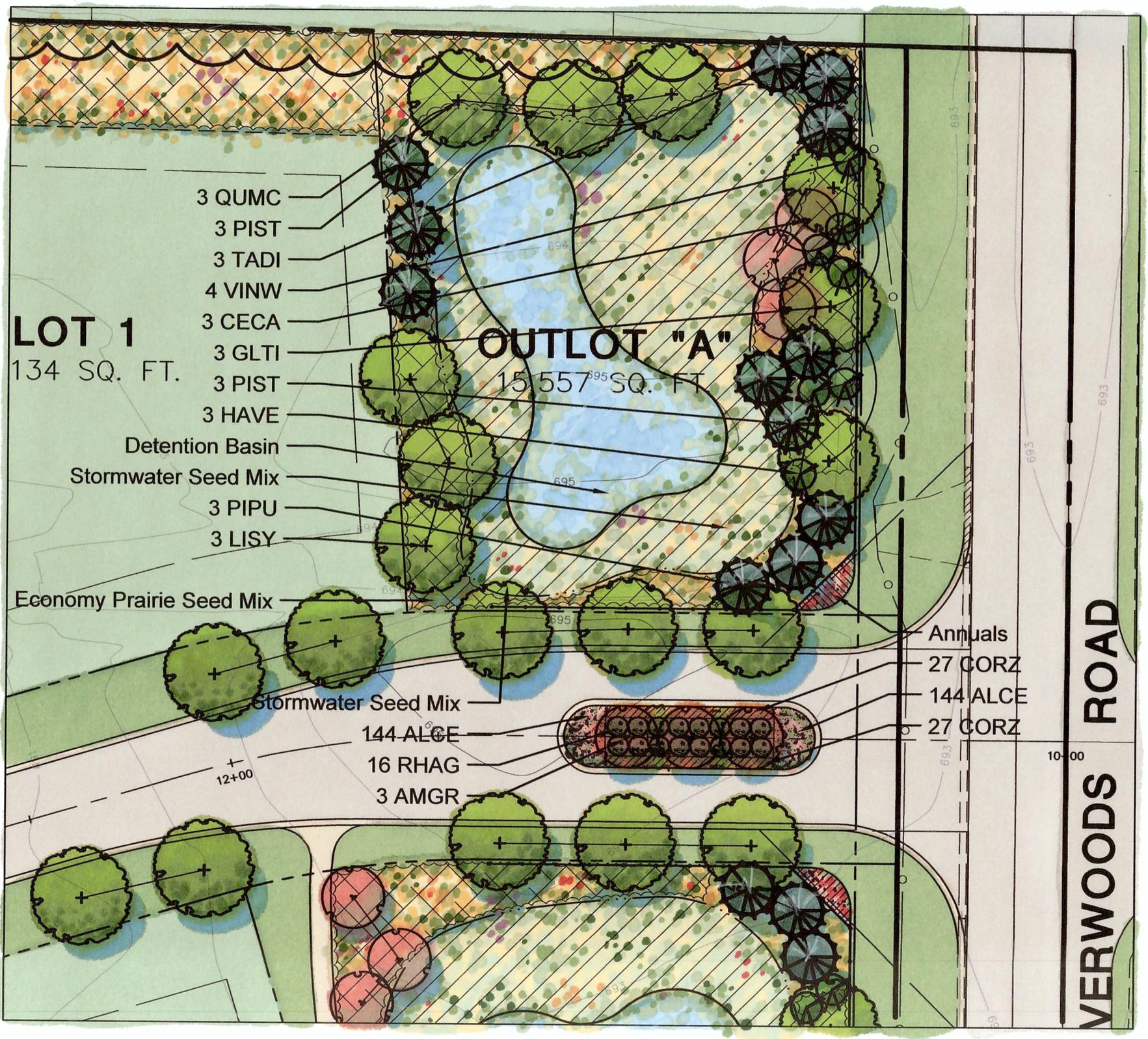
- 144 ALGE
- 16 RHAG
- 3 AMGR

- Annuals
- 27 CORZ
- 144 ALCE
- 27 CORZ

**VERWOODS ROAD**

12+00

10+00



## Manors of Whytegate

### 19 LOT PLAN

Total Area in Lots	476,124 sq.ft.	10.93 acres	72.9%
Total Area in Open Space	90,031 sq.ft.	2.07 acres	13.8%
Total Area in Existing & Proposed Right-of-Way	87,324 sq.ft.	2.00 acres	13.3%
Total Site	653,479 sq.ft.	15.00 acres	100.0%
Density	1.26 units/acre		
Smallest Lot	20,870 sq.ft.		
Largest Lot	37,317 sq.ft.		
Average Lot Size	24,849 sq.ft.		

### 17 LOT PLAN

Total Area in Lots	468,008 sq.ft.	10.74 acres	71.6%
Total Area in Open Space	91,765 sq.ft.	2.11 acres	14.1%
Total Area in Existing & Proposed Right-of-Way	93,706 sq.ft.	2.15 acres	14.3%
Total Site	653,479 sq.ft.	15.00 acres	100.0%
Density	1.13 units/acre		
Smallest Lot	23,209 sq.ft.		
Largest Lot	39,460 sq.ft.		
Average Lot Size	27,530 sq.ft.		

### 15 LOT PLAN

Total Area in Lots	424,334 sq.ft.	9.74 acres	64.9%
Total Area in Open Space	130,586 sq.ft.	3.00 acres	20.0%
Total Area in Existing & Proposed Right-of-Way	98,559 sq.ft.	2.26 acres	15.1%
Total Site	653,479 sq.ft.	15.00 acres	100.0%
Density	1.00 units/acre		
Smallest Lot	24,134 sq.ft.		
Largest Lot	39,438 sq.ft.		
Average Lot Size	28,289 sq.ft.		

## Change in Approved Single-Family Residential Subdivisions North of Route 22 - Initial Referral to Final Approval

Subdivision Name	COW Referral	Proposed Lots	Final Lots	% Change	Acres	Actual Density (units/acre)	Zoning	Max Permitted Density (per Zoning Code)
Anvil Farms	1/11/1988	7	7	0	*	-	R1	1.0
Bishop's Gate	1/25/1988	7	7	0	*	-	R1	1.0
Brampton Woods	9/23/1986	18	16	-11	*	-	R2A	1.25
Briarwoods	2/6/1989	17	14	-17.6	13.94	1.00	R2A	1.25
Brookwood Farms	12/13/2004	17	9	-47	19.534	0.46	R1	1
Lincolnshire Forest	7/8/2002	10	9	-10	11.704	0.77	R2A	1.25
Lincolnshire Woods - Units 1-4	10/5/1976	171	174	1.7	142.41	1.22	R2A	1.25
Manors of Brampton Woods	3/30/1989	11	10	-9		-	R2	2.0
Manors of Brampton Woods - Unit 2	4/24/2006	11	12**	9	16.79**	.71**	R2	2.0
Meadows of Birch Lake	7/24/1995	49	39	-20	39.8	0.98	R2A	1.25
Old Mill Woods	5/29/2001	45	27	-40	56.1	0.48	R2A	1.25
Whytegate - Unit 1	12/17/1984	29	29	0	22.68	1.28	R2A	1.25
Whytegate - Unit 2	12/17/1984	22	22	0	18.15	1.21	R2A	1.25
Whytegate - Unit 3	12/17/1984	19	19	0	15	1.27	R2A	1.25

Last updated 03/09/2016

\*Information not immediately available, additional research required.

\*\* Includes 308 Hamilton

accommodate the increase in residential activity. As identified in the Transportation Map (see Maps, Chapter 10), vehicular access to the site should be provided via a curb-cut on Riverwoods Road, directly east of the existing Brookwood Farms subdivision entrance, and a second Riverwoods Road curb-cut between the Ascension of Our Lord Greek Orthodox Church and the Meadows of Birch Lake subdivision. Dual roadway access for this Area will improve traffic flow on Riverwoods Road as encouraged by Lake County Division of Transportation roadway design standards. In addition, Farrington Drive should be considered as a secondary means of vehicular accessibility to the site, linking the Meadows of Birch Lake to future residential development within this planning area and aiding in traffic circulation during periods of peak traffic flow on Riverwoods Road. An additional point of ingress/egress to the planning area from Farrington Drive will also enhance traffic safety and accessibility to both developments. While secondary street connectivity from Farrington Drive is strongly encouraged, if such vehicular connectivity is not supported, pedestrian/path access should be integrated in place of street access.

**\*Critical Area 2**

The future land use of Area 2 is of particular importance as a result of its high level of visibility and resulting level of potential impact upon the adjacent residential neighborhoods of the Whytegate, Briarwoods, Lincolnshire Woods and Manors of Brampton Woods subdivisions, which entirely surround the parcel.

Area 2 is composed of approximately 14 acres and is likely the least complicated components of this sector as a result of its minimal level of natural features and existing development. The site is composed of limited trees located immediately adjacent to the existing rural-remnant single-family residence and long rural driveway that provides access to the site via Riverwoods Road. Although there are no other natural features currently present on the site, the property no longer demonstrates indications of its former agricultural use.

**Land Use Recommendation: Environmentally Sensitive Residential**

The future land use and development of this planning area must be closely evaluated as a result of the potential impact that such development could have on the surrounding established residential neighborhoods of the Whytegate, Briarwoods, Lincolnshire Woods and Manors of Brampton Woods subdivisions that surround the site. The character of these adjacent residential developments lends this Area's future land use to development of "Environmentally Sensitive Residential". Although the site does not contain the extensive woodlands, tree clusters, or nature features that are generally indicative of property placed within the "Environmentally Sensitive Residential" land use classification, it is imperative that it is developed in a manner consistent with that of the existing neighborhoods to ensure uniformity, consistency and cohesion as an integrated component of the residential community upon completion. Additionally, the existing grove of trees located in the center of the northern property line is directly in line with the conservation outlot of the Whytegate Unit 3 Subdivision to the north, which further supports preservation efforts for this parcel to foster consistent in-fill development patterns.



Soil borings and similar environmental analyses should be conducted to determine the existence of former or deteriorated wetlands on site to enable their potential restoration or possible expansion. Where possible, conservation outlots or private conservancy areas should be integrated into

# EAST SECTOR

CH  
3A

development of the site to preserve existing trees. Ingress and egress to the planning area should be provided via a single curb-cut on Riverwoods Road, immediately opposite Briarwood Lane. Although a secondary means of accessibility to the site via a street connection to Brampton Lane was anticipated through the Village's previous planning efforts, which resulted in the dedication of right-of-way to permit an easterly roadway extension, the Village Board has previously expressed their desire to abandon this connection. However, pedestrian path connectivity should be a strong consideration in lieu of a secondary street connection to further expand the Village's path system network by creating additional routes for alternative/recreational travel.

### Critical Area 3

Area 3 is the most significant of the seven focus areas of the East Sector with regard to land area and undisturbed natural features. As remnants of the Florsheim family farm, this planning area contains the highest amount of intact acreage (111 acres) under common ownership of all the focus areas that are identified within this sector. As a result, the acquisition of this area for future development is likely to face significant interest to developers.

This Area fronts Half Day Road, a primary arterial State roadway, and Old Mill Road, a remnant rural thoroughfare that was converted to a cul-de-sac upon the construction of the Interstate Tollway 94. A secondary point of access to Fallstone Drive is provided via the immediately adjacent Lincolnshire Woods Subdivision. Finally, Area 3 distinguishes itself from the other focus areas of this plan due to the presence of substantial natural features such as wetlands, woodlands, floodplain, and the West Fork of the North Branch of the Chicago River, which traverses the eastern boundary of the Area.

**Land Use Recommendation: Environmentally Sensitive Residential**

As the most environmentally sensitive of the seven focus areas within the East Sector and potential significant impact on the surrounding character of the adjacent residential neighborhoods, this planning area has been placed within the "Environmental Estate Residential" future land use classification to permit residential development of 0.5-1.0 dwelling units per

acre. Residential development of this nature is consistent with the character of the Old Mill Woods subdivision and also provides the reduced density and increased sensitivity necessary to accommodate the existing natural elements of the site. This Area's contiguity to the Old Mill Woods subdivision and the Florsheim Nature Preserve will require substantial consideration of potential developmental impact on these adjacent properties. Landscape bufferyards in the form of dedicated park land or conservation outlots should be utilized along Half Day Road to mitigate the impact of traffic and preserve the semi-rural character of the Half Day Road corridor. As an indication of the exceptional level of environmental sensitivity that is maintained in this planning area, it is included in the North Branch Chicago River Watershed Plan, therefore, any development of this area should be subject to the criteria and recommendations set forth in said Watershed Plan.



As identified in the Transportation Map (see Maps, Chapter 10), ingress and egress to the site should be provided via a relocated single curb-cut on Half Day Road, opposite Berkshire Lane to create a four-way intersection, with potential for traffic signalization. In order to preserve the secondary means of accessibility and interlinking roadway network currently provided by Fallstone Drive, this roadway should be extended easterly from its current terminus at Old Mill Road to enable the creation a new three-way intersection upon the northerly extension of

**REQUEST FOR BOARD ACTION  
Committee of the Whole  
March 14, 2016**

<b>Subject:</b>	Proposed 15-lot R2A Single-Family Subdivision – Policy Phase (Mons Property at 1700 Riverwoods Road)
<b>Action Requested:</b>	Continued consideration of a Rezoning Request for a 15 acre lot from R1, Single-Family Residence District to R2A, Single-Family Residence District, to permit the development of a 15-lot environmentally sensitive large lot subdivision – 1700 Riverwoods Road
<b>Originated By/Contact:</b>	Steve McNellis, Director Department of Community & Economic Development
<b>Referred To:</b>	Zoning Board

At the October 13, 2015 Committee of the Whole meeting, the Petitioner presented a 17-lot subdivision for review. The Village Board directed the Petitioner to make several revisions to their plans, and requested additional information from both the Petitioner and Staff. The requested revisions and information include:

- Reduce density and increase lot size.
- Incorporate more environmental features (ie. conservancy areas, open space and natural landscaping) to warrant R2A Zoning.
- Address concerns with building setbacks, building size and design of exterior building elevations, to provide architectural interest and increase open space between homes.
- Provide additional information depicting sample building layouts and data on surrounding subdivision densities and house sizes.

**Site Density / Lot Size:**

- Per Village Board direction, the petitioner reduced the lot count from 17 to 15-lots; a reduction in overall density from 1.13 dwelling units per acre to 1.00. The proposal at the Preliminary Evaluation meeting was for a 19-lot subdivision at 1.26 dwelling units per acre.
- The Petitioner was also directed to increase the overall lot size. The attached data sheet shows the average lot size has increased from 27,530 sq. ft. to 28,289 sq. ft. The smallest lot size in the proposed subdivision is now about 900 sq. ft. larger ( at 24,134 sq. ft.) and the largest lot size has also increased by about 750 sq. ft. (28,289 sq. ft.).

**R2A Environmental Features:**

- In addressing Board direction to increase natural amenities on site, to qualify as an R2A environmental Zoning District, the petitioner added a new common area outlot, with naturalized plantings south of the subdivision roadway. This includes a water feature and pathway trail. Native grasses and tree clusters are incorporated in this outlot, which is now connected at the rear of Lots 13-15 into the larger native-planted detention pond along Riverwoods Road.
- A second new outlot has been added to the north side of the development at the entry from Riverwoods Road. A significant planted buffer incorporating trees, bushes and natural grasses is included within the proposed outlot; providing a naturalized entrance to the subdivision on both sides of the roadway.

- As before, bioswales are incorporated into the rear of the lots, to provide stormwater drainage directed to the detention ponds. These bioswales will be planted with native landscape material.
- Naturalized open space, provided in outlots throughout the development, has increased from approximately 2.11 acres (14.1% of the subdivision area) to 3 acres (20% of the subdivision area).

**Building Layouts, Bulk and Architectural Design:**

- The petitioner provided an illustrative building footprint exhibit, depicting possible building locations and driveway configurations, as requested by the Village Board. Village Code requires 10' setbacks from the side lot line, for a total minimum 20' separation between buildings. This plan depicts the petitioner's proposal to increase the minimum side yard separation between buildings to 40'.
- As depicted in the chart below, the petitioner increased the average size of the home to 4,200-4,500 square feet, commensurate with the increased lot size.
- An Architectural Design Covenant is attached. This covenant provides requirements designed to regulate monotony of home design by specifying details that cannot be repeated in building elevations. The petitioner is prepared to discuss this covenant in further detail at Monday night's meeting.

**Additional Information:**

- At the October, 2015 Committee of the Whole meeting, the Village Board requested additional information on the average density and home square footage for five representative R1, R2 and R2A subdivisions :

Subdivision	Number of Lots	Density (units/acre*)	Avg. Sq. Ft. Per Home
Brookwood Farms (R1)	9	.46	6,736
Briarwoods (R2A)	14	1.00	5,059
Manors of Brampton Woods – Unit II* (R2)	11	.75	5,301
Meadows of Birch Lake (R2A)	39	.98	4,813
Old Mill Woods (R2A)	27	.48	4,973
Proposed Manors of Whytegate (proposed R2A)	15	1.00	4,200-4,500

\*Excludes new home at 308 Hamilton, as lot size and home size deviate significantly from the rest of the subdivision. Density with 308 Hamilton included is depicted on attachment entitled "Change in approved single-family residential subdivisions north of Route 22".

*Per past Village Board requests, Staff mailed courtesy notices of Monday night's meeting to all surrounding residents within 250 ft. of the subject parcel.*

**Recommendation:**

Consideration of a Rezoning to the R2A District, pursuant to the R2A Policy Phase, for a proposed 15-lot single-family residential subdivision and placement on the April 4<sup>th</sup> Consent Agenda for approval.

**Reports and Documents Attached:**

V:\Subdivisions\Mons (Manors of Whytegate)\Planning\Policy\_Phase\2016\_03\_14\_COW\Memo\_2016\_03\_14\_COW\_rev.doc

- Draft Ordinance, prepared by Village Attorney Simon.
- Presentation Packet, prepared by Arthur J. Greene Construction Company and Manhard Consulting, Ltd., received March 7, 2016.
- Architectural Design Covenants, prepared by Arthur J. Greene Construction Company, stamped received March 10, 2016.
- Manors of Whytegate Data Sheet, prepared by Manhard Consulting
- Change in Approved Single-Family Residential Subdivisions North of Route 22 table, prepared by Staff.
- Critical Area 2 Excerpt from Village of Lincolnshire Comprehensive Plan, Update 2012.
- Staff Memorandum and Meeting Minutes of the October 13, 2015 Committee of the Whole meeting.

<b>Meeting History</b>	
Referral at Village Board (COW):	February 24, 2014
Zoning Board (Public Hearing):	May 21, 2015
Previous Board Discussion (COW):	October 13, 2015
Current Board Discussion (COW)	March 14, 2016

**REQUEST FOR BOARD ACTION  
Committee of the Whole  
October 13, 2015**

<b>Subject:</b>	Proposed 17-lot R2A Single-Family Subdivision – Policy Phase (Mons Property at 1700 Riverwoods Road)
<b>Action Requested:</b>	Consideration of Zoning Board recommendation regarding Rezoning from the R1, Single-Family Residence District to the R2A, Single-Family Residence District, to permit the development of an environmentally sensitive large lot subdivision
<b>Originated By/Contact:</b>	Stephen Robles, Village Planner Department of Community & Economic Development
<b>Referred To:</b>	Zoning Board

**Background:**

- On May 21, 2015, the Zoning Board recommended by a vote of 4 yes votes and one no vote to rezone the property located at 1700 Riverwoods Road from R1, Single-Family Residence District, to R2A, Single-Family Residence District, as outlined in the R2A Policy Phase approval procedures, to permit development of an environmentally sensitive large lot subdivision.
- The subject parcel is currently improved with an existing vacant single-family residential home.
- The Petitioner seeks rezoning the 14-acre lot to the R2A District for development of a 17-lot, single-family subdivision.

**Zoning Process Summary:**

- Development proposals seeking the R2A zoning do not follow the traditional rezoning and subdivision process, rather the R2A zoning regulations require a two-phase review process:
  1. Policy Phase: In this first phase, the Zoning Board provides a recommendation on the proposed rezoning to the R2A District, based upon conceptual subdivisions plans. The Village Board then approves or disapproves the zoning change only (does not include subdivision, lot development or permit approval). A full analysis of the proposed subdivision, including platted-lot development, preliminary engineering and landscaping, does not occur until the Technical Phase.
  2. Technical Phase: Following zoning approval of the R2A, the second phase involves Village Board determination of the preliminary subdivision plat upon recommendation from the Zoning Board, then final subdivision plat determination following Zoning Board recommendation, and concludes with lot development permits approved by the Village Engineer and Forester.

***The R2A Single-Family Residence District is designed to permit the development of environmentally sensitive large lot areas through the application of responsible environmental and other planning criteria. The intent is to encourage a creative approach to the use of land, preserve natural vegetation, topographic and geologic features, enhance the appearance of the neighborhoods by the conservation of forested areas, water bodies and the preservation of natural vegetation and wildlife and advance the various Lincolnshire planning policies outlined in the Official Comprehensive Policies Plan. (Source: Lincolnshire Zoning Code – Chapter 5, Article B)***

- The R2A Zoning District permits a density of 0.5 – 1.0 units per acre. However, the Village Board may approve density premiums up to 1.25 units per acre where *“the petitioner shows special attention to protection and preservation of natural environmental resources and where the proposed development significantly advances the policy objectives of the Official Comprehensive Plan of the Village”*.

**Environmental Features Summary:**

- The R2A Zoning District was established to encourage a creative approach to land planning through preserving natural vegetation, conserving forested areas, water bodies and natural vegetation. The developer proposes to preserve and buffer the existing wetland area located in the north-central portion of the site, which aligns and continues the existing conservation outlot in the Whytegate Unit III subdivision to the north, to promote this environmentally-sensitive feature.
- The developer also proposes bio-swales located in rear yards and restricted landscape easements to further enhance the environmental component of the proposed R2A subdivision.

**Subdivision Design/Layout Summary:**

- The proposed 17-lot single-family subdivision follows a similar development pattern as Whytegate Unit III (immediately north), consisting of a single vehicular entrance from Riverwoods Road, terminating in a cul-de-sac, with a pedestrian path connection to Brampton Lane, as illustrated in the attached subdivision concept plan.
- Per R2A requirements, single-family lots shall be no smaller than 20,000 square feet, and must have an average lot size at least 22,000 square feet, which the conceptual development plans achieves, with an average lot size of 27,258.71 square feet.
- The proposed cul-de-sac measures 1,100’ long, in excess of the maximum permitted 800 ft. length (Sec. 7-5-2(G)). Although cul-de-sacs of this length are relatively common along both sides of Riverwoods Road (north of Rt. 22), a variation from the subdivision regulations will be required as part of the preliminary plat review during the technical phase, after consideration of the Rezoning in the current Policy Phase.

**Density Summary:**

- At the February 24, 2014 preliminary evaluation of the rezoning and subdivision requests, the Village Board requested the Zoning Board explore a reduction in density from the initially proposed 19 lots. Density was subsequently reduced to 17 lots for Zoning Board review. The density reduction is summarized below:

Meeting	Number of Lots	Land Area (acres)	Density (units/acre)
Feb 24 <sup>th</sup> Village Board Preliminary Evaluation	19	14.5	1.3
May 21 <sup>st</sup> Zoning Board	17	14.5	1.17

- Per Village Board request, the attached table provides a comparison of initial subdivision plans presented and COW referral and the final approved density for past single-family residential subdivisions north of Route 22.
- The Update 2012 Comprehensive Plan recommends rezoning of the subject property from the R1 District to a zoning consistent with the R2A District to support *“development consistent with the existing neighborhoods to ensure uniformity, consistency and cohesion*

as an integrated component of the residential community upon completion". The proposed R2A zoning is consistent with adjacent residential developments fronting Riverwoods Road and the proposed environmental enhancements are essential to demonstrating the environmental character of this parcel.

*Per Village Board request, Staff mailed courtesy notices of Tuesday night's meeting to all surrounding residents within 250 ft. of the subject parcel.*

**Recommendation:**

Consideration of rezoning to the R2A District, pursuant to the R2A Policy Phase, for a proposed 17-lot single-family residential subdivision and placement on the September 15<sup>th</sup> Consent Agenda for approval.

**Reports and Documents Attached:**

- Location Map.
- Draft Ordinance, prepared by Village Attorney Simon, includes Presentation Packet, prepared by Arthur J. Greene Construction Company and Manhard Consulting, Ltd., received October 6, 2015.
- Critical Area 2 Excerpt from Village of Lincolnshire Comprehensive Plan, Update 2012.
- Change in Approved Single-Family Residential Subdivisions North of Route 22 table, prepared by Staff.
- Staff Memorandum and Meeting Minutes of the May 21, 2015 Zoning Board.
- Email Correspondence from Dr. and Mrs. Mark Anderko, received May 13, 2015.

<b>Meeting History</b>	
Referral at Village Board (COW):	February 24, 2014
Zoning Board (Public Hearing):	May 21, 2015
Current Board Discussion (COW):	October 13, 2015



**MINUTES**  
**COMMITTEE OF THE WHOLE MEETING**  
**Tuesday, October 13, 2015**

**Present:**

Mayor Brandt	Trustee Feldman (Left at 9:55 p.m.)
Trustee Grujanac	Trustee Hancock
Trustee McDonough	Trustee Servi
Trustee McAllister	Village Clerk Mastandrea
Village Attorney Simon	Village Manager Burke
Chief of Police Kinsey	Treasurer/Finance Director Peterson
Public Works Director Woodbury	Community & Economic Development
Village Planner Robles	Director McNellis

**ROLL CALL**

Mayor Brandt called the meeting to order at 8:25 p.m. and Village Clerk Mastandrea called the Roll.

**2.0 APPROVAL OF MINUTES**

**2.1 Acceptance of the September 28, 2015 Committee of the Whole Minutes**

The minutes of the September 28, 2015 Committee of the Whole Meeting were approved as submitted.

 **3.0 ITEMS OF GENERAL BUSINESS**

**3.1 Planning, Zoning and Land Use**

**3.11 Consideration of a Zoning Board recommendation regarding a request to Rezone a 14+ acre lot from R1 Single-Family Residence District to R2A Single-Family Residence District, to permit the development of a 17-lot environmentally sensitive large lot subdivision at 1700 Riverwoods Road (Arthur J. Greene Construction Company)**

Mayor Brandt stated she had requested staff prepare information comparing the proposed development to others in Lincolnshire and the information has been provided at the meeting.

Village Planner Robles provided a summary of the recommendation regarding a request to rezone the development lot from R1 to R2A to permit the development of a 17-lot environmentally sensitive large lot subdivision by Arthur J. Greene Construction Company. A revised subdivision summary chart was provided to the Board today as requested by Mayor Brandt.

Mr. Jeff Greene, President of Arthur J. Greene introduced Mr. Glenn Christensen, Land Planner from Manhard Engineering and Mr. Tim Golatta, Vice President of Arthur J. Greene Construction Company.

Mr. Christensen provided a presentation indicating changes made since the last time this project was presented. Changes were made by Arthur J. Greene Construction Company prior to presenting to the Zoning Board. The original plan called for 19 lots and has since been revised to 17 lots.

Trustee McAllister asked if some of the proposed area is wetland. Mr. Christensen stated a portion is considered lowland but not wetland. Trustee McAllister asked if there have been drainage issues in this area. Public Works Director Woodbury noted there have not been drainage issues in this area in the past.

Trustee McDonough asked if Meadows of Birch Lake is zoned R2A. Village Planner Robles confirmed Meadows of Birch Lake is zoned R2A. Trustee McDonough asked what qualifies the Meadows of Birch Lake to be environmentally sensitive, and zoned R2A. Community & Economic Development Director McNellis noted the pond and all the environmental work in and around the area qualified Meadows of Birch Lake to be environmentally sensitive. Trustee McDonough asked what qualifies this proposed project to be environmentally sensitive. Village Planner Robles stated the wetlands that continue onto the parcel from Whytegate and the park or green space qualify it to be rezoned R2A. Trustee McDonough asked how it compares to the other environmentally sensitive zoned areas. Village Planner Robles stated the proposed project is comparable to what is directly to the north, but comparisons with other subdivisions is a different comparison. Mayor Brandt noted all the comparisons to this project have been to Whytegate which was approved in 1984, and Lincolnshire is currently in a different building pattern. Mayor Brandt noted her opinion was comparison should be made to some of the more recent subdivisions.

Mayor Brandt asked if the proposed lot size, based on more current development is the look the Board wants. A brief conversation regarding lot size compared to proposed square footage of the homes in comparison to other subdivisions in Lincolnshire followed. Mr. Greene noted the typical goal of a buyer is to build larger homes on larger lots as to compare to the surrounding homes; if the lot size becomes larger, he would expect buyers to want a larger home.

Trustee Grujanac noted the topography of the proposed plan slopes toward an existing house to the west and wanted to know how the flow of drainage would affect this existing home. Community & Economic Development Director McNellis stated a swale would be created to bring the water back around to the front of the lots.

Mr. Christensen noted the Comprehensive Plan was the criteria followed when planning the subdivision. Mayor Brandt stated more homes have been built in recent years on a larger lot and would like Arthur J. Greene Construction Company to consider this when planning.

Trustee Mark Hancock noted concern about approving a development through zoning and the lack of impact the Board has regarding the size of the homes, the setbacks and the look of the homes. Mr. Greene noted Arthur J. Greene Construction Company comes up with plans based on demand, and certain guidelines are created with staff. Mayor Brandt noted her concern is the density compared to other current projects. Trustee Hancock noted his concern is variation of development. Trustee McDonough noted his opinion was that Arthur J. Greene Construction Company could provide the variation and architecture needed but had concern with the revised zoning request. Trustee McDonough noted he would consider only one lot in the proposed development to meet the R2A criteria. Mr. Christensen noted the site in the past was farmed and the desire was to be compared with the adjacent developments. Trustee McDonough noted providing a park could possibly capitulate this as being rezoned R2A.

Mr. Joseph Cloonen, resident on Whitmore Lane, north of the proposed development, stated he is aware the school district is not in favor of the development. Mayor Brandt stated the school district is not in favor of any development due to capacity and having to add on to the schools, but the Village Board has to try and balance what is in the best interest of the Village. Mr. Cloonen stated he attended the Zoning Board review of this project, and it was not a unanimous vote to approve. It was noted in the Zoning Board meeting the developers met the criteria, and Mr. Cloonen stated it is the Trustees who are representing what is in the best interest of the resident not the developer. Mr. Cloonen noted open space is what differentiates Lincolnshire from the surrounding communities, and his request is not to approve the proposed subdivision.

Trustees Grujanac and McDonough noted it was their opinion to add conservancy/open area and landscaping. Trustee Grujanac and Mayor Brandt suggested putting a sample building and driveway footprint of one of the proposed houses on the plans to review.

Continued conversations took place regarding landscaping, lot size, building product and architectural variation.

Mr. Christensen asked the Board what the correct way to proceed is, and asked if it was to come back with a PUD. Community & Economic Development Director McNellis stated the current path of rezoning is the recommended direction. Village Planner Robles outlined the process.

There was a consensus of the Board was for Arthur J. Greene Construction Company to revise the plans to include additional

landscaping and environmentally sensitive areas, less lots, less density, and revised garage locations.

3.2 Finance and Administration

**3.21 Official Announcement of Estimated Amount to be Raised by Ad Valorem Taxes for the 2015 Tax Levy to be Collected in Fiscal Year 2016 (Village of Lincolnshire)**

Finance Director/Treasurer Peterson officially announced the estimated amount to be raised by Ad Valorem Taxes for the 2015 tax levy to be collected in fiscal year 2016. The tax rate has been maintained for four years. Further discussions will be made on November 23, 2015.

Trustee McDonough asked how much of the EAV is new development. Finance Director/Treasurer Peterson noted real amounts will not come out until April.

**3.22 Consideration and Discussion of Amendment to Police Pension Funding Policy (Village of Lincolnshire)**

Finance Director/Treasurer Peterson provided a summary of the proposed amendment to the Police Pension Funding Policy.

Trustee Hancock noted his opinion was the actuary background is there, and asked if it is still the discretion of the Board and staff regarding what the allocation will be. Village Manger Burke noted the final allocation is for the Board to decide.

There was a consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

3.3 Public Works

**3.31 Consideration and Discussion of a Joint Purchasing Agreement with Compass Minerals Incorporated in the Amount of \$28,176.00, and Cargill Incorporated in the Amount of \$13,556.00, for the Purchase of Rock Salt for the 2015-2016 Winter Season (Village of Lincolnshire)**

Public Works Director Woodbury provided a summary of the joint purchasing agreement with Compass Minerals Incorporated and Cargill Incorporated for the purchase of rock salt. The purpose of dual purchasing is to anticipate pricing.

There was a consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

3.4 Public Safety

3.5 Parks and Recreation