



**AGENDA**  
**REGULAR ZONING BOARD MEETING**  
**Public Meeting Room, Village Hall**  
**Tuesday, August 9, 2016**  
**7:00 p.m.**

*Reasonable accommodations or auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need any special services or accommodations.*

**CALL TO ORDER**

**1.0 ROLL CALL**

**2.0 APPROVAL OF MINUTES**

- 2.1 Approval of the Minutes of the regular Zoning Board Meeting held on Tuesday, May 10, 2016.

**3.0 GENERAL BUSINESS**

- 3.1 PUBLIC HEARING Regarding a Request for a Special Use Permit to Establish and Operate a Children's Daycare Center, 250 Barclay Boulevard (The Gardner School/Viking Development, LLC)
- 3.2 Consideration of a Preliminary Plat of Subdivision for a Proposed Manors of Whytegate Single-Family Residential Subdivision, 1700 Riverwoods Road (Arthur J. Greene Construction).

**4.0 UNFINISHED BUSINESS**

**5.0 NEW BUSINESS**

**6.0 CITIZEN COMMENTS**

**7.0 ADJOURNMENT**

The Zoning Board will not proceed past 10:30 p.m. unless a motion is made and approved by a majority of the Zoning Board members to extend the meeting one-half hour to 11:00 p.m. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Zoning Board Meeting.



**UNAPPROVED** Minutes of the **REGULAR MEETING OF THE ZONING BOARD** held on Tuesday, May 10 2016, in the Public Meeting Room in the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

**PRESENT:** Chairman Manion, Members Bichkoff, Kalina, and Van de Kerckhove

**STAFF PRESENT:** Tonya Zozulya, Economic Development Coordinator

**ABSENT:** Member Brady, and Trustee Liaison McDonough.

**CALL TO ORDER:** **Chairman Manion** called the meeting to order at 7:00 P.M.

### 1.0 ROLL CALL

The roll was called by **Economic Development Coordinator Zozulya** and **Chairman Manion** declared a quorum to be present.

### 2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes for the Regularly Scheduled Zoning Board Meeting held on Tuesday, January 12, 2016.

**Member Kalina** moved and **Member Van de Kerckhove** seconded the motion to approve the minutes of the Regular Meeting of the Zoning Board, as submitted. The motion passed unanimously by voice vote.

2.2 Approval of the Minutes of the Special Zoning Board Meeting held on Tuesday, January 26, 2016.

**Member Kalina** moved and **Member Van de Kerckhove** seconded the motion to approve the minutes of the Special Meeting of the Zoning Board, as submitted. The motion passed unanimously by voice vote.

### 3.0 ITEMS OF GENERAL BUSINESS

**Chairman Manion** recessed the Zoning Board meeting and opened the following three Public Hearings:

3.1 **PUBLIC HEARING** Regarding a Request to Rezone the Property from R1 Single-Family Residence to B2 General Business District, 21657 and 21661 Milwaukee Avenue (Trisha Bumpass & Standard Band & Trust Co.)

3.2 **PUBLIC HEARING** Regarding a Request for Special Use Permit to Establish and Operate an Assembly Use, 21657 and 21661 Milwaukee Avenue (Trisha Bumpass & Standard Band & Trust Co.)

3.3 **PUBLIC HEARING** Regarding a Request for Village Code Variations to Permit a Banquet Hall, 21657 and 21661 Milwaukee Avenue (Trisha Bumpass & Standard Bank & Trust Co.)

**Tonya Zozulya, Economic Development Coordinator**, noted Trisha Bumpass, contract purchaser for the property located at 21657 and 21661 Milwaukee Avenue, and Standard Bank & Trust Co. property owner, seek to rezone the property from R1 Single-Family Residence to B2 General Business District. The petitioner also seeks a Special Use permit to allow an assembly use (banquet hall) and related Village Code variations for the former Cubby Bear property. The subject property was annexed into Lincolnshire earlier this year. The proposed Loft 21 plans to host corporate, social and charity events and house a non-cooking kitchen, offices and storage on the lower level. The petitioner has also provided a cover letter with additional information regarding proposed business operations and interior and exterior improvements.

**Economic Development Coordinator Zozulya** pointed out the property is currently zoned R1 Single-Family Residence, which is the default zoning classification for newly annexed properties in the Village. Banquet halls are commercial uses not permitted in residential zones. Given the property location along the Milwaukee Avenue arterial with established business uses, the petitioner requests a rezoning to B2 Business Zoning District. The adjacent CityPark and Lincolnshire Commons retail centers to the northwest are zoned B2. Additionally, surrounding properties to the north and south will likely develop for commercial use in the future. The petitioner has submitted the responses to the Rezoning Standards for the Zoning Board's review.

With regard to the petitioner's request for a Special Use for the proposed banquet hall, **Economic Development Coordinator Zozulya** explained banquet halls are permitted in the B2 District with a Special Use permit only. The Special Use provides an opportunity for the Village to evaluate additional characteristics regarding parking, sound levels, and general operations to ensure the use does not adversely impact surrounding properties. In 2013, Noah's Event Venue was previously permitted with a Special Use permit in the Office/Industrial Zoning District. As stated in the petitioner's cover letter, the office hours will be 10 a.m. to 7 p.m. Monday through Saturday. They expect special events to end at midnight on weekdays and at 1 a.m. on Fridays, Saturdays and Sundays. The petitioner anticipates 2 to 3 weekday events and 3 to 4 weekend events per month. Staff requests the Zoning Board consider whether time limitations on the use of live or recorded music on the outside deck should be incorporated into the Special Use approvals to prevent nighttime sound impacts on adjacent developments. Please note the Special Use Ordinance granted to Noah's banquet center establishes a 9 p.m. outdoor patio music limitation on weekdays and 11 p.m. on weekends given the proximity of a hotel. Albeit, it is anticipated a total of 15 employees in the building, the Code-required parking ratio is 1 space per 4 persons at maximum occupancy established for meeting and event venues. The site plan shows 255 parking spaces will be provided, including 7 ADA spaces, which is sufficient for over 1,000 building occupants based on a code-required parking ratio, as well as this will meet their desired peak occupancy levels. Further, Loft 21 does not intend to change the existing wet-bottom storm water detention area in the rear of the building at this time. Based on their discussions with the Lake County Storm Water Management Commission (SMC), no changes to the existing detention facility are required. The Petitioner is required, by the SMC, to remove existing fences adjacent to the pond due to floodway conditions (no fences are permitted in floodway zones). Loft 21 will comply with this requirement. Staff recommends a stipulation be made to require the petitioner remove any debris from the

detention pond and surrounding areas and enhance the pond aesthetics by adding plantings in appropriate locations. The petitioner is also encouraged to consider relocating the detention area to the far back of the property and convert it for a dry-bottom pond to enhance aesthetics in the future to improve the functionality and appearance of the site. The petitioner has submitted responses to the Special Use Standards for the Zoning Board's review.

Along with the rezoning and Special Use request, there are several variations related to the parking lot being sought due to existing hardships on the property as noted in Staff's memo. The petitioner indicates compliance with the code regulations (without variations) would require redesigning the parking lot in such a manner as to vastly diminish the amount of available parking to service the existing building, resulting in the loss of approximately 109 parking spaces. In consultation with the Village Attorney, the following non-compliant items are to be addressed as legal non-conformities (rather than variations), subject to the Village Code's Non-Conforming regulations to ensure they are brought into compliance when significant future improvements are made: 1.) Pavement within 5' of the property line; and 2.) Light poles taller than 25'. The petitioner has submitted responses to the Variation Standards for the Zoning Board's review.

In conclusion, **Economic Development Coordinator Zozulya** noted recommending approval to the Village Board of a Rezoning from R1 Single-Family Residence to B2 Business. With regard to a Special Use permit for a banquet hall, Staff recommends approval to the Village Board with the conditions outlined in Staff's memo. Also, Staff recommends approval to the Village Board of the requested variations.

**Larry Freedman, Attorney**, with Ash, Anos, Freedman & Logan, L.L.C., was sworn in by **Chairman Manion**, and stated he represents the petitioner and contract purchaser, Trisha Bumpass. He noted the existing facility is legally non-conforming as it was constructed under Lake County standards prior to annexation into the Village. In conjunction, the petitioner intends on making significant changes to the front of the existing building to bring it up to Lincolnshire standards, as well as removing all current parking spaces between the building and Milwaukee Avenue and adding extensive landscaping. Also, she proposes to substantially maintain the current legally non-conforming parking plan in the rear, and as such is requesting a number of variations related to the parking lot.

**Edward (Ted) Peck, Architect**, with D & K Architecture & Interior Design, was sworn in by **Chairman Manion**, and presented an overview of the changes to the building front elevation and noted the elimination of the parking along Milwaukee Avenue and the addition of landscaping. The current drive aisle in front of the building will remain, but the flow of traffic will be reversed to one-way traffic into the parking lot which will serve to eliminate egress congestion onto Milwaukee Avenue. A drop-off/loading area will be provided for any catering vehicles or equipment etc. used for event operations and the drive aisle will be restriped accordingly. The landscaping will include low height shrubs and native grasses along the building front and a berm along Milwaukee Avenue is also being considered. **Mr. Peck** continued his presentation showing the existing plat of survey and the parking spaces along the south side of the parking lot which will be removed. The existing parking spaces and dead-end drive aisle along the east side of the detention pond will also be removed and the remaining parking aisles east of the detention pond will offer circulation by the elimination of two parking stalls on the south end of these aisles to provide a better traffic flow in that area. He also noted the parking lot is planned to be resealed and restriped. With regard to the detention pond, **Mr. Peck**

explained the removal of the existing chain link fence and the possibility of adding bollards in the southeast corner along the perimeter of the pond to keep cars from entering onto the adjacent property. The addition of plants, landscaping, and regrading around the pond is planned in conjunction with SMC regulations. Further, the proposed site plan was presented with the parking lot revisions shown, which includes 7 ADA spaces, mechanical equipment screening, and the location of the new ground monument sign. A landscape plan and assorted sample photos of plantings were presented for the site, as well as an existing photometric lighting plan to show its compliance with Code.

**Economic Development Coordinator Zozulya** requested the petitioner address the hours of operation. **Attorney Freedman** stated it is anticipated that during the week no events would likely continue past midnight, or 1 a.m. on Fridays, Saturdays and Sundays. Office hours are anticipated to be 10 a.m. to 7 p.m. Monday through Saturday. It is also anticipated two to three weekday events per month and three to four weekend events per month.

**Tricia Bumpass, Petitioner**, was sworn in by **Chairman Manion**, who asked if there would be any bands playing outside or speakers proposed on the balconies. **Ms. Bumpass** stated there would be no bands playing outside, but there are speakers planned for the outside and to be used for background music only for patrons to enjoy if they take their cocktails or desserts outside and not for rowdy entertainment purposes. **Chairman Manion** requested a limitation for the duration of time the outside speakers are being used. **Economic Development Coordinator Zozulya** noted Noah's Event Venue has established a 9 p.m. outdoor patio music limitation on weekdays and 11 p.m. on weekends. **Ms. Bumpass** noted that the sweet tables typically do not open until 11 p.m. at events which are held on weekends. **Attorney Freedman** suggested midnight, and **Member Kalina** pointed out Noah's outside music hour of 11 p.m. is considerate of the adjacent hotel. **Chairman Manion** pointed out Sedgebrook and Hampton Inn are in the vicinity, as well as take into consideration any future development adjacent to Loft 21. **Chairman Manion** expressed concern for the possibility of a hundred people outside during the later hours. **Ms. Bumpass** pointed out the ambient music would serve as a background to cocktails or "coffee and dessert" consumption and due to the size of the balconies, it would only hold approximately 40 people. **Attorney Freedman** suggested making the allowance for outside music to continue to midnight conditional upon future review within six months to a year from occupancy. **Member Kalina** inquired as to the price point of weekend events, to which **Ms. Bumpass** indicated the cost minimum is \$10,000 which does not include food etc. **Chairman Manion** asked the Petitioner if they wanted the Findings of Fact entered into and made part of the record, to which **Attorney Freedman** responded affirmatively and it is applicable to all three dockets.

**Bonnie Boznos**, representative for the Par King Mini Golf facility to the north of Loft 21, was sworn in by **Chairman Manion**, and stated Par King has speakers for outside music and expressed concern for any conflicts of the types of music from either facility which could be caused by wind direction. She noted the Par King is open until 11 p.m. on weekends, albeit closing time is dependent upon the weather and the customers attendance. **Chairman Manion** questioned if the outside music from Par King ever raised any noise complaints from Sedgebrook, to which **Ms. Boznos** responded there were none. In reference to **Ms. Boznos** comments regarding the wind direction, **Mr. Peck** added the wind rows for our region come primarily from the northwest 8 to 10 months during the year towards the southeast, and any concerns for wind direction would be carrying music noise away from the properties to the north.

There being no further testimonies or concerns from the audience, **Chairman Manion** closed the Public Hearings and reconvened the Zoning Board meeting.

**Chairman Manion** requested comment from **Member Kalina** and he noted his satisfaction with midnight as the limiting hour for outside music on weekends, considering this type of use. **Member Bickhoff** offered some concern, but given it is most likely two weekends nights, Friday and Saturday, with an occasional third, he pointed out the Hampton Inn is across Milwaukee Avenue. **Member Kalina** added the hotel is also adjacent to Viper Alley and The Emporium which are open late and typically have loud music playing inside, as well, which hasn't been a problem up to this point. **Member Van de Kerckhove** suggested 11:30 p.m. and **Chairman Manion** concurred to the compromised time. **Member Kalina** added a half hour time difference would not make much of a difference, as well as the people would make the bulk of the noise and not the music. **Ms. Bumpass** further noted in her 23 years of business, the dessert table is not offered until 11 p.m. and given the formalities taking place at that time and the opportunity to consume and mingle, it is usually winding down around 11:45-11:50 p.m. before this part of the event concludes. Discussion ensued with **Chairman Manion's** concerns for any complaints arising from outside music and strongly suggested a stipulation for revisiting the time limitation for outside music, to which he was comfortable with midnight as the limited time. There being no further comments, **Chairman Manion** sought motions from the Zoning Board for the three requests.

3.1 *Member Kalina moved and Member Bickhoff seconded a motion that having made findings based on facts covered in a Public Hearing held on May 10, 2016, the Zoning Board recommends approval to the Village Board of a rezoning from R1 Single-Family Residence to B2 Business, for Loft 21 Banquet Hall, located at 21657 and 21661 Milwaukee Avenue, as presented in a presentation packet prepared by Loft 21, Inc, dated May 2, 2016, and as presented in Staff's memorandum dated May 10, 2016.*

*The motion passed unanimously by voice vote.*

3.2 *Member Kalina moved and Member Bickhoff second a motion that having made findings based on facts covered in a Public Hearing held on May 10, 2016, the Zoning Board recommends approval to the Village Board of a Special Use to permit a banquet hall at 21657 and 21661 Milwaukee Avenue, as presented in a presentation packet prepared by Loft 21, Inc., dated May 2, 2016, and as presented in Staff's memorandum dated May 10, 2016, and further subject to the following conditions:*

1. *The existing detention pond shall be improved to comply with Section 13-2-8 of the Village Code, Landscape Requirements for Stormwater Facilities.*
2. *The parking lot shall be sealcoated and refinished.*
3. *Parking lot markings, including applicable handicapped markings, shall be reapplied to clearly demarcate the location of each parking space and all no parking zones.*
4. *The owner shall install bollards in the southeast corner of the property to prevent any invitee or guest from parking or driving on an adjacent property to the south.*
5. *The banquet center shall establish 9 p.m. outdoor patio music limitation on weekdays and a 12 a.m. (midnight) outdoor music limitation on weekends, and further subject to a revisitation 12 months after opening by Staff.*

*The motion passed unanimously by voice vote.*

- 3.3 *Member Kalina moved and Member Bickhoff second a motion that having made findings based on facts covered in a Public Hearing held on May 10, 2016, the Zoning Board recommends approval to the Village Board of variations to Section 6-11-2 (C) to allow a reduction in the minimum required length of a parking stall from 19' to 18'; Section 6-11-2 (C) to allow a reduction in the minimum required parking lot drive aisle width from 25' to 24'; Section 6-11-2(E)(2) to allow no landscaping on islands at the end of each parking row; Section 6-11-2(E)(3) to allow no parking islands at each end of parking aisles; Section 6-11-2(E)(5) to allow no landscape islands for every 15 parking spaces, and Section 13-2-4(C)(5)(b) to allow no continuous 8' landscape planting area between the building and parking areas, for Loft 21 Banquet Hall, located at 21657 and 21661 Milwaukee Avenue, as presented in a presentation packet prepared by Loft 21, Inc, dated May 2, 2016, and as presented in Staff's memorandum dated May 10, 2016.*

*The motion passed unanimously by voice vote.*

- 4.0 **UNFINISHED BUSINESS (None)**
- 5.0 **NEW BUSINESS (None)**
- 6.0 **CITIZENS COMMENTS (None)**
- 7.0 **ADJOURNMENT**

There being no further business, **Chairman Manion** sought a motion for adjournment. **Member Kalina** moved, and **Member Bickhoff** seconded the motion to adjourn. The meeting adjourned at 8:17 P.M.

Minutes submitted by Linda Jones, Administrative Assistant, Community & Economic Development.

**REQUEST FOR BOARD ACTION**  
**Zoning Board**  
**August 9, 2016**

<b>Subject:</b>	The Gardner School, 250 Barclay Blvd.
<b>Action Requested:</b>	<b>Public Hearing</b> regarding a Request for Special Use to Permit Establishment and Operation of a Children's Daycare Center
<b>Petitioner:</b>	The Gardner School/Viking Development, LLC
<b>Originated By/Contact:</b>	Tonya Zozulya, Economic Development Coordinator Department of Community & Economic Development
<b>Advisory Board Review:</b>	Zoning Board

**Background:**

- The Gardner School/Viking Development LLC, contract purchaser of the subject property, seeks a Special Use permit to establish and operate a daycare center on a vacant property at 250 Barclay Blvd, immediately south of Noah's Event Venue (shown on the attached location map).
- The subject property is located in the O/lc Office/Industrial Zoning District which permits daycare centers as a Special Use providing a service to support corporate center employees.
- The property is part of the Lincolnshire Corporate Center and is subject to the Center's existing covenants. Van Vlissingen & Co provided conceptual approval for the proposed use (see attached email).
- Daycare centers are regulated by the Illinois Department of Children and Family Services (DCFS).
- The Village Board reviewed and referred this request to the Zoning Board for a Public Hearing at its June 13, 2016 meeting.
- The Village's Development Review Team conducted a detailed review of the proposed plans following the preliminary evaluation meeting at the Village Board. The petitioner incorporated Staff's comments into the current Zoning Board packet.
- Attached is a draft Special Use Ordinance prepared by the Village Attorney.

**Request Summary:**

- Tennessee-based Gardner School proposes to construct a 15,988-square-foot building with an enclosed 15,236-square-foot outdoor play area directly accessed from the building (see attached Site Plan). Existing Illinois locations include Chicago, Glenview, Oakbrook Terrace and Warrenville.
- As indicated in the attached cover letter, the proposed maximum capacity is 206 children, ages 6 months old to five years old, with the maximum enrollment projected not to exceed 190 students due to graduations, vacancies and other fluctuations.
- A total of 35 teaching and other staff are proposed to support 14 classrooms.
- The Village Code requires 32 spaces for this use based on the building size (1 parking space per 500 SF of gross floor area). The attached Site Plan shows 42 spaces, exceeding the code requirements. The petitioner indicates the proposed parking spaces will be sufficient to accommodate their day-to-day needs, as well as during peak times triggered by special events when parking demand is greater. Staff informed the school no on-street parking is permitted in the Village.
- The petitioner proposes a one-way circulation via two curb cuts off Barclay Blvd. A designated drop-off area is proposed near the building entrance.
- Proposed hours of operation are 6:30 a.m. to 6:30 p.m. Monday through Friday. The school expects the majority of drop-offs to occur between 7-9 a.m. and pick-ups- between 4 and 6

p.m.

- All O/lc office/industrial zoning requirements will be met on this property, including the lot size, setbacks, building height and parking ratios.
- The petitioner submitted the attached lighting plans indicating compliance with the code-permitted maximum light levels of 0.5 foot candles at the property line.
- The playground areas will be enclosed with a 6' tall ornamental metal fence. The fence will be screened from the right-of-way as required by code.
- The Gardner School indicates, based on their preliminary meetings with the Lake County Stormwater Management Commission (SMC), the proposed impervious surface area created by this development would not require additional stormwater detention. A final SMC determination will be required prior to site work and building construction permit issuance.
- The petitioner submitted the attached responses to the Special Use standards for the Zoning Board's review. The Zoning Board must find every standard has been satisfactorily addressed to recommend approval of the request.

**Staff Recommendations:**

Recommend approval to the Village Board of a Special Use permit for a daycare center with the following conditions:

1. The Gardner School must obtain all applicable approvals for daycare facility and playground areas from Illinois Department of Children & Family Services (DCFS) and other appropriate licensing authorities prior to building occupancy.
2. Any increase in daycare enrollment beyond 206 children and any changes to the playground area location or other site plan changes shall be approved only by Special Use amendment.

**Motion:**

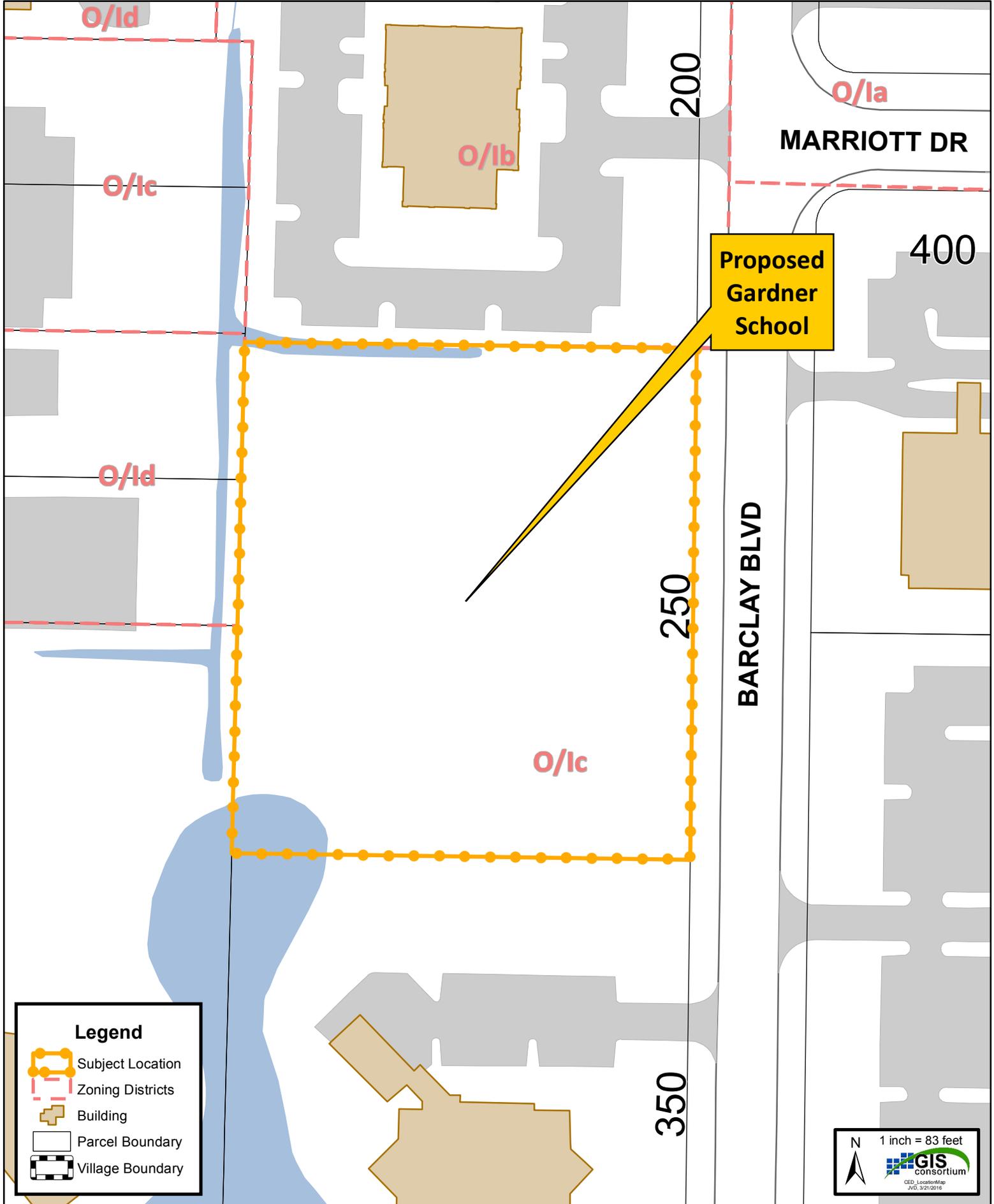
*Having made findings based on facts covered in a Public Hearing held on August 9, 2016, the Zoning Board recommends approval to the Village Board of a Special Use to permit the establishment and operation of a daycare center at 250 Barclay Blvd, as presented in the petitioner's presentation packet date stamped received August 4, 2016, and as presented in Staff's memorandum dated August 9, 2016, and further subject to. . . .*

*{Insert any additional conditions or modification desired by the Zoning Board}*

**Reports and Documents Attached:**

- Location Map, prepared by MGP Consortium.
- Draft Special Use Ordinance, prepared by the Village Attorney.
- Cover letter, prepared by Jay Joyner of the Gardner School, dated July 26, 2016, date stamped received August 4, 2016.
- Presentation Packet, prepared by Woolpert and Norr, date stamp received August 4, 2016.
- Conceptual use approval provided by Van Vlissingen & Co.
- Zoning Code excerpt regarding a daycare center use in the O/lc District.

<b>Meeting History</b>	
Current Village Board Evaluation (COW):	June 13, 2016
Zoning Board (current):	August 9, 2016



**Legend**

- Subject Location
- Zoning Districts
- Building
- Parcel Boundary
- Village Boundary

N 1 inch = 83 feet

GIS consortium

GED\_LocationMap  
JVG\_3/20/2016

**VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE GRANTING  
A SPECIAL USE FOR A COMMERCIAL SERVICE ACTIVITY  
(CHILD DAYCARE FACILITY)  
(THE GARDNER SCHOOL)**

**WHEREAS**, the Zoning Board held a public hearing on August 9, 2016, notice of which was published in the Lincolnshire Review on July 21, 2016, on an application from The Gardner School (“Applicant”), as contract purchaser of the property located at 250 Barclay Boulevard, Property Index Number (PIN) 15-22-101-020 (the “Subject Property”) and which is more specifically described in Exhibit A, attached hereto and incorporated by reference, and with the consent of Northgate Investment Inc., owner of the Subject Property (“Owner”), for a special use permit to operate a Commercial Service Activity/Day Care Facility in the O/Ic zoning district (“Special Use Application”);

**WHEREAS**, the aforesaid public hearing was held pursuant to legal notice as required by law and all persons desiring an opportunity to be heard were given such opportunity at said public hearing;

**WHEREAS**, the Zoning Board has heretofore submitted to the Mayor and Board of Trustees its findings of fact and recommendations related to the Special Use Application;

**WHEREAS**, the Architectural Review Board held a public meeting pursuant to legal notice as required by law on August 16, 2016, for the purpose of evaluating the architectural design and site plan described in the Special Use Application; and

**WHEREAS**, the Architectural Review Board has heretofore submitted to the Mayor and Board of Trustees its findings and recommendations related to the Special Use Application;

**WHEREAS**, the Corporate Authorities have concluded that the Special Use Application, subject to and in conformance with the terms and conditions of this Ordinance, will be beneficial to the Village, will further the development of the Subject Property, and will otherwise enhance and promote the general welfare of the Village and the health, safety and welfare of the residents of the Village.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, in exercise of its home rule authority, as follows:

**Section 1. Recitals and Findings.**

A. The Mayor and Board of Trustees hereby confirm the truth and validity of the representations set forth in the foregoing recitals, acknowledge they are material to

this Ordinance, and incorporate and make them a part of this Ordinance as though fully set forth herein. The Mayor and Board of Trustees further intend that this Ordinance shall be liberally construed so that the purpose and intent represented by the recitals shall be accomplished to the greatest extent permitted by law.

B. The Mayor and Board of Trustees have duly considered the recommendations of the Zoning Board and Architectural Review Board and hereby adopt the findings of the Zoning Board and Architectural Review Board, attached as Group Exhibit B, as the findings of the Corporate Authorities the same as though fully restated herein. All references and findings of the Zoning Board and Architectural Review Board are hereby made the findings and references of the Mayor and Board of Trustees.

## **Section 2. Special Use.**

A. **Special Use Amendment.** The Applicant is hereby granted a special use permit for the operation of a Commercial Service Activity/Day Care Facility on the Subject Property in the O/Ic zoning district, subject to the following conditions and restrictions:

**Section 3. Superseding Effect.** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent of any conflicts. Except for the foregoing limitation, the development of the Subject Property remains subject to all terms and conditions of applicable codes and ordinances of the Village of Lincolnshire including, without limitation, sign ordinances, building codes, subdivision regulations and regulations concerning the construction and design of public improvements.

**Section 4. Penalties.** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

**Section 5. Enforcement.** The Subject Property shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other applicable laws or regulations.

**Section 6. Effective Date; Assent.** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Owner and Applicant, or such other parties in interest as the Village may reasonably identify, consenting to and agreeing to

be bound by the terms and conditions of this Ordinance. Delivery to the Village of a copy of this Ordinance, as so executed, shall take place not later than sixty (60) days after the passage and approval of this Ordinance by the Corporate Authorities or within such extension of time as may be granted by the Corporate Authorities by motion.

**Section 7. Consents.** By signing the acknowledgement and accepting the terms and conditions of this Ordinance, the Applicant knowingly and voluntarily waives, for itself and its successors and assigns, any and all claims against the Village, its elected and appointed officers, employees and agents, of whatever kind, nature and amount, resulting from the limitations on the use of the Subject Property applied by Section 2 of this Ordinance. Notwithstanding the foregoing, nothing in this Ordinance shall be deemed to waive the ability for the Applicant, or its successors and assigns, to petition the Village, from time to time, for other and further zoning and subdivision approvals.

**PASSED** this \_\_\_\_ day of \_\_\_\_\_, 2016, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

**APPROVED** this \_\_\_\_th day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
Village Clerk

Published by me in pamphlet form

this \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Village Clerk





**EXHIBIT A**

**LEGAL DESCRIPTION OF THE SUBJECT PROPERTY**

LOT 12 IN LINCOLN CORPORATE CENTER, BEING A SUBDIVISION OF PORTIONS OF SECTIONS 15, 22 AND 27, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN AND A RESUBDIVISION OF PORTIONS OF LOTS 1 TO 6, IN CHICAGOLAND AIRPORT SUBDIVISION UNIT 2, ACCORDING TO THE PLAT OF SAID LINCOLNSHIRE CORPORATE CENTER RECORDED FEBRUARY 27, 1981 AS DOCUMENT 2102385 AND AMENDED BY INSTRUMENT RECORDED FEBRUARY 27, 1981 AS DOCUMENT 2102386, IN LAKE COUNTY, ILLINOIS.

P.I.N. 15-22-101-020

Common address: 250 Barclay Boulevard, Lincolnshire, Illinois, 60069

**GROUP EXHIBIT B**

**FINDINGS**

**GROUP EXHIBIT C**  
**ARCHITECTURAL AND SITE PLANS**



July 26, 2016

Chairman Brian Manion and  
The Village of Lincolnshire Zoning Board  
One Olde Half Day Road  
Lincolnshire, IL 60069

**Re: Request for Special Use Permit to Open a Preschool at 250 Barclay Blvd**

Dear Chairman Brian Manion and the Village of Lincolnshire Zoning Board

The purpose of this letter is to apply for a Special Use Permit to open a daycare (preschool) facility at 250 Barclay Blvd in Lincolnshire, IL. I represent The Gardner School (TGS), which offers educational preschool programs for children ranging in age from six weeks to five years. TGS's program is academically focused with a research based curriculum and teaching methodology. The TGS concept was developed in 2003, and the Company opened its first school in Brentwood, TN in June of 2004. Since that time, twelve schools have been added, including five in the Chicago area in the villages of Warrenville, Oakbrook Terrace, Glenview and in the city limits of Chicago. TGS will be opening its fourteenth facility in Lincoln Park in July of 2016. This will bring the Chicagoland total to six facilities.

We have visited other preschools in the area to gauge demand and have determined that there is sufficient demand for an education based preschool in this area. Attached is the Competitive Analysis form used to determine the demand for childcare in the area. Each year, we pass on dozens of sites after studying the market and determining that there is excessive competition and unfilled classrooms in a geographic area. We believe that is not the case for this proposed location in Lincolnshire. We wholeheartedly feel the need is present in this area and we are certain this business would be a benefit to the community by providing necessary childcare services and options for working parents.

Another consideration when searching for sites is the demographic profile. The daytime population and household incomes are very strong in this area as indicated by the attached demographic profile that we used to study the market.

In addition, we build very attractive buildings with excellent curb appeal and will do so with this proposed facility. Our architect will be providing exterior elevations, which I am confident you will find appealing.

The proposed Lincolnshire facility will have a capacity of 206 children, with the highest expected enrollment being 190 due to the fact that there will always be turnover, graduation, relocation, etc. We will have fourteen classrooms and thirty teachers. The total staff, including administration and kitchen staff, will be thirty-five. The building will be 15,988 square feet and the playground will be approximately 14,000 square feet. The facility will require no more than 45 parking spaces and will feature a large indoor play area for inclement weather, a computer lab, a dedicated enrichment studio, and a private room for nursing mothers. TGS also utilizes the PreciousStatus app, which provides "real-time" communication and updates to parents regarding each child's day. The exterior door and the door from the lobby to the classrooms both require keypad access. Hours of operation will be 6:30 am – 6:30 pm.

Child drop-off and pick-up primarily occur daily between 7:00 a.m. and 9:00 a.m. and 4:00 p.m. and 6:00 p.m. With this naturally staggered drop-off and pick-up window, there is never a surge in traffic as parents travel to and from work at various times.

TGS differentiates ourselves from our competitors in several significant ways. First and foremost, we offer an academically oriented research based curriculum, which provides a comprehensive learning environment, even for our youngest students. Research suggests that the richer a child's environment, the more neural connections the brain creates. TGS's DLM Early Childhood Express is designed to match instruction with the latest research regarding how children learn and develop. Secondly, all lead teachers and administration within each school are required to have four-year degrees in Early Childhood Education, or a closely related field. Additionally, TGS's extracurricular "Enrichment Program" offers in-house, semi-private lessons including instruction in foreign language, music and drama, sports readiness, dance and ballet, gymnastics and Be Smart Kids computer instruction. To further differentiate TGS as an academically-focused private preschool, students who are three years and older are required to wear uniforms. Each facility is equipped with a full scale cafeteria and a dedicated Chef that prepares health conscience, nutritionally-balanced meals. We have more details about our curriculum on the website referenced below.

TGS goes to great lengths to keep our website current with information about our company and our individual childcare centers. We encourage you to visit our website at [www.thegardnerschool.com](http://www.thegardnerschool.com).

We would be delighted to set up a tour of one of our nearby facilities so that Lincolnshire staff can observe our operations firsthand.

Please contact me at 615-613-0376, #107 with any questions.

Respectfully,



Jay Joiner  
SVP Real Estate Development  
278 Franklin Road, Suite 100  
Brentwood, TN 37027

[jay.joiner@thegardnerschool.com](mailto:jay.joiner@thegardnerschool.com)

615-613-0376, #107 office

615-456-8575 - cell



5. *The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village as amended.*

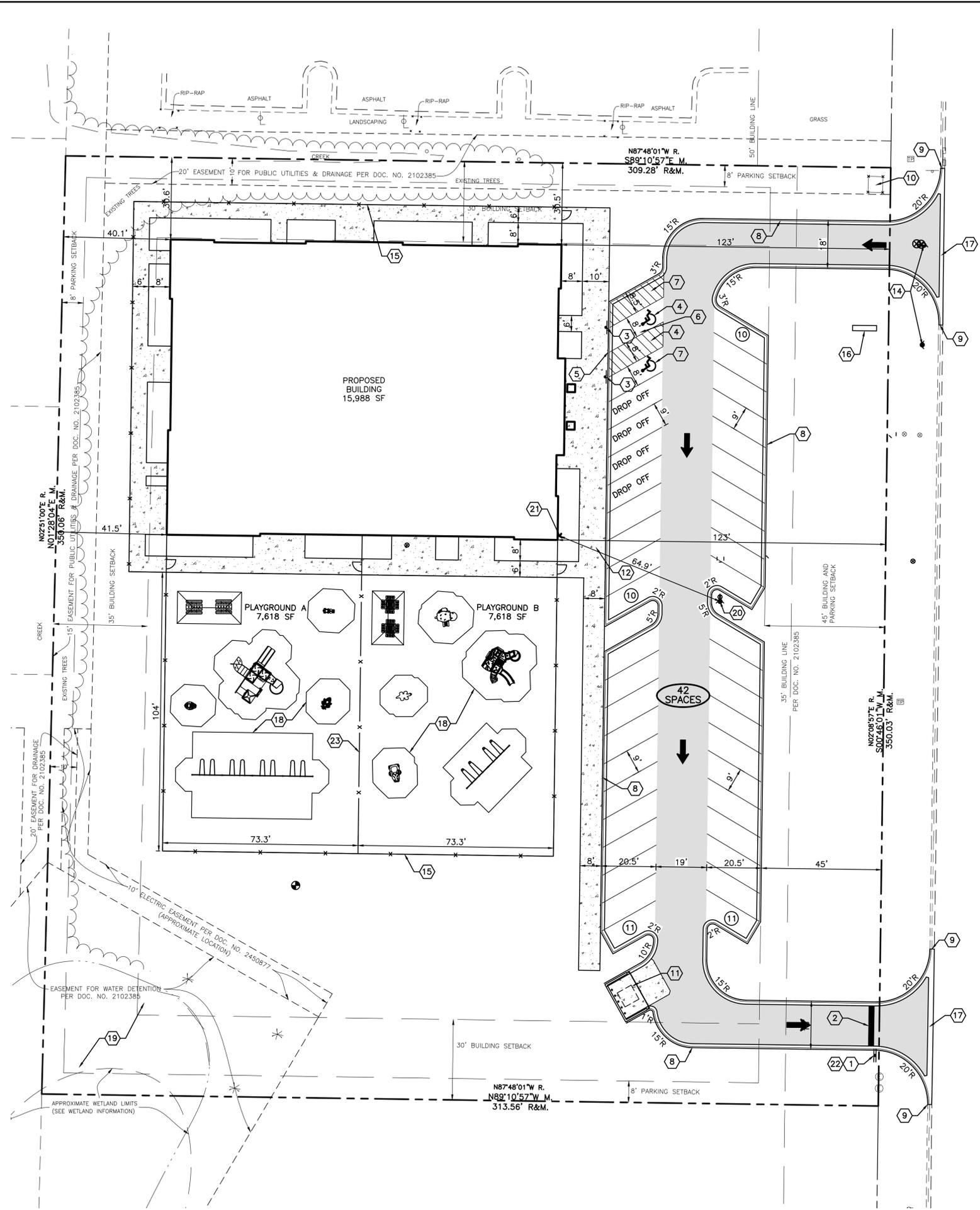
*\_\_\_\_\_*

6. *The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be varied pursuant to Section 6-14-9 of this Chapter.*

*\_\_\_\_\_*

- 
- \_\_\_\_\_*
- \_\_\_\_\_*
- \_\_\_\_\_*
- 2* *\_\_\_\_\_*
- \_\_\_\_\_*





**SITE LEGEND**

- INDICATES LIGHT DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE PAVEMENT/SIDEWALK—SEE DETAILS FOR PAVEMENT COMPOSITION
- LIGHT POLES
- EXISTING CURB AND GUTTER
- POSITIVE SLOPED CURB
- NEGATIVE SLOPED CURB
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY



**SITE KEY NOTES**

- NO. DESCRIPTION
- 1 "STOP" SIGN, R1-1
- 2 24" WIDE STOP BAR, TRAFFIC WHITE PAINT
- 3 ACCESSIBLE PARKING SIGN
- 4 ACCESSIBLE PARKING SYMBOL
- 5 ACCESSIBLE RAMP WITH DETECTABLE WARNING
- 6 ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS
- 7 PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT
- 8 CURB AND GUTTER
- 9 BEGIN/END PROPOSED CURB AND GUTTER. SAWCUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT.
- 10 EXISTING TRANSFORMER TO REMAIN
- 11 DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
- 12 CONCRETE WALK
- 13 DIRECTIONAL ARROW, TRAFFIC WHITE PAINT
- 14 RELOCATE EXISTING HYDRANT
- 15 6' FENCE—SEE ARCHITECTURAL PLANS. FENCE TO MEET DCFS REQUIREMENTS
- 16 MONUMENT SIGN - SEE ARCHITECTURAL PLANS
- 17 DEPRESSED CURB AND GUTTER
- 18 PLAYGROUND AREA
- 19 EXISTING DETENTION AREA
- 20 FIRE HYDRANT
- 21 FIRE DEPARTMENT CONNECTION
- 22 "DO NOT ENTER" SIGN
- 23 4' FENCE—SEE ARCHITECTURAL PLANS. FENCE TO MEET DCFS REQUIREMENTS

**SITE DATA**

PROPOSED SITE AREA	2.502±	ACRES
PIN	15-22-101-020	
ZONING	O/IC	
FAR	0.147	
<b>BUILDING DATA:</b>		
BUILDING AREA	15,988	SF
BUILDING HEIGHT MAX (AT CUPOLA)	30	FEET
BUILDING HEIGHT AT TALLEST ROOFTOP UNIT	18' - 2"	
PLAYGROUND A AREA	7,618	SF
PLAYGROUND B AREA	7,618	SF
<b>PARKING DATA:</b>		
SPACES REQUIRED	1/500 SF = 32	SPACES
SPACES PROVIDED	42	
ACCESSIBLE SPACES REQUIRED	2	
ACCESSIBLE SPACES PROVIDED	2	
<b>SETBACK DATA:</b>		
FRONT BUILDING	45'	35'+1' FOR EVERY 1' OF BUILDING HEIGHT OVER 20'
SIDE BUILDING	30'	20'+1' FOR EVERY 1' OF BUILDING HEIGHT OVER 20'
REAR BUILDING	35'	25'+1' FOR EVERY 1' OF BUILDING HEIGHT OVER 20'
PARKING	8'	NO PARKING IN REQUIRED FRONT YARDS. PARKING PERMITTED IN REQUIRED REAR AND INTERIOR SIDE YARDS

**SITE NOTES**

1. ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE.
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
3. ALL CURB & GUTTER SHALL BE B6.12, "POSITIVE", UNLESS NOTED OTHERWISE (SEE DETAILS).
4. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**BENCHMARK:**

THE BASIS OF ELEVATIONS HEREON IS NAVD 88. IRON ROD SET - SEE DRAWING FOR LOCATION. ELEVATION = 662.66'



REVISION	DATE	No.

PROJECT No: 76561  
 DATE 06/06/16  
 DES. BI  
 DR. BI  
 CKD. JG

1815 South Meyers Road  
 Suite 120  
 Oakbrook Terrace, IL 60181  
 630.424.9080  
 FAX: 630.485.3731

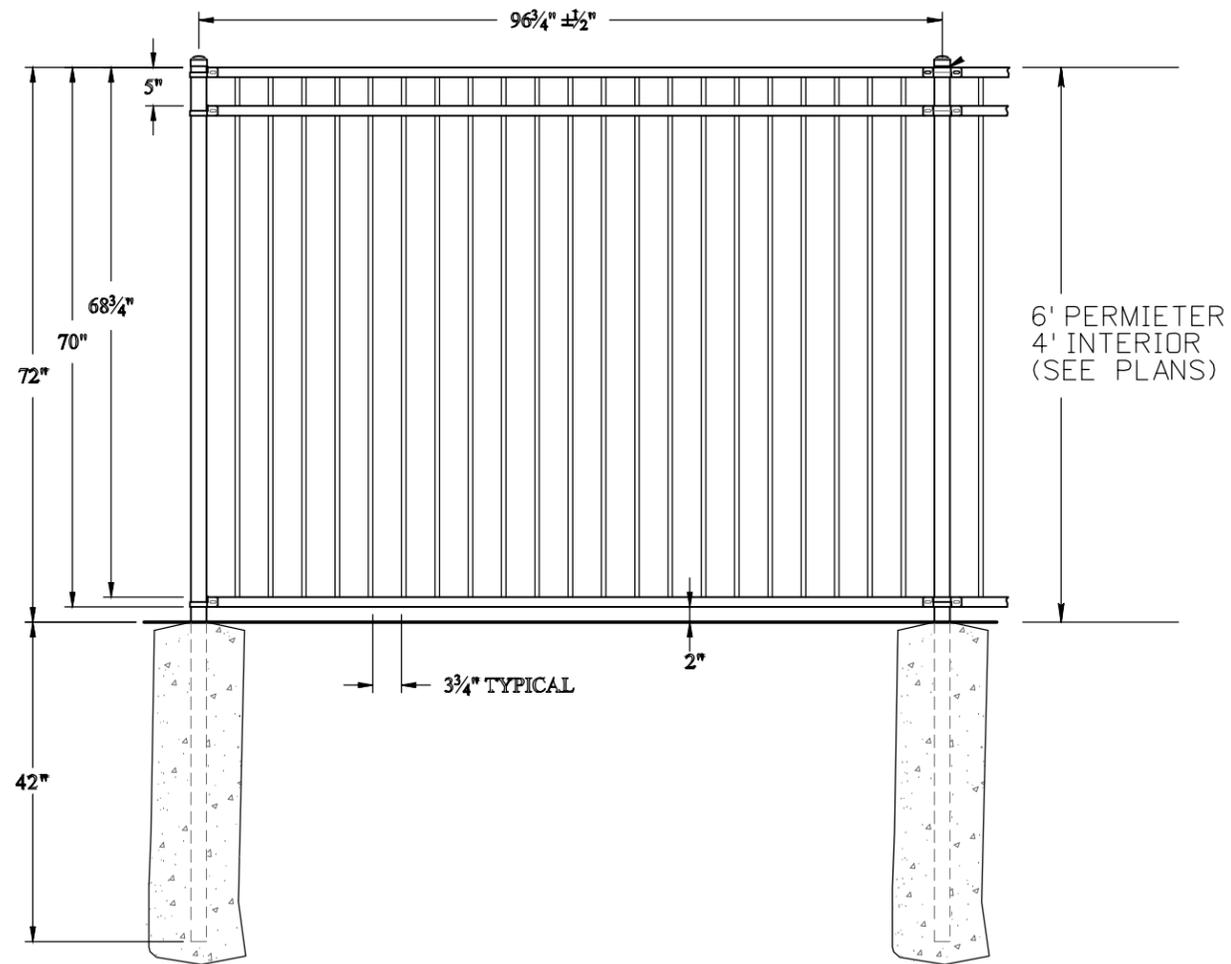
**WOOLPERT**

**SITE IMPROVEMENT PLANS**  
**THE GARDNER SCHOOL**  
 250 BARCLAY BOULEVARD  
 LINCOLNSHIRE, ILLINOIS

**SITE PLAN**

SHEET NO. **C200**





MANUFACTURER: AMERISTAR  
 MODEL: MONTAGE PANEL MAJESTIC 3R FLB 6T 8W  
 (42" MINIMUM DEPTH TO MEET VILLAGE OF  
 LINCOLNSHIRE FROST DEPTH)  
 MATERIAL: BLACK ORNAMENTAL STEEL

MANUFACTURER: AMERISTAR  
 MODEL: MONTAGE PANEL MAJESTIC 3R FLB 6T 8W  
 PHOTO: CREDIT OF AMERISTARFENCE.COM  
 MATERIAL: BLACK ORNAMENTAL STEEL

01 **FENCE DETAIL**  
 SCALE: 1/16"=1'-0"

**NORR**  
 ARCHITECTS PLANNERS  
 325 N. LaSalle St. | Suite 500 | Chicago, IL 60654  
 t 312.424.2400 | f 312.424.2424 | www.norr.com

PROJECT

 **THE GARDNER SCHOOL**  
 250 BARCLAY BLVD  
 LINCOLNSHIRE, IL 60069

SK SUMMARY		
#	Date	Issue
001	06/06/2016	FENCE DETAIL
002	07/25/2016	FENCE DETAIL

**SK002**  
 FENCE DETAIL  
 SHEET 1

**PARTITIONS LEGEND:**

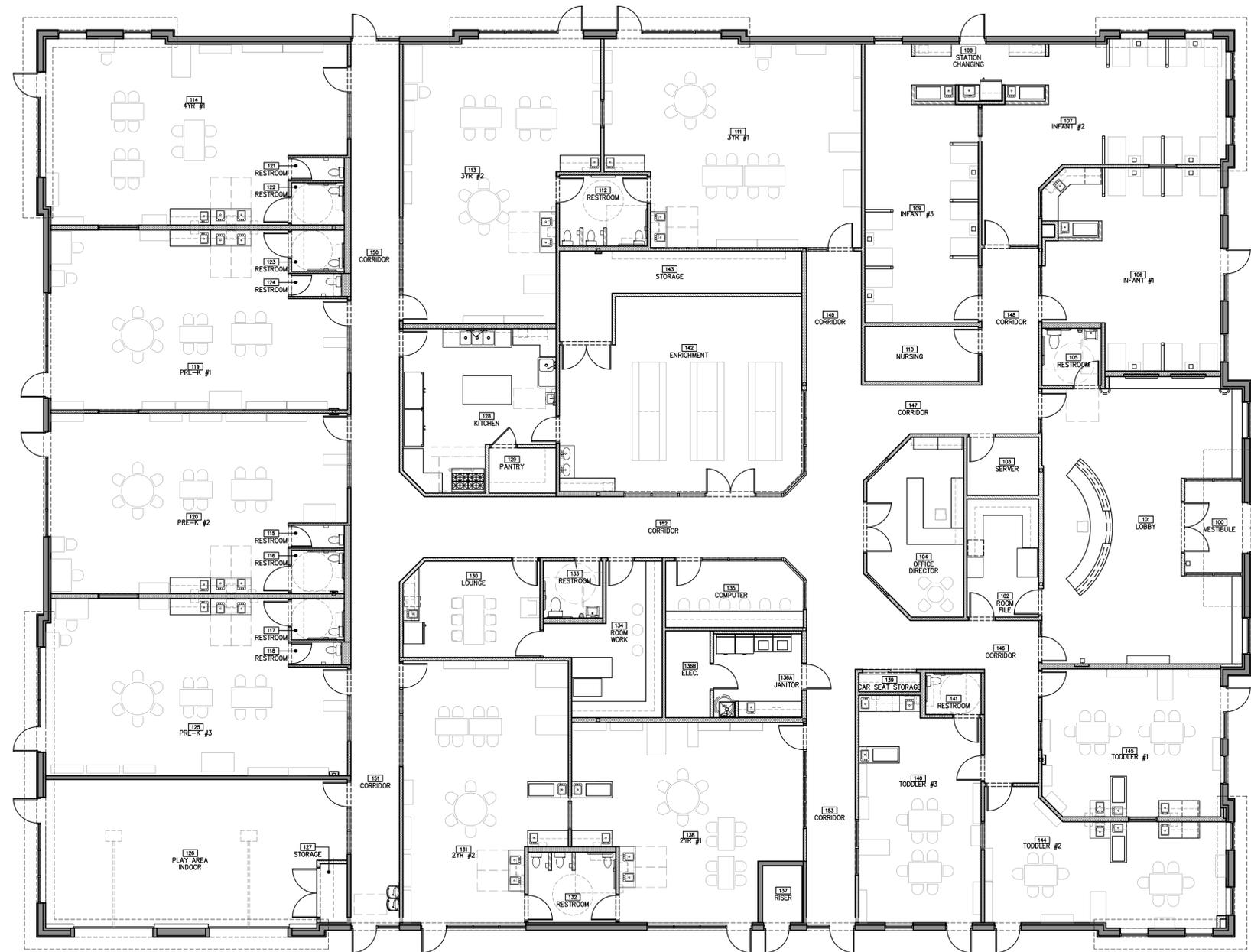
- NEW CONSTRUCTION - EXTERIOR WALL
- NEW CONSTRUCTION - INTERIOR PARTITION
- NEW CONSTRUCTION - INTERIOR LOW PARTITION
- NEW CONSTRUCTION - INTERIOR PARTITION w/ R-11 SOUNDBATT INSULATION

**SYMBOLS LEGEND:**

- WINDOW TAG
- DOOR TAG
- DETAIL NUMBER SHEET NUMBER
- PARTITION TYPE
- KEYED NOTE

**KEYED NOTES:**

INDICATED BY SYMBOL



**NOTED FLOOR PLAN**  
SCALE: 1/8"=1'-0"



ARCHITECT:  
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325 N. LaSalle St. | Suite 500 | Chicago, IL 60654  
1.312.424.2400 | 1.312.424.2424 | www.norr.com

CIVIL ENGINEER:  
**WOOLPERT**  
1915 South Meyers Road  
Suite 120  
Oakbrook Terrace, IL 60181  
630.424.9000  
FAX: 630.499.3731

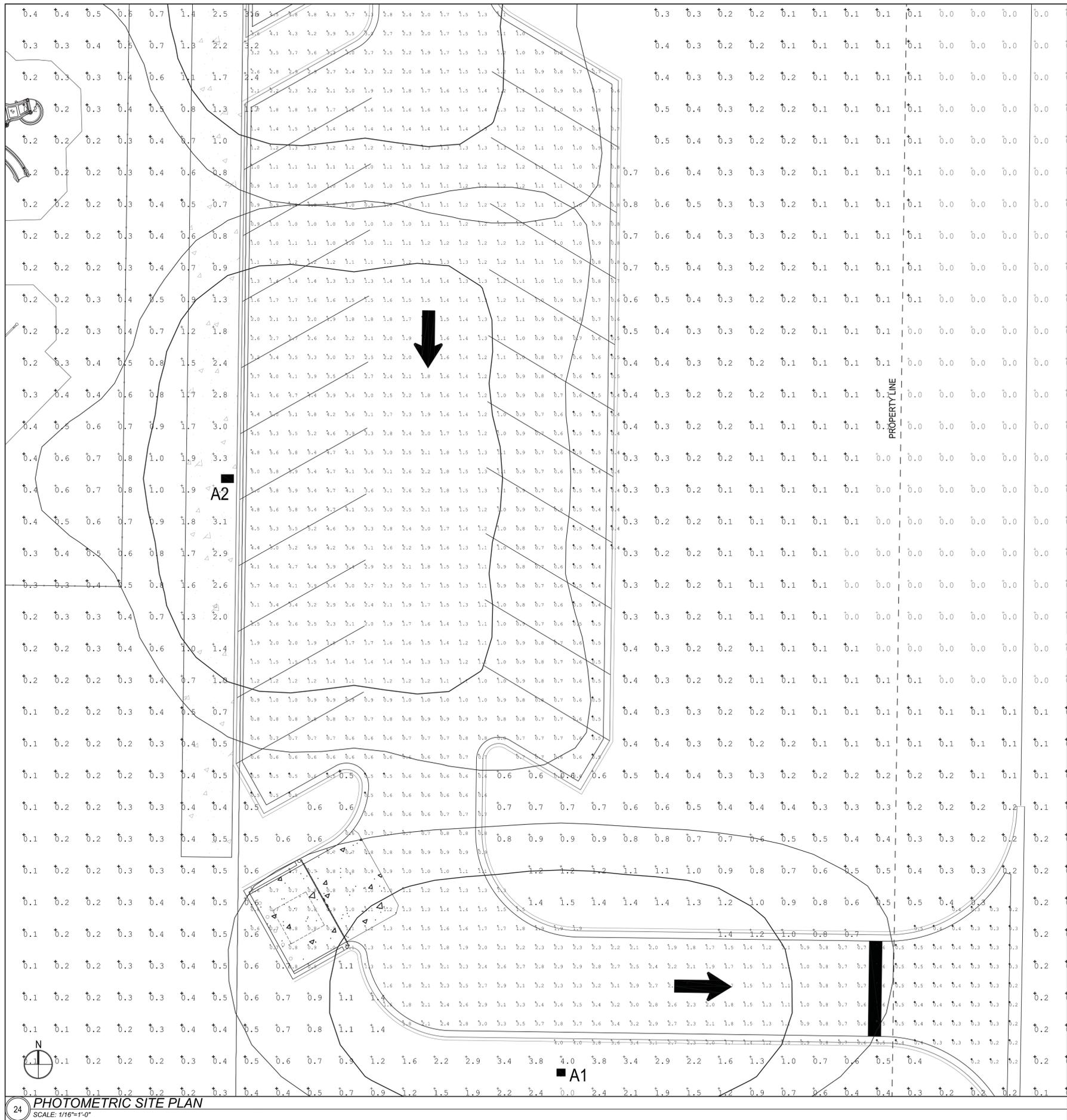
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**THE GARDNER SCHOOL**  
250 BARCLAY BLVD  
LINCOLNSHIRE, IL 60069

REVISION	DATE
PRELIMINARY VILLAGE BOARD SUBMITTAL	06/05/2016
VILLAGE ZONING BOARD SUBMITTAL	09/09/2016

**SHEET TITLE**  
NOTED FLOOR PLAN & DOOR SCHEDULE

**SHEET NO**  
**A101**



24 PHOTOMETRIC SITE PLAN  
SCALE: 1/16"=1'-0"

**OPTICAL CONFIGURATIONS**

Fixture Model	LED Quantity	LED Type	Beam Spread	Mounting Height	Lighting Area (sq. ft.)	Beam Spread	Beam Angle	Beam Diameter	Beam Area
8	16	4000K	120°	25'	1520	120°	120°	15.7'	1520
16	32	4000K	120°	25'	3040	120°	120°	31.4'	3040
24	48	4000K	120°	25'	4560	120°	120°	47.1'	4560

**Performance Data**

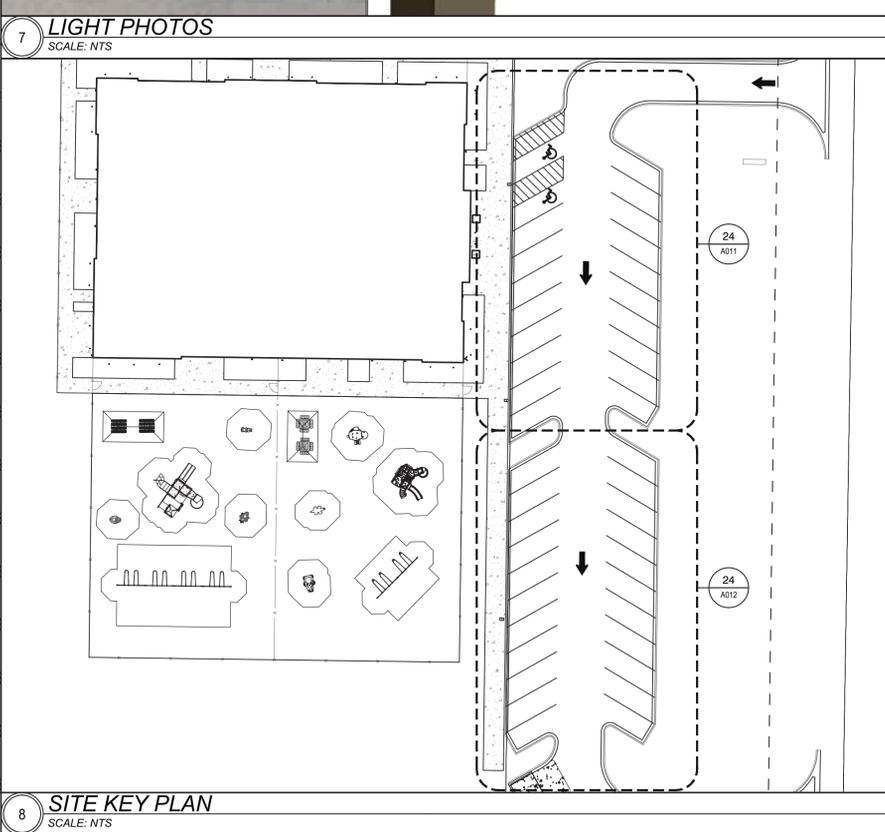
8, 16, or 24 LED configurations with high performance lenses optimize photometric performance. UV stabilized and gasketed for IP65 protection. 3000K, 4000K or 5000K CCT high current, high-output LEDs.

**Feature Callouts:**

- Optional 7-pin photocell receptacle available for twist lock photocells or wireless control modules (www.norr.com for details).
- Corrosion resistant powder paint finish.
- Rugged die-cast and extruded aluminum housing features isolation of LED driver from light engine. Vented design dissipates heat for maximum component life and performance.
- 8, 16, or 24 LED configurations with high performance lenses optimize photometric performance. UV stabilized and gasketed for IP65 protection. 3000K, 4000K or 5000K CCT high current, high-output LEDs.
- Tool-less entry and dual hinge design for installation and serviceability ease.
- Motion sensor option available with built-in photocell.
- Lens distributions are field rotatable (in 90° increments) or exchangeable for quick job site fine tuning.
- Universal mounting block.

**Additional Options:**

- Motion Sensor Option:** Motion sensor option available for maximum energy savings.
- Control Options:** 7-pin photocell receptacle (twist lock photocell) or wireless control module (www.norr.com for details).
- Universal Mounting Block:** Versatile mounting block with all allows for re-positioning of mounting plate (see page 18).
- Tool-less Access:** Two thumb screws and hinges allow for tool-less access to driver compartment for easy wiring and serviceability.
- Field Rotatable Lenses:** Lenses are field rotatable in 90° increments with handle assembly for 30-60 Min. Setup.
- Vented Housing:** Heat dissipating vents for maximum component life and LED performance.



**ARCHITECT:**  
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325 N. LaSalle St. | Suite 500 | Chicago, IL 60654  
1.312.424.2400 | 1.312.424.2424 | www.norr.com

**CIVIL ENGINEER:**  
**WOOLPERT**  
1915 South Meyers Road  
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Oakbrook Terrace, IL 60181  
630.424.8880  
FAX: 630.495.3731

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**THE GARDNER SCHOOL**  
250 BARCLAY BLVD  
LINCOLNSHIRE, IL 60069

REVISION	DATE	DESCRIPTION
PRELIMINARY VILLAGE BOARD SUBMITTAL	06/05/2016	
VILLAGE ZONING BOARD SUBMITTAL	08/09/2016	
VILLAGE ARCHITECTURAL REVIEW BOARD	08/16/2016	

**SHEET TITLE**  
PHOTOMETRIC SITE PLAN

**SHEET NO**  
**A012**



17 EAST ELEVATION - PRELIMINARY  
SCALE: 1/8"=1'-0"



22 NORTH ELEVATION - PRELIMINARY  
SCALE: 1/8"=1'-0"



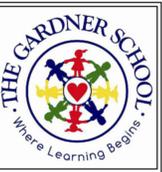
23 WEST ELEVATION - PRELIMINARY  
SCALE: 1/8"=1'-0"



24 SOUTH ELEVATION - PRELIMINARY  
SCALE: 1/8"=1'-0"

FINISH LEGEND:

- 
 STONE CLADDING  
 MANUFACTURER: PARAGON STONE  
 TYPE: GLOBEBROOK LIMESTONE  
 MORTAR: FLAMINGO BRIXMENT  
 GRAY MASONRY CEMENT
- 
 THRU-WALL BRICK  
 MANUFACTURER: ENDICOTT  
 COLOR: BORDEAUX  
 MORTAR: FLAMINGO BRIXMENT  
 OHIO RIVER MASONRY SAND C-247A
- 
 SINGLE WIDTH SHAKE SHINGLE  
 MANUFACTURER: DA VINCI ROOFSCAPES  
 COLOR: MOUNTAINBLEND
- 
 HARDEIPLANK LAP SIDING / HARDIETRIM  
 MANUFACTURER: JAMES HARDIE  
 COLOR: MONTEREY TAUPE
- 
 HARDIETRIM BOARDS  
 MANUFACTURER: JAMES HARDIE  
 COLOR: COBBLE STONE



ARCHITECT:  
**NORR**  
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325 N. LaSalle St. | Suite 500 | Chicago, IL 60654  
1.312.424.2400 | 1.312.424.2424 | www.norr.com

CIVIL ENGINEER:  
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1918 South Meyers Road  
Suite 120  
Oakbrook Terrace, IL 60181  
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THE GARDNER SCHOOL  
250 BARCLAY BLVD  
LINCOLNSHIRE, IL 60069

REVISION	DATE	DESCRIPTION
PRELIMINARY VILLAGE BOARD SUBMITTAL	06/05/2016	
VILLAGE ZONING BOARD SUBMITTAL	08/09/2016	

SHEET TITLE  
BUILDING ELEVATIONS

SHEET NO  
**A050**

## Tonya Zozulya

---

**From:** Charles Lamphere <crl@vvco.com>  
**Sent:** Friday, June 03, 2016 2:38 PM  
**To:** Bryan Slonski; Jay Joiner; Tonya Zozulya  
**Cc:** Nicholas Zager; Brian Sredojevic  
**Subject:** RE: The Gardner School - 250 Barclay Blvd - Request for Special Use Permit

Hi Tonya,

Confirming our telephone conversation, we concur that a daycare center / school would be an acceptable use at 250 Barclay Boulevard, which should be enough to keep the project moving forward. However, given the understandably incomplete packet, we cannot provide the LCC I Association architectural, signage and landscaping review letter at this time.

While the information provided is incomplete and subject to further review, I just want to remind all concerned that the LCC I Association allows monument signage but NOT signs on buildings. All signage, architectural and landscaping plans will remain subject to further review once they are completed.

Thank you.

Chuck

Charles R. Lamphere  
President, CEO  
Van Vlissingen and Co.  
1 Overlook Point, Suite 100  
Lincolnshire, IL 60069

847.634.2300 (w)  
847.634.9598 (f)

[www.vvco.com](http://www.vvco.com)

<b>O/I DISTRICT USES</b>				
P = Permitted SU = Special Use				
<b>Assembly Uses</b>	O/la SU	O/lb SU	O/lc SU	O/lid SU
<ul style="list-style-type: none"> <li>As defined in Section 6-2-2.</li> <li>The total amount of Assembly Uses shall not exceed 50,000 square feet of gross building area for the entirety of the O/I District.</li> </ul>				
<b>Attached or detached structured parking garage</b>	O/la P	O/lb P	O/lc P	O/lid P
<ul style="list-style-type: none"> <li>The height of all structured parking garages shall not exceed fifty percent (50%) of the height of the principal building.</li> <li>Structured parking garages shall not be closer to the front lot line of the property than the principal building.</li> <li>Attached parking garages shall be of the same architectural design and constructed of the same exterior materials as the principal building, except for a glass curtain-walled principal building, where alternate but compatible exterior materials shall be substituted. Detached parking garages shall be compatible in architectural design as the principal building.</li> <li>All areas surrounding the structured parking garage shall be landscaped as if it were a principal building.</li> <li>In no instance shall the structured parking garage exceed the gross floor area of the principal building.</li> </ul>				
<b>Automotive repair facility, as defined in Chapter 2 of this Title</b>	O/la	O/lb P	O/lc P	O/lid P
<ul style="list-style-type: none"> <li>As defined in Section 6-2-2</li> </ul>				
<b>Auxiliary use</b>	O/la P	O/lb P	O/lc P	O/lid P
<ul style="list-style-type: none"> <li>Shall be incidental to and to service the principal use or for the convenience of the employees, including but not limited to, financial institutions without drive-through facilities, pharmacy/drug store, retail sales, cafeteria, and private recreational facility.</li> <li>Shall be located within the principal building.</li> <li>No exterior display of the auxiliary use shall be permitted.</li> </ul>				
<b>Commercial Service Activity</b>	O/la SU	O/lb SU	O/lc SU	O/lid SU
<ul style="list-style-type: none"> <li>Commercial activities shall include, but not limited to, vehicle fueling stations which may include vehicle washes, restaurants, bank and financial institutions which may include drive-through facilities, child daycare facilities, pet day care facility, and car rental facilities primarily intended to service the uses established in the district and employees thereof.</li> <li>Pet day care facilities shall not include any overnight boarding/kenneling of animals.</li> </ul>				
<b>Dispensary Organization, as defined in Chapter 2 of this Title</b>	O/la	O/lb	O/lc	O/lid SU
<ul style="list-style-type: none"> <li>Shall comply with all provisions of the Compassionate Use of Medical Cannabis Pilot Program Act (Illinois Public Act 098-0122), and the regulations promulgated by the Department of Financial and Professional Regulation and Illinois Department of State Police.</li> <li>Shall not be located within 1,000 ft. of the property line of a pre-existing public or private preschool or elementary or secondary school, day care center, day care home, group day care home, or part day child care facility. For the purpose of this Chapter, "pre-existing" means operating prior to September 8, 2014.</li> <li>Shall not be permitted in a multiple-tenant property and/or structure.</li> <li>Drive-through facilities are prohibited.</li> <li>Shall operate for a minimum of 35 hours a week, only between 6:00 AM and 8:00 PM, local time, and shall not operate uninterrupted for a 24 hour period.</li> <li>Medical cannabis, medical cannabis infused products, medical cannabis paraphernalia, or similar products shall not be displayed for public view from the exterior of the Dispensary Organization.</li> </ul>				

**REQUEST FOR BOARD ACTION  
Zoning Board  
August 9, 2016**

<b>Subject:</b>	Proposed 15-lot R2A Single-Family Subdivision – Technical Phase (Mons Property at 1700 Riverwoods Road)
<b>Action Requested:</b>	Consideration of a Preliminary Plat of Subdivision for Manors of Whytegate
<b>Originated By/Contact:</b>	Tonya Zozulya, Economic Development Coordinator Department of Community & Economic Development
<b>Referred To:</b>	Zoning Board

**Background:**

- Arthur J. Greene Construction Company seeks approval of a Preliminary Plat of Subdivision for a 15-lot Manors of Whytegate single-family residential subdivision on a 14.6-acre property located at 1700 Riverwoods Road (commonly known as the “Mon’s Property”). The property currently contains a vacant single-family residential home.
- The subdivision is to be developed in the R2A Single-Family zoning district. The R2A zoning requires a two-phase approval process: 1) A Policy Phase and 2) A Technical Phase. The two-phase review and approval process of an R2A development is unique compared to standard rezoning and plat of subdivision requests.
- At the May 21, 2015 meeting during the Policy Phase, the Zoning Board provided a recommendation on the proposed zoning change to the R2A District, based upon conceptual subdivisions plans for 17 lots. At the May 9, 2016 meeting, the Village Board approved an ordinance rezoning the property from R1 Single-Family Residential to R2A Single-Family Residential for 15 lots (Ordinance #16-3402-129). Subsequent to the Zoning Board recommendation, the developer reduced the number of lots in response to the Village Board’s density concerns.
- Following the Village Board rezoning approval, the developer began the Technical Phase involving a Preliminary Plat of Subdivision and Final Plat of Subdivision reviews at the Zoning Board with final approval by the Village Board, as well as lot development permits approved by the Village Engineer and Forester.
- The petitioner prepared a preliminary plat of subdivision and engineering plans depicting 15 lots for Zoning Board review and recommendation to the Village Board.
- Attached is a draft ordinance approving the Preliminary Plat, prepared by staff.

**Summary:**

- **Zoning Requirements:** The below chart depicts code-permitted and proposed lot size and density figures demonstrating the proposed development complies with the R2A zoning requirements. During the first (Policy Phase), the Village Board approved the proposed subdivision with a density of 1.03 units per acre. This is the density depicted on the current plans. This density is below the 1.25 per acre permitted in the R2A district and is consistent with previously approved subdivisions (see attached subdivision research).

	<b>Smallest Lot Size (sq.ft.)</b>	<b>Average Lot Size (sq.ft.)</b>	<b>Density (units/acre)</b>
R2A Zoning Code Required	20,000	No less than 22,000	Up to 1.25
Proposed	24,001	28,704	1.03

- **Easements:** The plat shows a 10' bike path easement dedicated to the Village along Riverwoods Road for the entire frontage of the property. An additional 10' easement is dedicated along Riverwoods Road to the County for future road and bike path improvements at the County's discretion. The Plat also depicts bioswale easements provided in the rear of the lots.
- **Environmental Features:** The R2A Zoning District was established to encourage a creative approach to land planning through preserving natural vegetation, conserving forested areas, water bodies and natural vegetation. The developer proposes to preserve and buffer the existing wetland area located in the north-central portion of the site. This wetland area aligns with and continues the existing conservation outlot in the Whytegate Unit III subdivision to the north and to enhances this environmentally-sensitive feature. The developer also proposes bio-swales located in rear yards and restricted landscape easements to further enhance the environmental component of the proposed R2A subdivision. All outlots and medians in the subdivisions will be maintained by a homeowner's association.
- **Development Pattern & Access:** The proposed subdivision follows a similar development pattern as Whytegate Unit III (immediately north), consisting of a single vehicular entrance from Riverwoods Road, terminating in a cul-de-sac, as illustrated in the attached plans. The proposed street name Bromley Court is on the approved list of Village streets.
- **Subdivision Code Variation:** The proposed cul-de-sac measures 1,100' long, in excess of the maximum permitted 800' length (Sec. 7-5-2(G)). Although cul-de-sacs of this length are relatively common along both sides of Riverwoods Road north of Half Day Road, a variation from the subdivision regulations is required. The petitioner stated in their cover letter the longer than allowable length maintains a subdivision design consistent with adjoining subdivisions to the north and south and accommodates the Village's request of not providing a connection to Brampton Lane due to traffic concerns. This variance does not require a Public Hearing since cul-de-sac dimensions are a Subdivision Code requirement and not required by the Zoning Code.
- Upon the Preliminary Plat approval, the developer will submit a Final Plat for the Zoning Board's review and recommendation, with approval at the Village Board.

**Staff Recommendations:**

Staff recommends approval of a Preliminary Plat of Subdivision for a proposed 15-lot single-family Manors of Whytegate residential subdivision with the following conditions:

1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.
2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.
3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.

**Motion:**

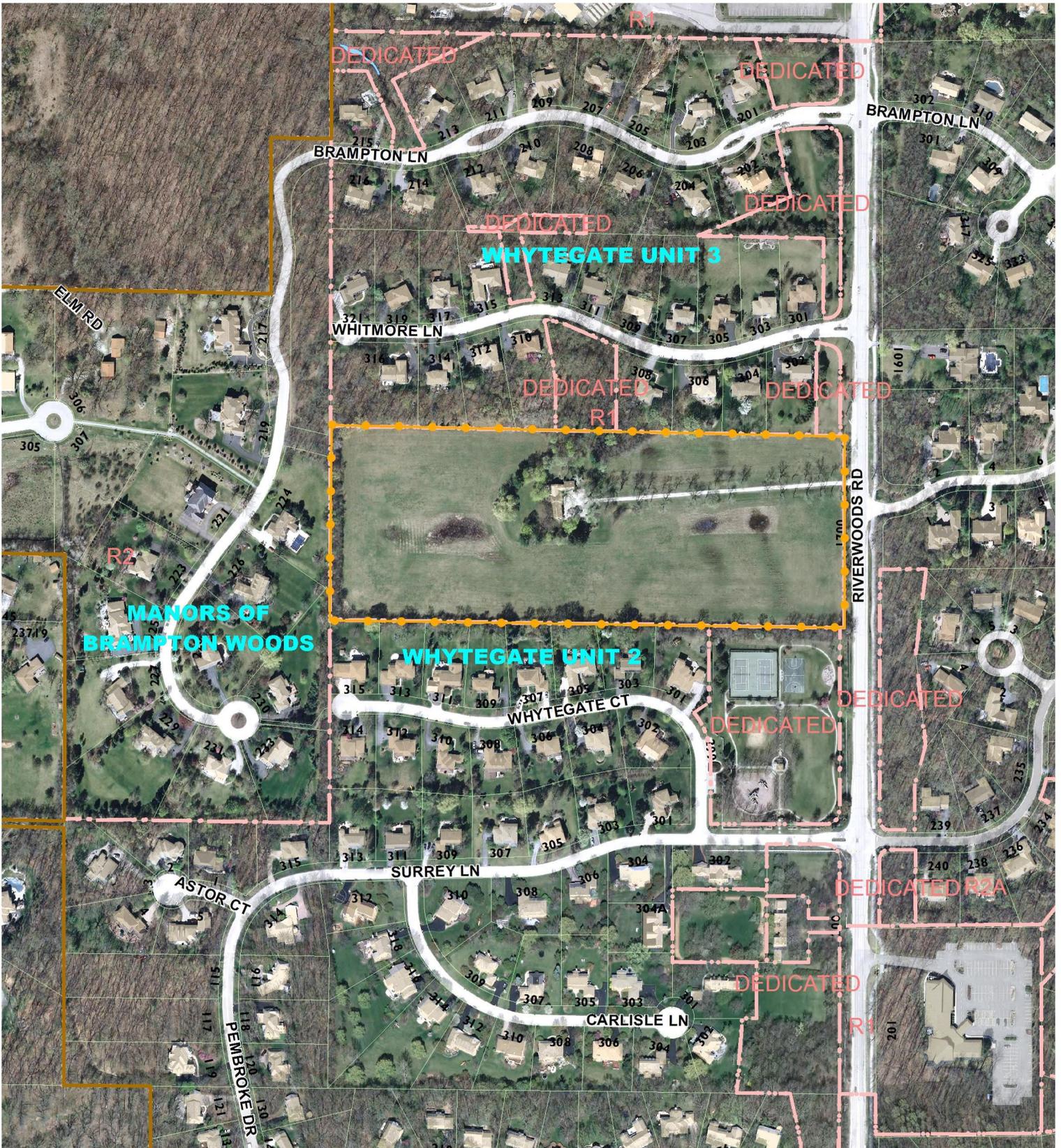
The Zoning Board recommends Village Board approval of a Preliminary Plat of Subdivision for the Manors of Whytegate single-family residential subdivision, with a subdivision code variation for a longer than permitted cul-de-sac length, as depicted in the petitioner's presentation packet, dated August 4, 2016, date stamped received August 4, 2016, subject to the conditions presented in Staff's memorandum, and further subject to. . . .

*{Insert any additional conditions or modifications desired by the Zoning Board}*

**Reports and Documents Attached:**

- Location map, prepared by staff.
- Draft Ordinance, prepared by staff.
- Cover letter, prepared by Jeffrey Greene of Arthur J. Greene Construction Co., dated August 4, 2016, date stamped received August 4, 2016.
- Presentation packet, prepared by Manhard Consulting, date stamped received August 4, 2016.
- Subdivision research, prepared by staff.

<b>Meeting History</b>	
Referral at Village Board (COW):	February 24, 2014
Zoning Board (Public Hearing):	May 21, 2015
Previous Board Discussion (COW):	October 13, 2015
Board Discussion (COW)	March 14, 2016
Village Board	April 4, 2016
Village Board	May 9, 2016
Zoning Board (current)	August 9, 2016



VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS

ORDINANCE NO. \_\_\_\_\_

A ORDINANCE APPROVING A PRELIMINARY PLAT  
OF SUBDIVISION FOR MANORS OF WHYTEGATE SUBDIVISION

**BE IT ORDAINED** by the Mayor and Village Board of the Village of Lincolnshire, Lake County, Illinois, as follows:

Section 1.      BACKGROUND.

Arthur J. Greene Construction Company, on behalf of the owners of the subject property, J.A. Mons (the "**Applicant**"), has applied for approval of a preliminary plat for the property commonly known as Manors of Whytegate Subdivision ("**Property**") establishing a fifteen (15) lot single-family residential subdivision in conformance with the regulations of the R2A Residential Zoning District.

Section 2.      LEGAL DESCRIPTION. The Property is legally described as follows:

THE SOUTH 15 ACRES OF THE NORTH 45 ACRES OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS (EXCEPT THAT PART THEREOF PREVIOUSLY ANNEXED LYING WITHIN RIVERWOODS ROAD).

PIN # 15-14-200-028

Section 3.      PUBLIC MEETING.

The Zoning Board held a public meeting on Tuesday, August 9, 2016, at which date the Zoning Board voted in favor of approving the Applicant's preliminary plat of subdivision for the Property with a variation to permit the cul-de-sac length of 1,100' rather than the maximum permitted cul-de-sac length of 800' as required by Section 7-5-2(G) of the Subdivision Code.

Section 3.      APPROVAL; AUTHORIZATION. The preliminary plat of subdivision for the Property, prepared by Manhard Consulting, consisting of 4 sheets, date stamped received on August 4, 2016 ("**Preliminary Plat**"), a copy of which is attached hereto as **Exhibit A**, shall be, and is hereby, accepted as to design and layout in accordance with Section 7-3-4 of the Village of Lincolnshire Municipal Code, Subdivision and Land Development, as amended, and the home rule powers of the Village of Lincolnshire.

Section 4.      CONDITIONS OF APPROVAL:

1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.
2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.
3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.

Section 5. EFFECTIVE DATE.

This Ordinance shall be in full force and effect from and after its adoption and publication in the manner provided by law.

**ADOPTED** this \_\_\_\_\_ Day of \_\_\_\_\_, 2016.

AYES:

NAYS:

ABSENT:

**APPROVED** this \_\_\_\_\_ Day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
Elizabeth J. Brandt, Mayor

ATTEST:

\_\_\_\_\_  
Barbara Mastandrea, Village Clerk

**EXHIBIT A**

**PRELIMINARY PLAT OF SUBDIVISION**

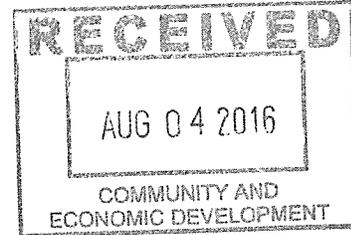
[SEE ATTACHED]



ARTHUR J. GREENE CONSTRUCTION CO.

August 4, 2016

Village of Lincolnshire  
Zoning Board  
One Olde Half Day Road  
Lincolnshire, IL 60069



Re: Manors of Whytegate

Dear Board Members:

Arthur J. Greene Construction Company is respectfully requesting zoning board approval of the preliminary plat for Manors of Whytegate. We are also requesting variation on maximum cul-de-sac length from 800 to 1,100 feet, as they are common along both sides of Riverwoods Road, and as requested by the Village, not to tie in to existing subdivisions to the West.

Thank you for your cooperation.

Sincerely,

ARTHUR J. GREENE CONSTRUCTION CO.  
Jeffrey Greene  
President

# PRELIMINARY PLAT OF MANORS OF WHYTEGATE

BEING A SUBDIVISION PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP  
43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, ALL IN LAKE COUNTY, ILLINOIS.

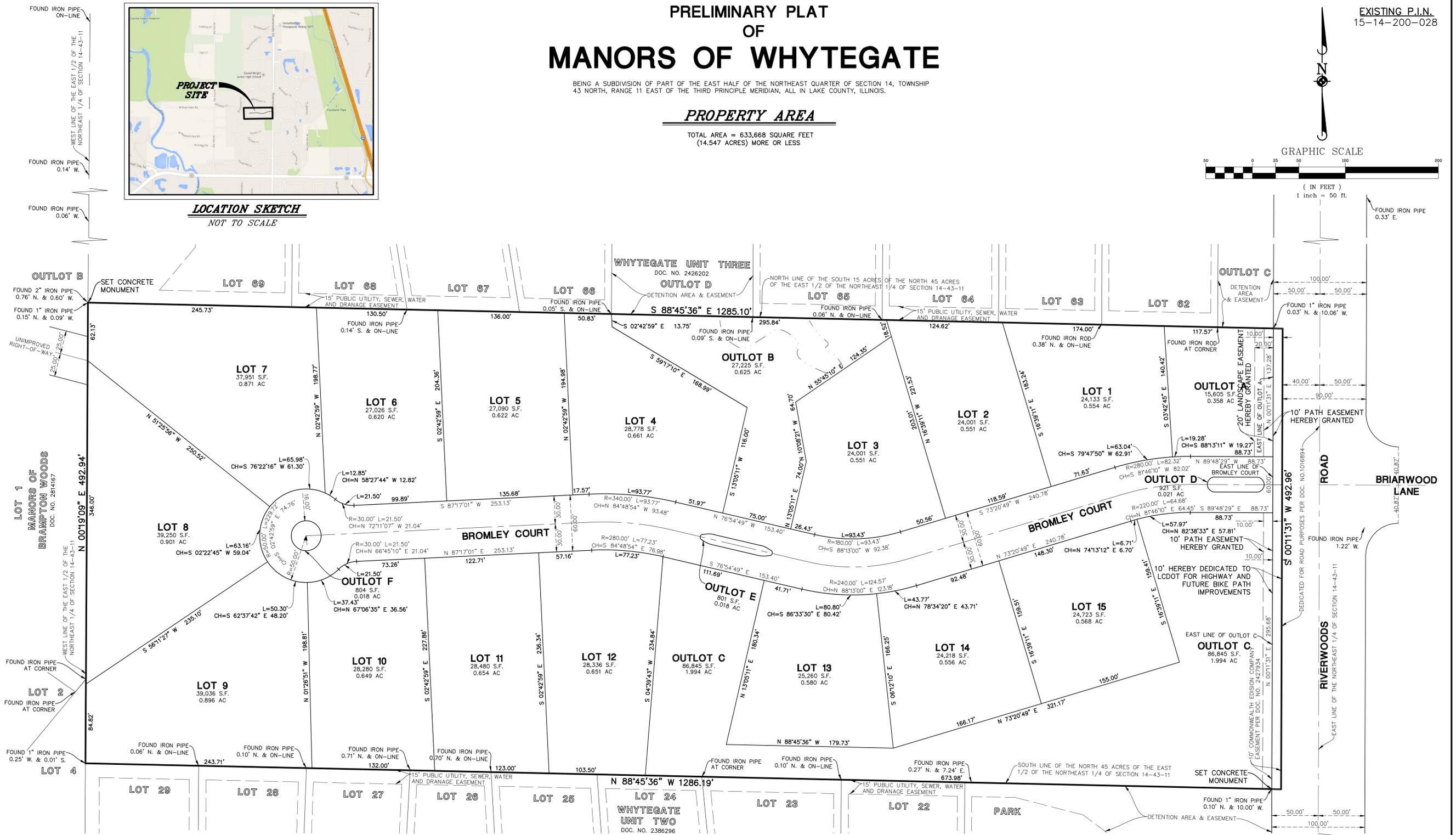
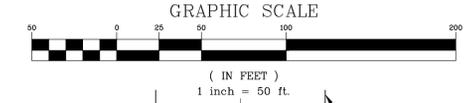
## PROPERTY AREA

TOTAL AREA = 633,668 SQUARE FEET  
(14.547 ACRES) MORE OR LESS

EXISTING P.I.N.  
15-14-200-028



**LOCATION SKETCH**  
NOT TO SCALE



**BASIS OF BEARINGS**

BEARINGS ARE BASED UPON THE ILLINOIS COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) CORRECTED TO GROUND VALUES, AS ESTABLISHED BY REAL TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) METHODS.

**SURVEYOR'S NOTES**

- THERE SHALL BE NO DIRECT ACCESS TO OR FROM RIVERWOODS ROAD TO OR FROM LOT 1 AND OUTLOT A.
- OUTLOT A, OUTLOT B, OUTLOT C, OUTLOT D, OUTLOT E AND OUTLOT F SHALL BE CONVEYED TO HOME OWNER ASSOCIATION.
- SET CONCRETE MONUMENTS WILL BE SET AFTER APPROVAL OF FINAL PLAT BUT BEFORE RECORDING OF THE FINAL PLAT.
- ALL OUTLOTS AND BIOSWALE EASEMENTS ARE DEED RESTRICTED AREAS.

THIS PLAT SUBMITTED FOR RECORDING BY:  
VILLAGE OF LINCOLNSHIRE  
ONE OLDE HALF DAY ROAD  
LINCOLNSHIRE, ILLINOIS 60069  
RETURN MYLARS TO THE VILLAGE OF LINCOLNSHIRE

SUBDIVIDER & DEVELOPERS NAME & ADDRESS  
ARTHUR J. GREENE CONSTRUCTION COMPANY  
175 EAST HAWTHORN PARKWAY, SUITE 200  
VERNON HILLS, ILLINOIS 60061

**SHEET INDEX**

SHEET 1 OF 4:	OVERALL BOUNDARY INFORMATION, AND LOT OVERVIEW
SHEET 2 OF 4:	LOT AND EASEMENT DETAILS (WEST)
SHEET 3 OF 4:	LOT AND EASEMENT DETAILS (EAST)
SHEET 4 OF 4:	CERTIFICATES, EASEMENT PROVISIONS, LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE

DATE	
REVISIONS	



MANORS OF WHYTEGATE  
VILLAGE OF LINCOLNSHIRE, ILLINOIS  
PRELIMINARY PLAT OF SUBDIVISION

PROJ. MGR.: JDB  
PROJ. ASSOC.: LSM  
DRAWN BY: LSM  
DATE: 08/03/16  
SCALE: 1"=50'  
SHEET  
**1** OF **4**  
AGCLN3

August 3, 2016 - 15:56 - Proj Name: P:\Agcln3\Manors\Survey\Manors\Plat of Subdivision\01-AGCLN-PS.dwg Updated By: UJZr4

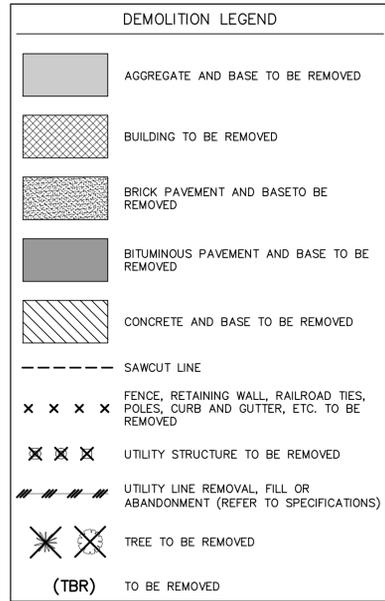






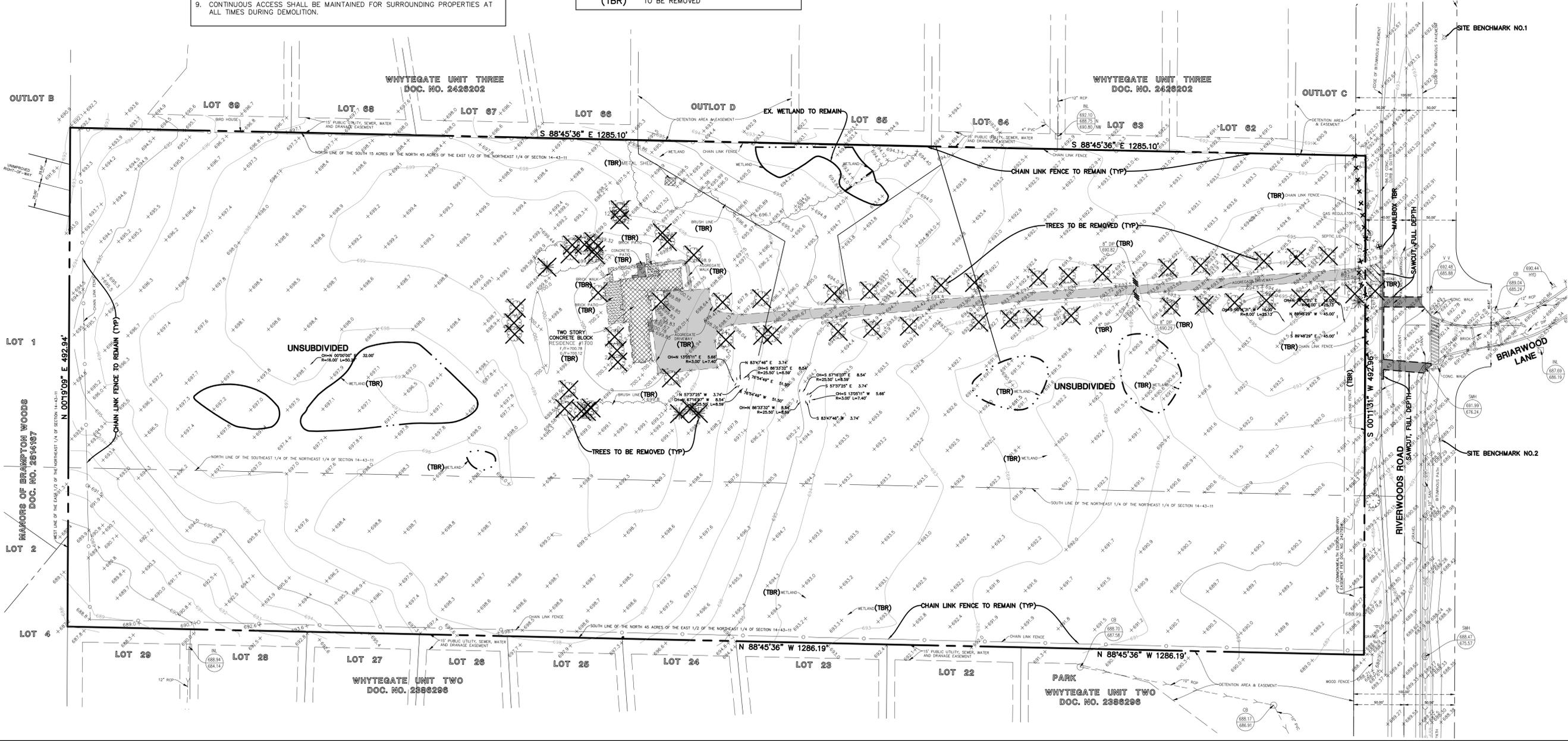
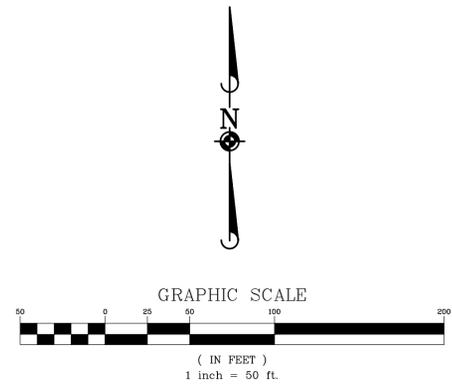


- DEMOLITION NOTES:
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
  - SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FEATURES INDICATED TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
  - PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
  - ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS SHALL BE REMOVED AND PROPERLY BACKFILLED. ALL UTILITY LINES AND CONDUITS LOCATED UNDER DRIVES, ON-SITE ROADS, PARKING LOTS OR SIDEWALKS SHALL BE FILLED WITH A FLOWABLE BACKFILL AND END PLUGGED. ALL EXISTING STRUCTURES SHALL BE REMOVED. ALL EXISTING UTILITY LINES LOCATED UNDER LANDSCAPE AREAS SHALL BE LEFT IN PLACE AND PLUGGED AT ALL STRUCTURES.
  - THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND LAWFUL DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
  - ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE AFFECTED UTILITY COMPANY.
  - CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES.
  - CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION.



EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF MARCH 19, 2015. CONTRACTOR SHALL INSPECT SITE PRIOR TO BIDDING WORK TO VERIFY ACTUAL FIELD CONDITIONS AS PORTIONS OF THE DEMOLITION WORK MAY HAVE SINCE BEEN COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK AS PER PLANS TO PREPARE THE SITE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.



SOIL PROTECTION CHART												
STABILIZATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS	A			C			E			B		
DORMANT SEEDINGS	B			D			F			A		
TEMPORARY SEEDINGS	C			E			A			D		
SODDING	E			A			D			C		
MULCHING	F			A			D			C		

A - KENTUCKY BLUEGRASS 90 LBS./AC. MIXED WITH PERENNIAL RYEGRASS 30 LBS./AC.  
 B - KENTUCKY BLUEGRASS 135 LBS./AC. MIXED WITH PERENNIAL RYEGRASS 45 LBS./AC. 2 TONS STRAW MULCH PER ACRE.  
 C - SPRING OATS  
 D - WHEAT OR CEREAL RYE  
 E - SOG (NURSERY GROWN KENTUCKY BLUEGRASS)  
 F - STRAW MULCH 2 TONS PER ACRE

\* IRRIGATION NEEDED DURING JUNE, JULY AND SEPTEMBER  
 \*\* IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SODDING

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

**CONSTRUCTION SEQUENCE:**

1. INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
  2. PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
  3. CONSTRUCT TEMPORARY SEDIMENT TRAPS AND/OR BASINS.
  4. STRIP EXISTING TOPSOIL FROM PROPOSED STORMWATER MANAGEMENT AREAS AND STOCKPILE WHERE SHOWN ON PLANS.
  5. PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES.
  6. CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-GRADE AND INSTALL OUTLET PIPES.
  7. COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING AND SODDING OF STORMWATER MANAGEMENT FACILITIES.
  8. CUT AND FILL SITE TO PLAN SUB-GRADE.
  9. CONSTRUCT UNDERGROUND IMPROVEMENTS, I.E. SANITARY SEWER WATERMAIN AND STORM SEWER\*\*, ETC.
  10. CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
  11. COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
  12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
- \*\* INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.

**NOTE:**  
ALL TREES ALONG THE OUTER EDGE OF THE LIMITS OF DISTURBANCE/CONSTRUCTION (OUTSIDE OF THE EXISTING FENCE TO REMAIN) SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION AND EFFORTS SHALL BE TAKEN BY THE CONTRACTOR TO LIMIT AND PREVENT DAMAGE OR ADVERSE IMPACT ON EXISTING TREES TO REMAIN.

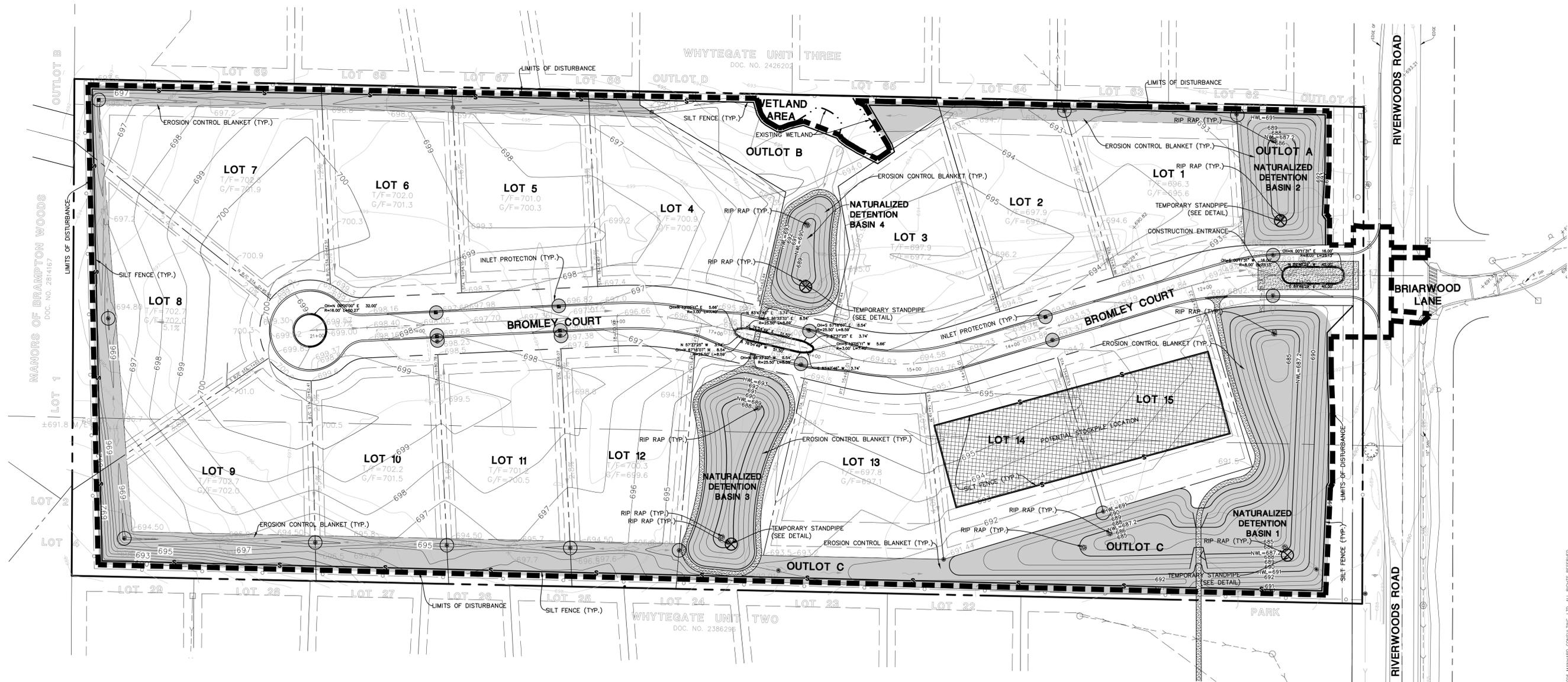
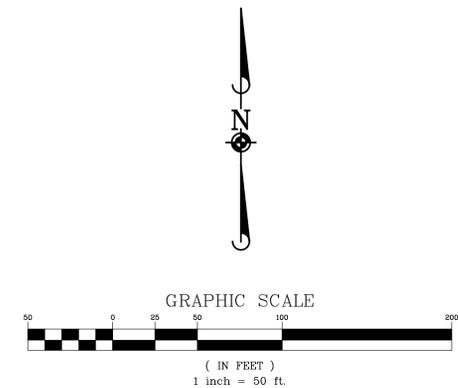
**LEGEND**

- S-S- TEMPORARY SILT FENCE (PERIMETER EROSION BARRIER)
- [Hatched Box] EROSION CONTROL BLANKET (NORTH AMERICAN GREEN DS 75) (SEEDING PER LANDSCAPE PLAN)
- [Dotted Box] TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- [Cross-hatched Box] POTENTIAL STOCKPILE LOCATION
- [Circle with X] TEMPORARY STORM STRUCTURE PROTECTION
- [Arrow] PAVEMENT DRAINAGE FLOW
- [Wavy Arrow] SWALE DRAINAGE FLOW
- [Dashed Line] LIMITS OF DISTURBANCE/CONSTRUCTION
- [Circle with X] TEMPORARY STANDPIPE

**SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:**

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL".
2. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
3. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT SNOWFALL. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY.
4. INSTALL ALL PERIMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ON-SITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
5. STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASINS, PRIOR TO BEGINNING MASS EXCAVATION. THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASINS.
6. DISTURBED AREA SHALL BE STABILIZED BY SEEDING AT A MINIMUM, WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE UNLESS THE AREA WILL BE DISTURBED WITHIN FOURTEEN (14) DAYS AND GRASS SOWN AS NECESSARY TO RE-ESTABLISH VEGETATION FOR CONTROL OF SILTATION AND SOIL EROSION.
7. INLET PROTECTION SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
8. TOPSOIL STOCKPILES SHALL BE SEEDDED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL UNLESS THEY WILL BE DISTURBED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
9. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
10. WATER PUMPED DURING CONSTRUCTION OPERATION SHALL BE FILTERED.
11. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPERSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION.
12. TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED, ADJUSTED OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
13. ANY LOOSE MATERIAL THAT IS DEPOSITED IN THE FLOW LINE OF ANY GUTTER OR DRAINAGE STRUCTURE DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY.
14. OVERLAND FLOW SHALL BE DIRECTED TO THE DETENTION BASINS PRIOR TO LEAVING THE SITE.
15. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE CLIENT OR OTHER JURISDICTIONAL GOVERNMENTAL ENTITIES.
16. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.

"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILLR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."



DRAWN BY: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 DATE: \_\_\_\_\_

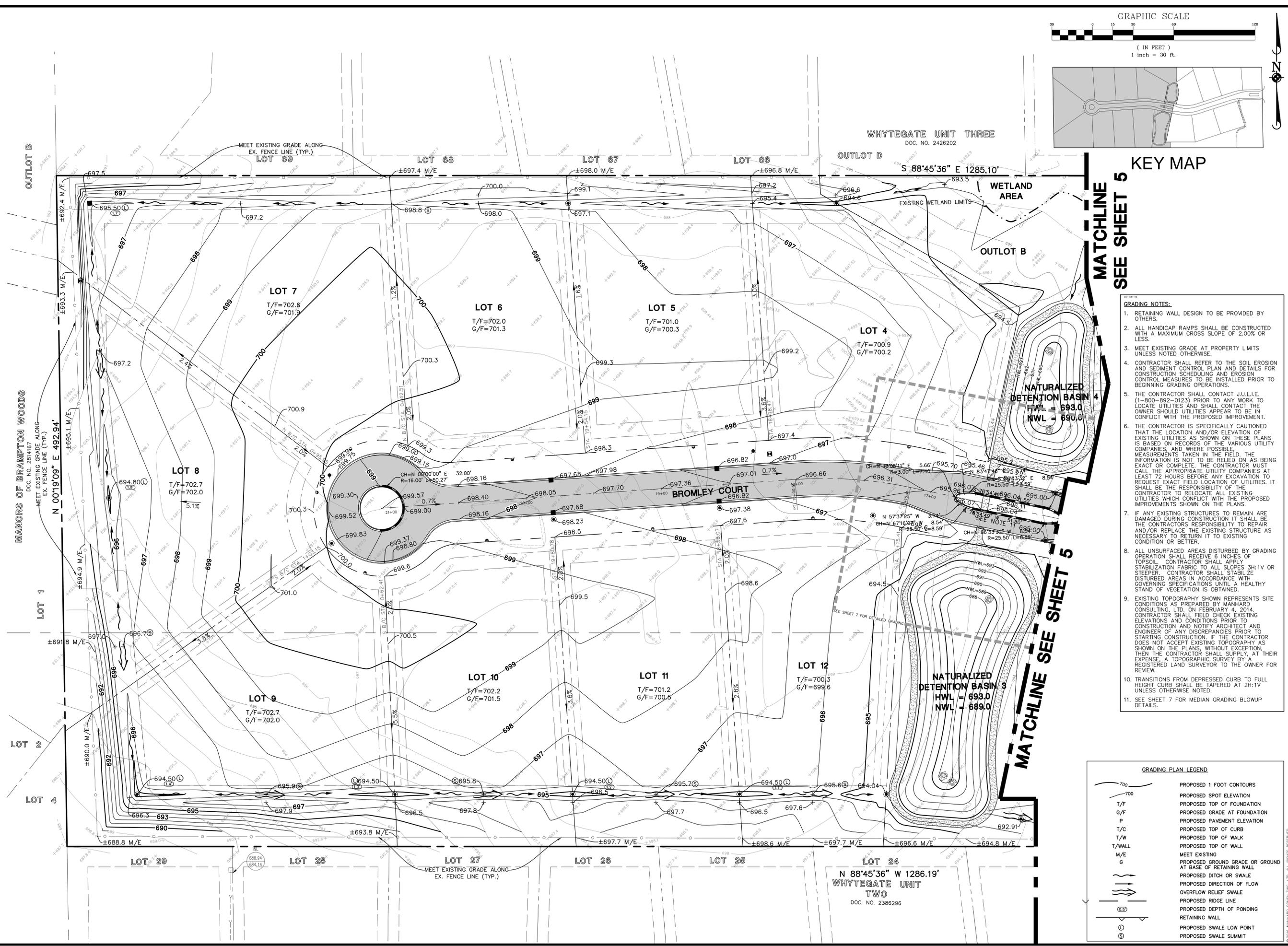
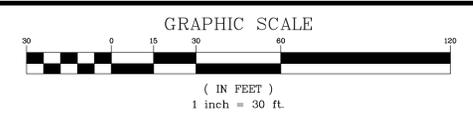
**Manhard CONSULTING LTD.**  
 800 Westchester Parkway, Suite 100, Naperville, IL 60563  
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

MANORS OF WHYTEGATE  
 VILLAGE OF LINCOLNSHIRE, ILLINOIS  
 SOIL EROSION AND SEDIMENT CONTROL PLAN

PROJ. MGR.: JGC  
 PROJ. ASSOC.: JSP  
 DRAWN BY: KRB  
 DATE: 7-8-16  
 SCALE: 1"=50'  
 SHEET  
**3 OF 13**  
 ACGLN3







**KEY MAP**

**MATCHLINE SEE SHEET 5**

**MATCHLINE SEE SHEET 5**

- GRADING NOTES:**
- RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
  - ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
  - MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
  - THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
  - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
  - EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING, LTD. ON FEBRUARY 4, 2014. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  - TRANSITIONS FROM DEPRESSED CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2H:1V UNLESS OTHERWISE NOTED.
  - SEE SHEET 7 FOR MEDIAN GRADING BLOWUP DETAILS.

**GRADING PLAN LEGEND**

	PROPOSED 1 FOOT CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED TOP OF FOUNDATION
	PROPOSED GRADE AT FOUNDATION
	PROPOSED PAVEMENT ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP OF WALK
	PROPOSED TOP OF WALL
	MEET EXISTING
	PROPOSED GROUND GRADE OR GROUND AT BASE OF RETAINING WALL
	PROPOSED DITCH OR SWALE
	PROPOSED DIRECTION OF FLOW
	OVERFLOW RELIEF SWALE
	PROPOSED RIDGE LINE
	PROPOSED DEPTH OF PONDING
	RETAINING WALL
	PROPOSED SWALE LOW POINT
	PROPOSED SWALE SUMMIT

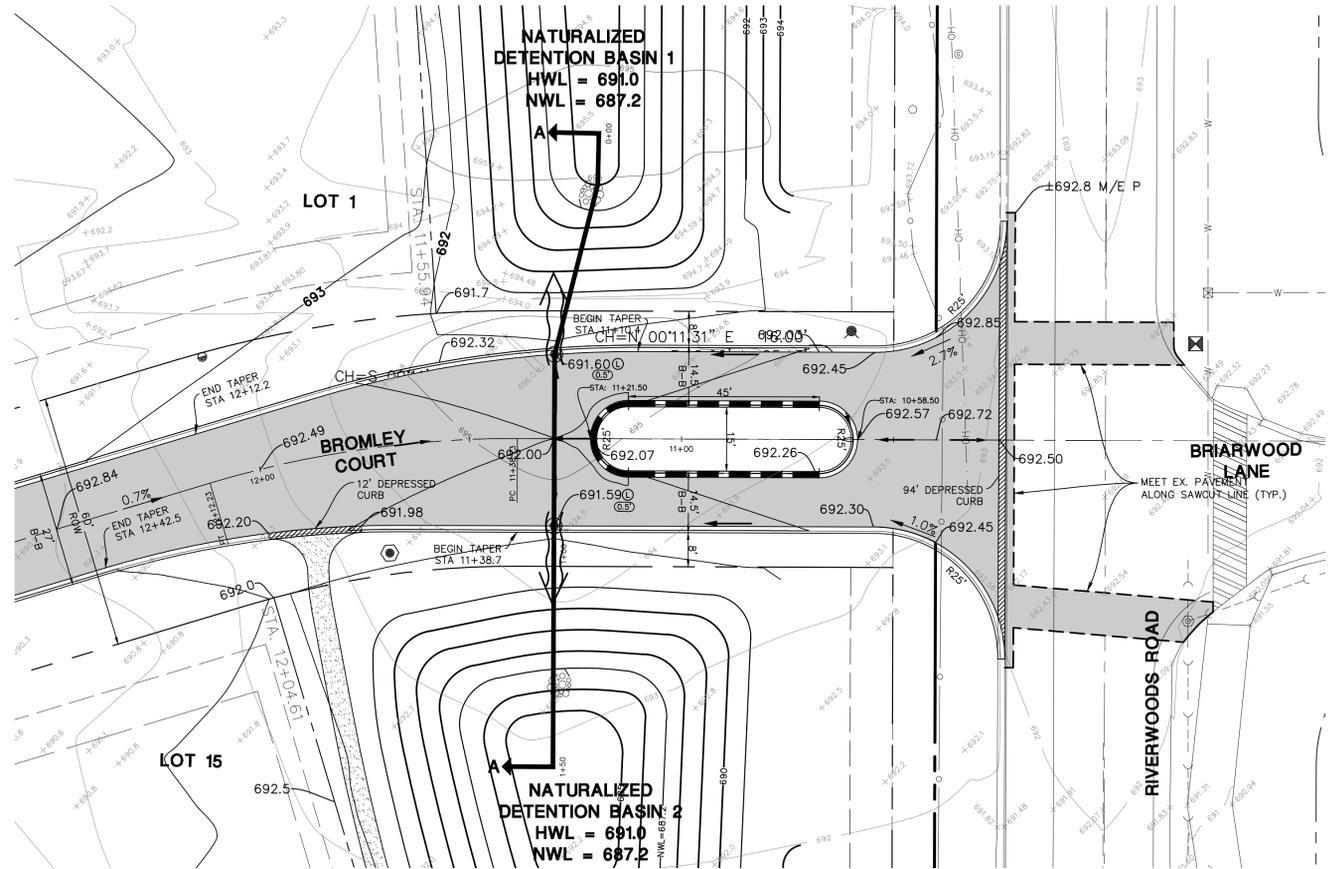
**Manhard CONSULTING LTD.**  
 899 Woodhull Park, Woodhull, IL 60190  
 Tel: 815.427.9800 Fax: 815.427.9805  
 Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners

**MANORS OF WHYTEGATE**  
 VILLAGE OF LINCOLNSHIRE, ILLINOIS  
 GRADING PLAN - WEST

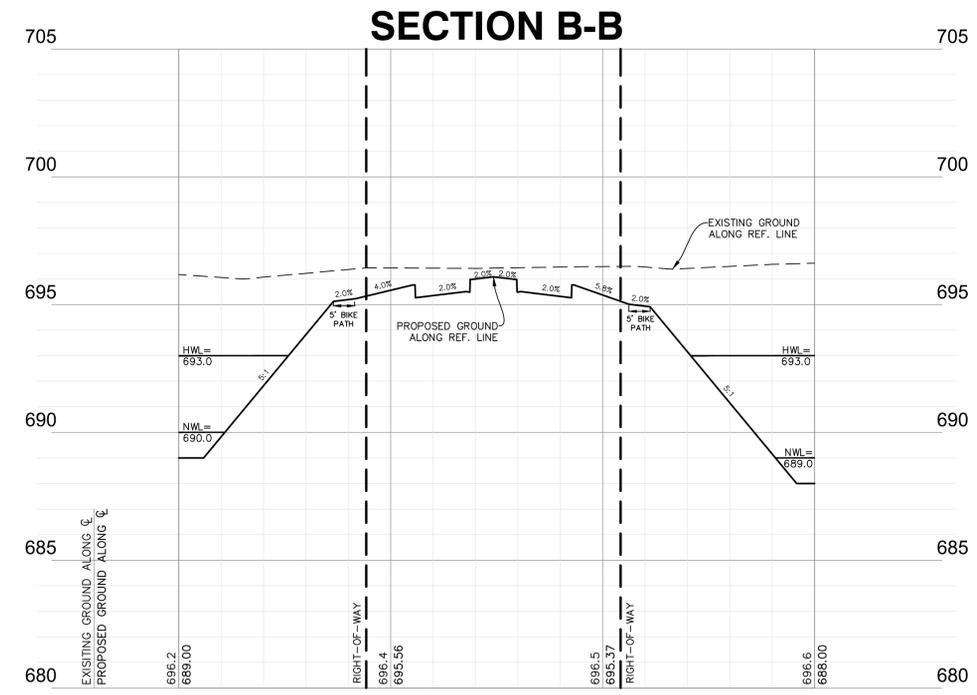
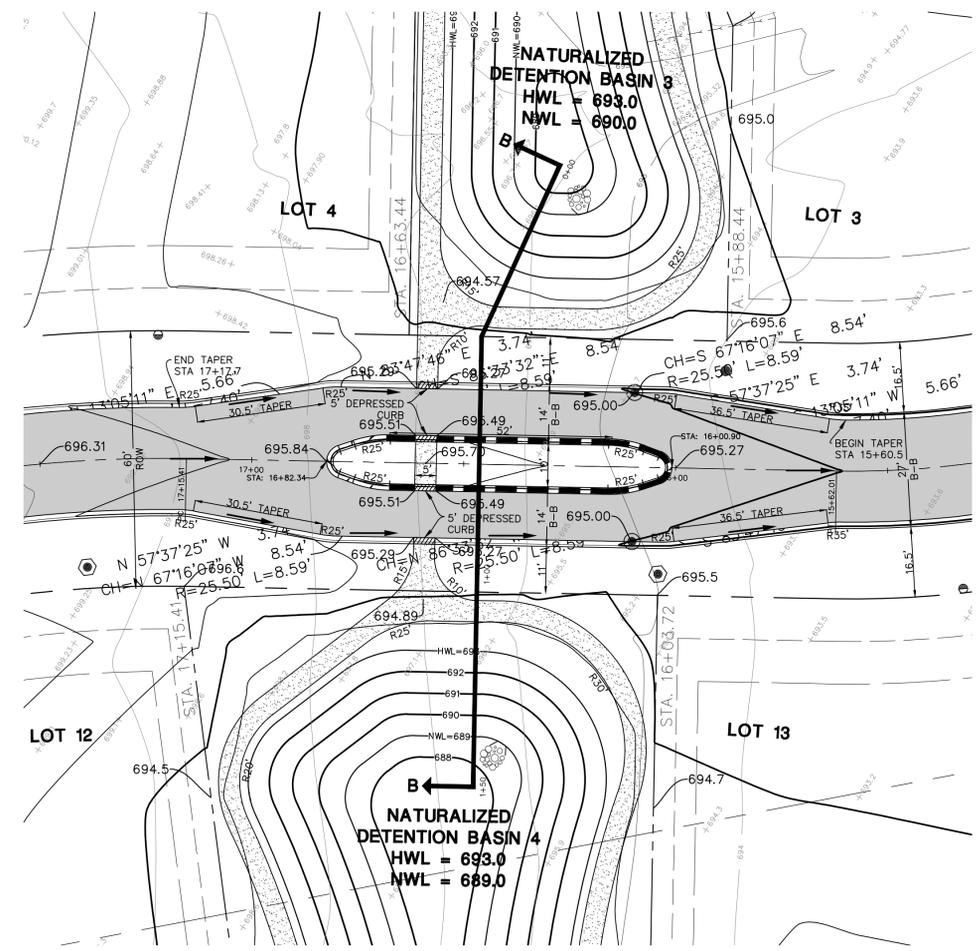
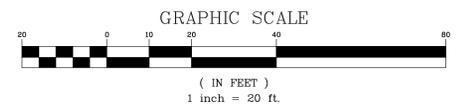
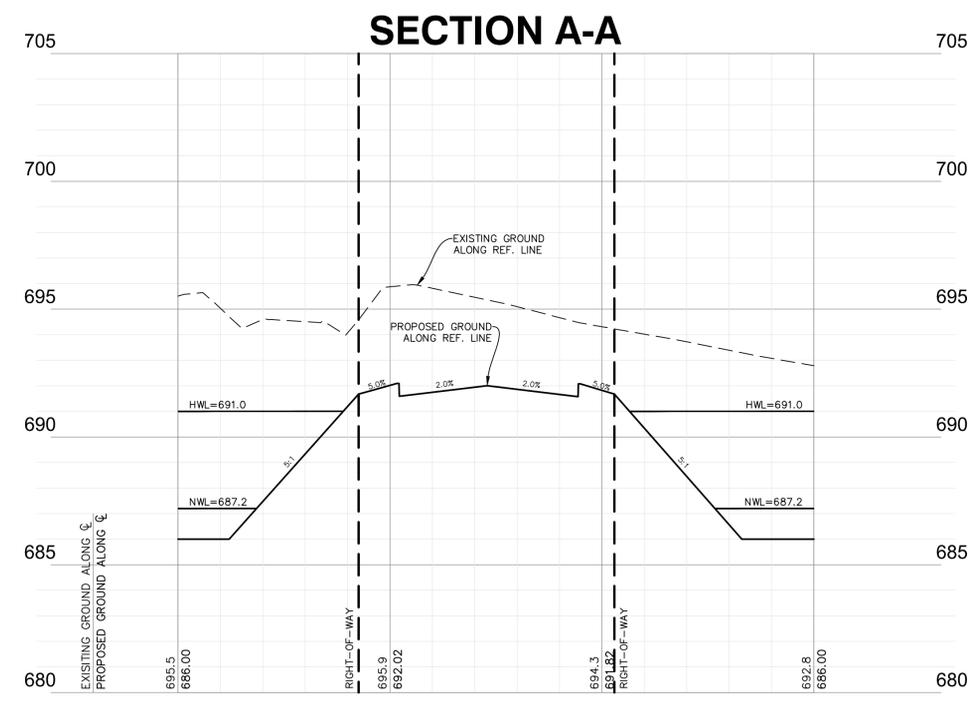
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 PROJ. ASSOC.: JSP  
 DRAWN BY: KRB  
 DATE: 7-8-16  
 SCALE: 1"=30'

SHEET  
**6 OF 13**  
 ACGLN3

JULY 12, 2016 - 09:18 - Draw Name: P:\Acad\Users\JGC\Final Drawings\Plan\_Sets\XX-GRADING.dwg - Updated By: Jgcgwr



08-0-16  
**GRADING NOTES:**  
 1. REFER TO SHEET 5 FOR GRADING NOTES AND LEGEND.



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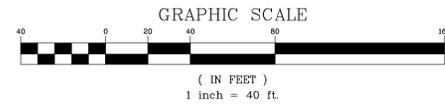
**MANORS OF WHYTEGATE**  
**VILLAGE OF LINCOLNSHIRE, ILLINOIS**  
**MEDIAN GRADING DETAIL**

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 PROJ. ASSOC.: JSP  
 DRAWN BY: JSP  
 DATE: 7-8-16  
 SCALE: 1"=XX'

SHEET  
**7 OF 13**  
 ACGLN3

JULY 12, 2016 - 08:18 Day Name: P:\Asch\New\Eno\Final Drawings\Plan Set\XX-GRADING-DETAILS.dwg Updated By: boeger

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CURVE TABLE						
Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
C1	250.00'	73.50'	16°50'42"	37.02'	11+38.73	12+12.23
C2	210.00'	109.00'	29°44'21"	55.76'	14+53.01	15+62.01

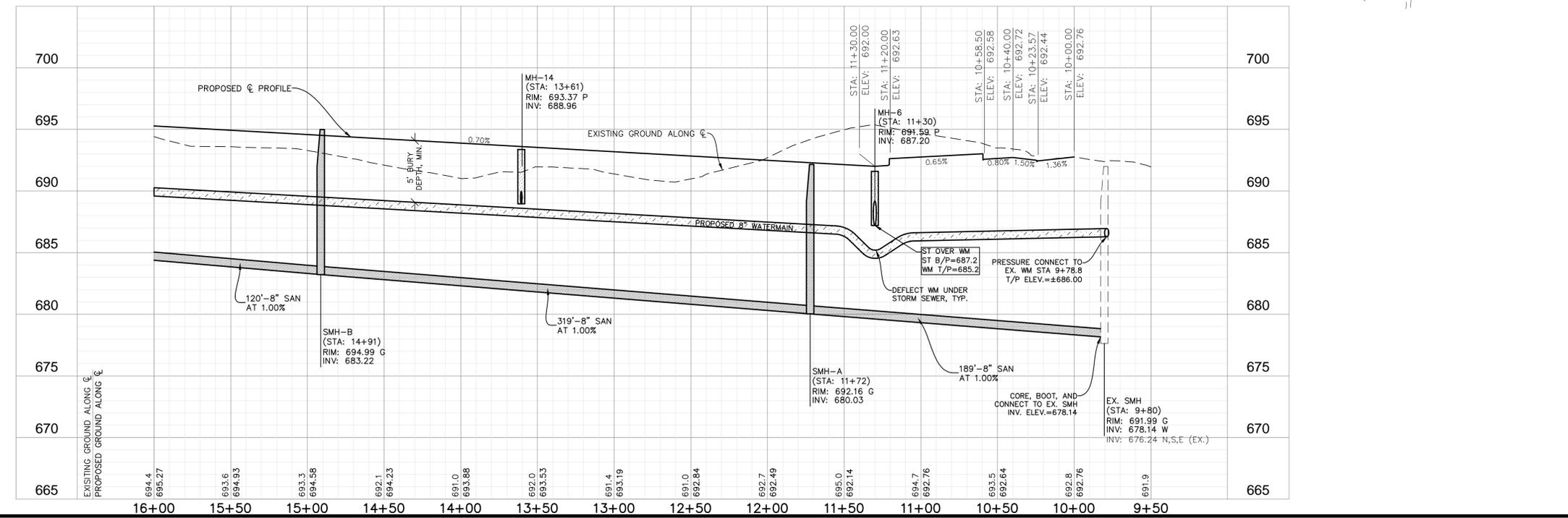
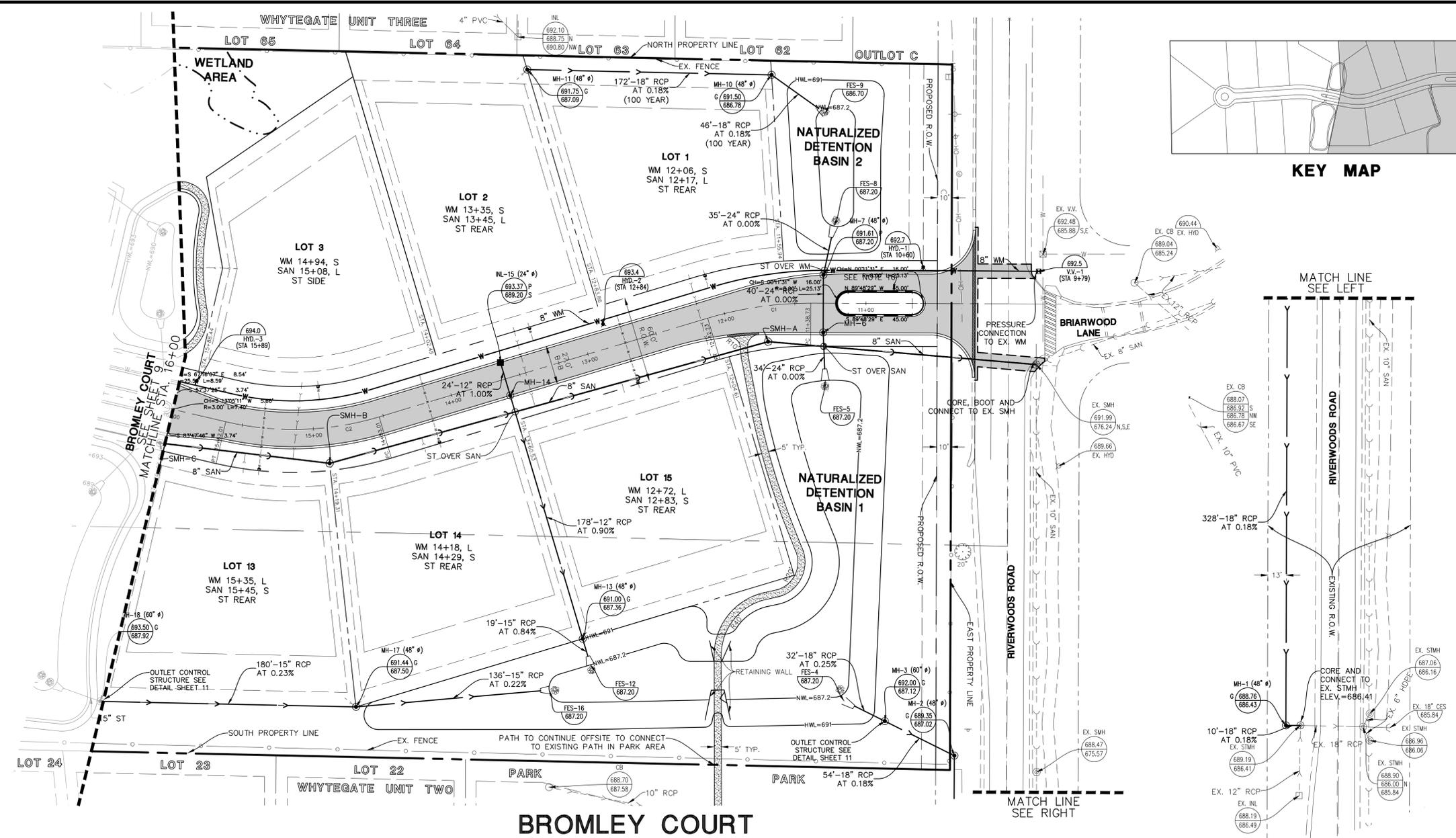
- ALL ROADWAY DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.
- DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
- TRANSITIONS FROM DEPRESS CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2H:1V UNLESS OTHERWISE NOTED.
- TIE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-#6 BARS x 18" LONG DOWELED INTO EXISTING CURB.
- ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
- CURB RETURN RADII SHALL BE 25' MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)
- CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED THE ALLOWABLE LIMITS ESTABLISHED BY THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS," OR BY THE PIPE MANUFACTURER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATER MAIN DEPTH ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING.
- RIM ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES IN CURB LINE ARE PAVEMENT ELEVATIONS. ALL STRUCTURES IN CURB LINE SHALL HAVE CURB TYPE FRAME & GRATE.
- ALL ROAD ELEVATIONS SHOWN ARE TOP OF CURB UNLESS NOTED.
- ALL STRUCTURES (MH, CB, INL, V.V., HYD, STREET LIGHTS) ARE TO BE LOCATED ON THE PROPERTY LINE EXTENDED AND ARE TO BE OFFSET FROM THE CENTERLINE AS SHOWN ON THE TYPICAL ROAD SECTION DETAIL UNLESS OTHERWISE NOTED.
- CONTRACTOR TO PROVIDE FITTINGS AS NECESSARY TO DEFLECT WATER MAIN ALONG STREET CURVES WITHOUT EXCEEDING THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS, AND IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS."
- ALL ROADWAY SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTITY DETAILS.
- ALL ROADWAY IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- SEE SHEET 7 FOR ROADWAY MEDIAN BLOWUP DETAILS AND DIMENSIONS.

**SERVICE LEGEND**

S 1+50, S R = 4" SANITARY SERVICE, LOCATION, S = SHORT SERVICE, R = RISER REQUIRED

W 1+60, L = 1.5" TYPE K WATER SERVICE, LOCATION, L = LONG SERVICE

ST 1+48, S = 4" PVC STORM SERVICE, LOCATION, S = SHORT SERVICE



MANORS OF WHYTEGATE  
VILLAGE OF LINCOLNSHIRE, ILLINOIS  
PLAN AND PROFILE - BROMLEY COURT (STA. 9+50 TO 16+00)

PROJ. MGR.: JGC  
PROJ. ASSOC.: JSP  
DRAWN BY: JSP  
DATE: 7-8-16  
SCALE: 1"=40'

SHEET  
8 OF 13  
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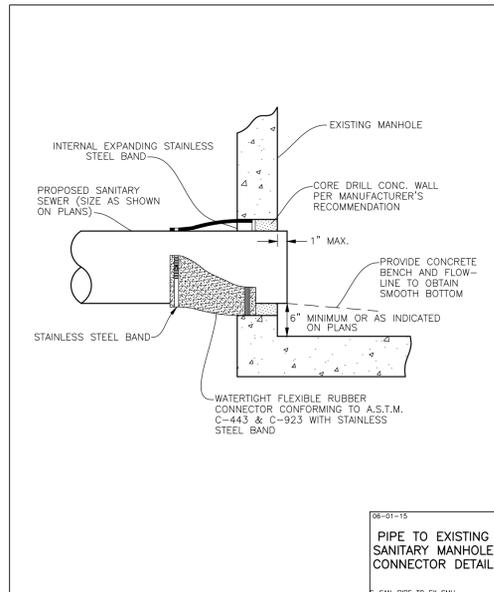
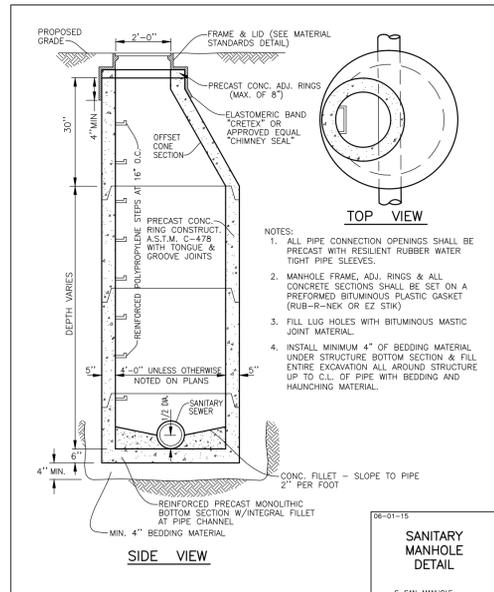
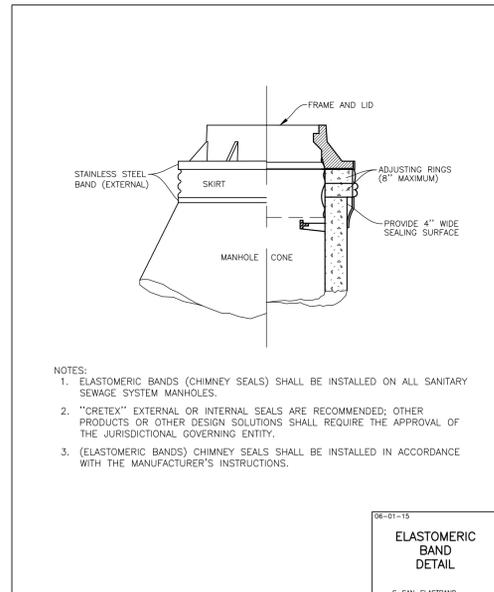
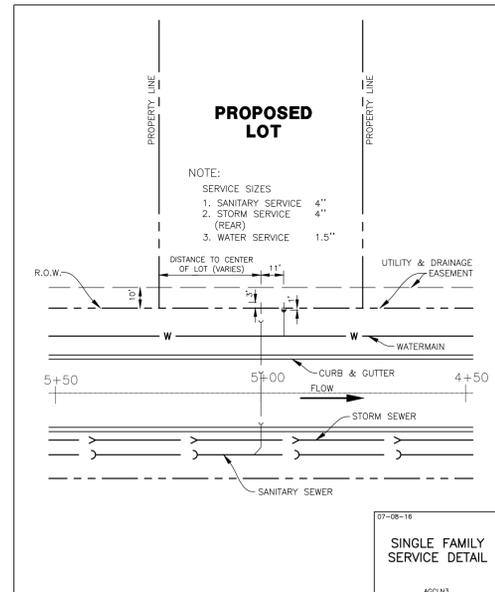
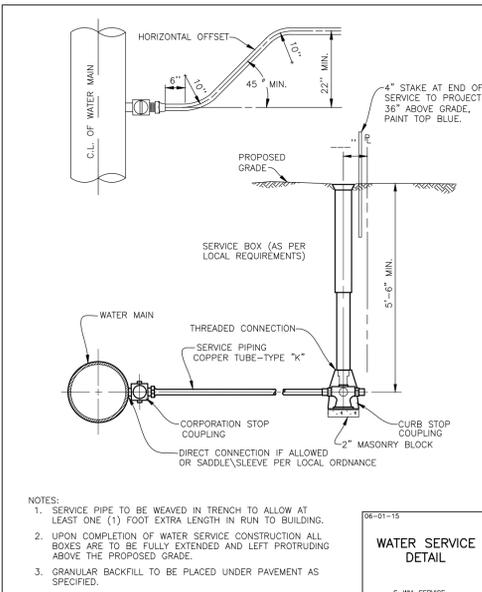
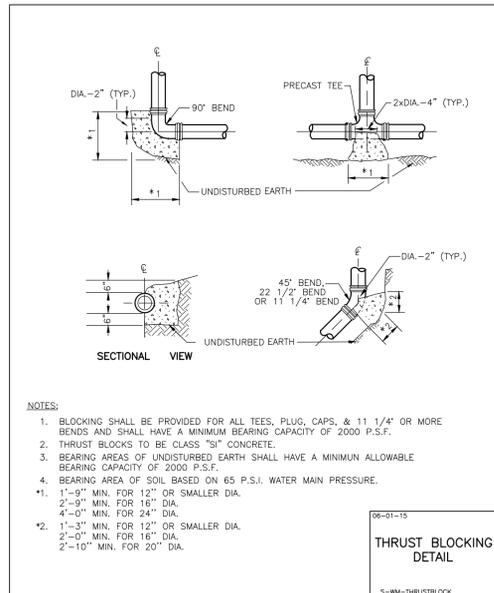
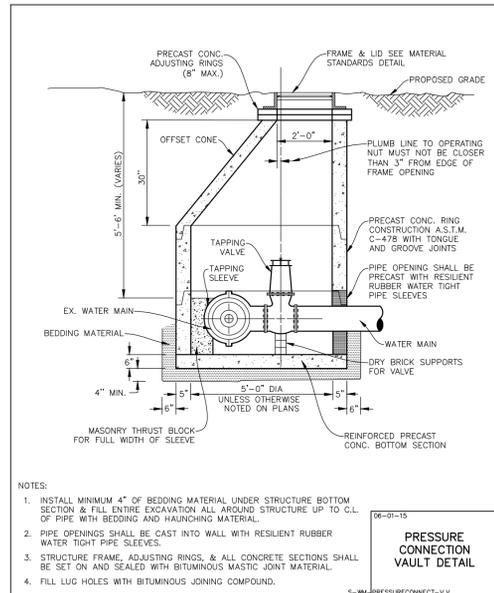
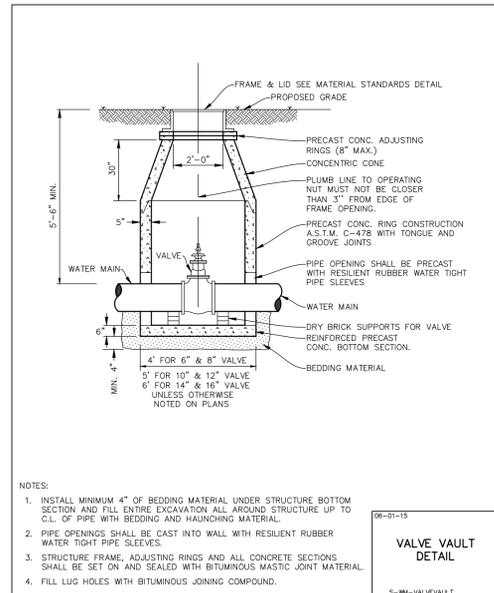
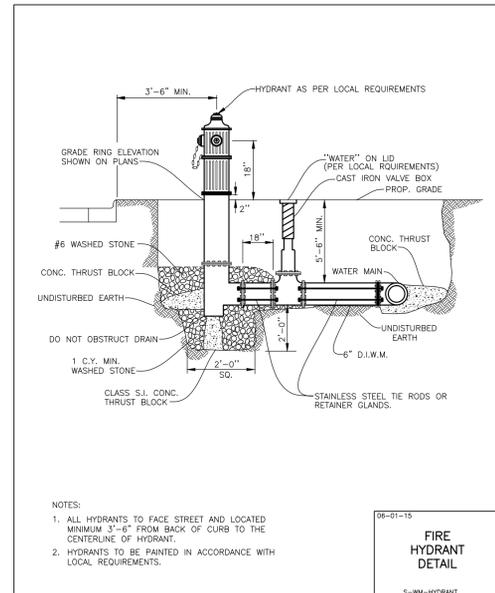
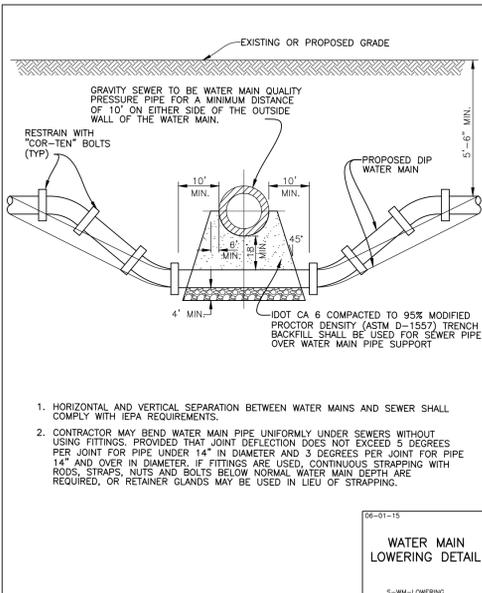
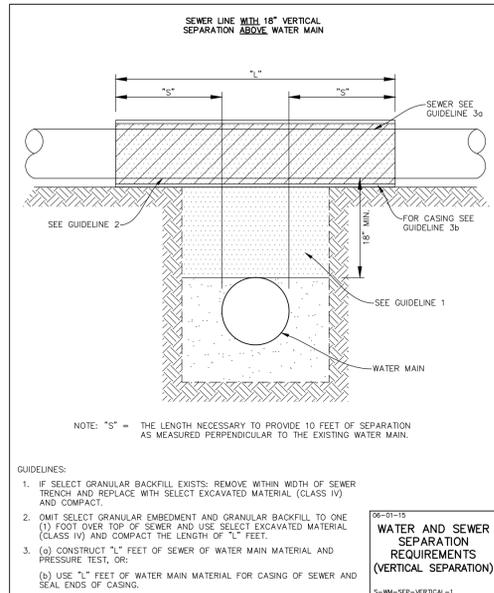
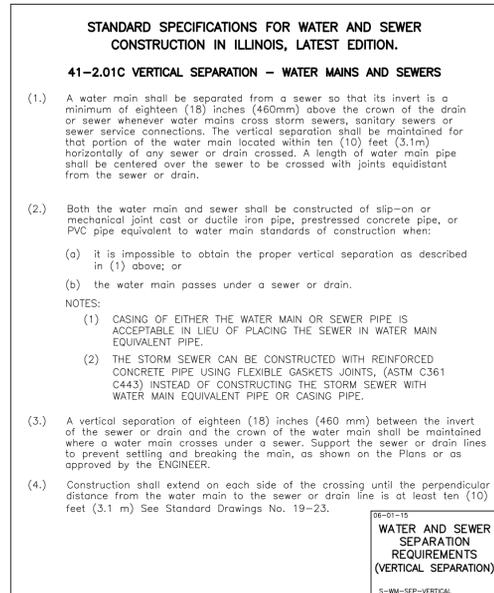
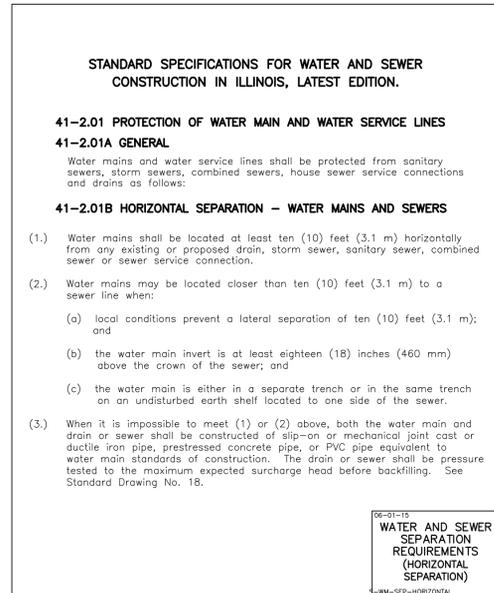
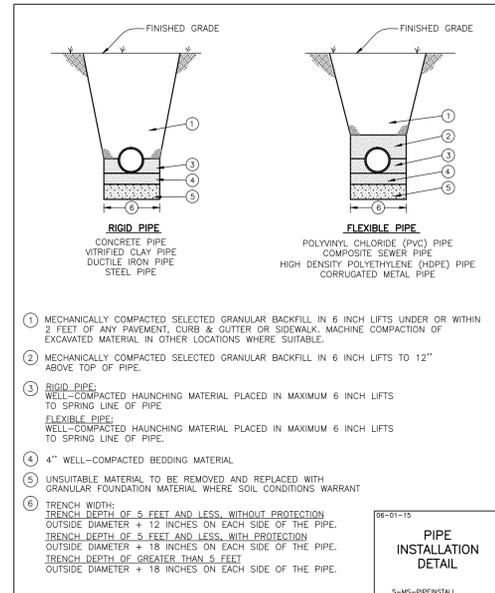


MATERIAL STANDARDS		
ITEM	BRAND	PRODUCT
FIRE HYDRANTS (TRAFFIC MODEL)	WATEROUS PACER	WB-67
GATE VALVES (SPECIFY SIZE NON-RISING STEM, 2" NUT, M.J., OPEN LEFT)	MUELLER (SIZE) AMERICAN FLOW CONTROL	A-2360-20L SERIES 2500
VALVE BOXES (2 PIECE)	EAST JORDAN TYLER/UNION	SCREW ADJUSTING EXTENSION TYPE
CURB STOPS (SPECIFY SIZE)	MUELLER FORD	300 BALL VALVE BALL VALVE
CORPORATION VALVE (SPECIFY SIZE)	MUELLER FORD	H-15000 FB600 (ANW/CC THREAD)
MANHOLES/CATCHBASINS/INLETS IN OPEN AREAS AND PAVEMENT (SELF-SEALING LID WITH PROPER UTILITY MARKINGS)	NEENAH CLOSED LID	R-1772
	OPEN LID	R-2502 C R-4340 B
MANHOLES/CATCH BASINS/INLETS IN COMBINATION CURB & GUTTER (BICYCLE SAFE)	NEENAH ROLL/MOUNTABLE CURB B6.12 CURB	R-3501-D2A R-3281A R-3281-AL
WATER SERVICE SADDLES (ALL SERVICE SADDLES SHALL BE DOUBLE STRAP; BRONZE, NYLON COATED OR STAINLESS STEEL)	MUELLER FORD SMITH-BLAIR 3/4" & 1"	DR25 FS 303 # 317
B-BOX (AT LEAST 1 1/4" TOP SECTION) ARCH PATTERN FLUSH STYLE LID	FORD MUELLER	E42 CURB BOX

\*1 WHEREVER STORMWATER COULD POSSIBLY ENTER STORM STRUCTURE

07-08-16  
AGECLN3

MATERIAL STANDARDS



JULY 12, 2016 - 10:30 AM - P:\Asst\Drawings\Final Drawings\Plan Set\111 CONSTRUCTION DETAILS.dwg - Updated By: JPB

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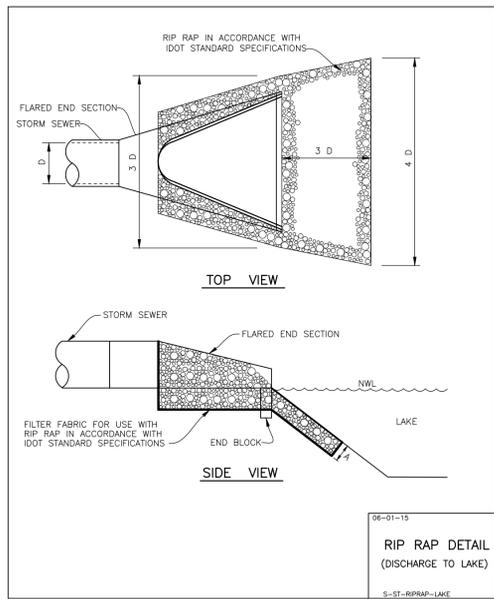
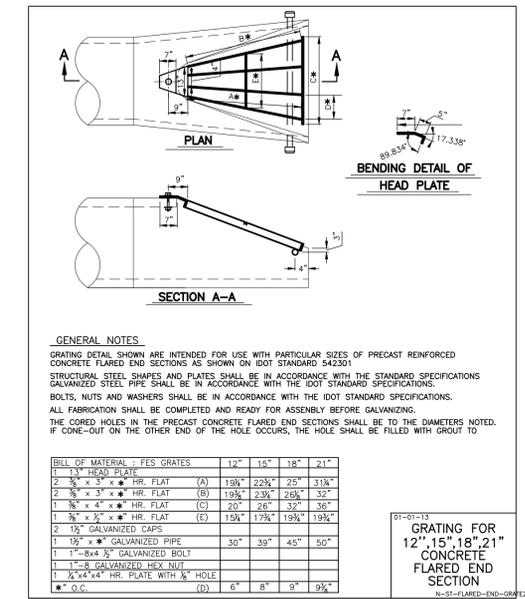
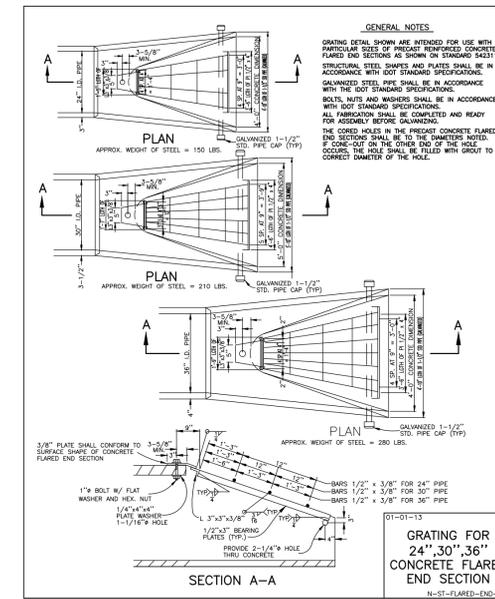
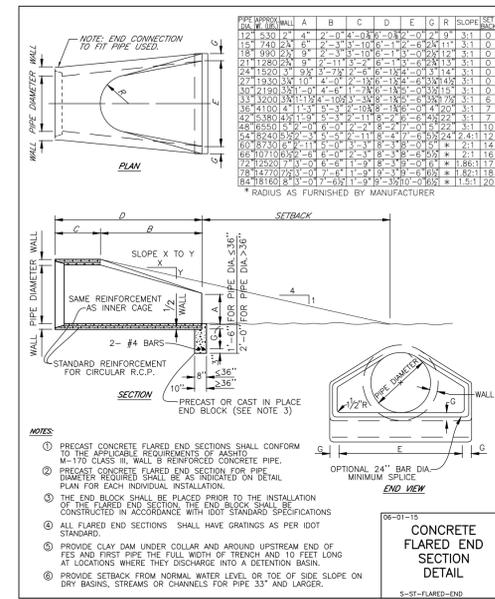
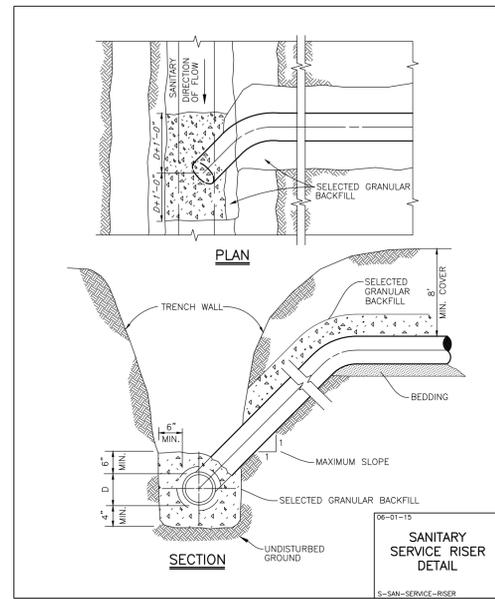
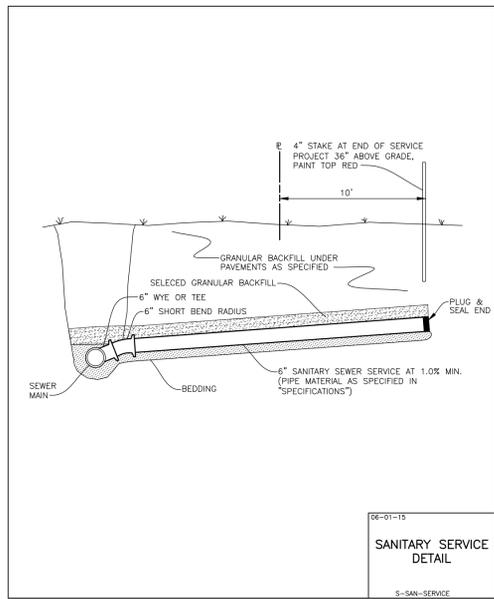
CONSTRUCTION DETAIL

VILLAGE OF LINCOLNSHIRE, ILLINOIS

MANORS OF WHYTEGATE

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PROJ. ASSOC: JSP  
DRAWN BY: KGB  
DATE: 7-8-16  
SCALE: N.T.S.

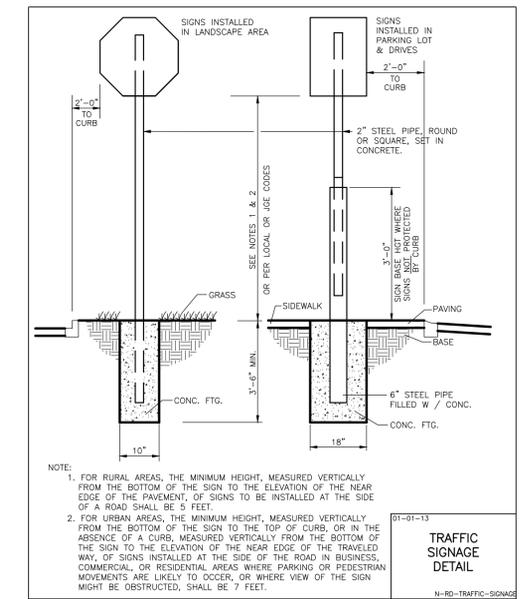
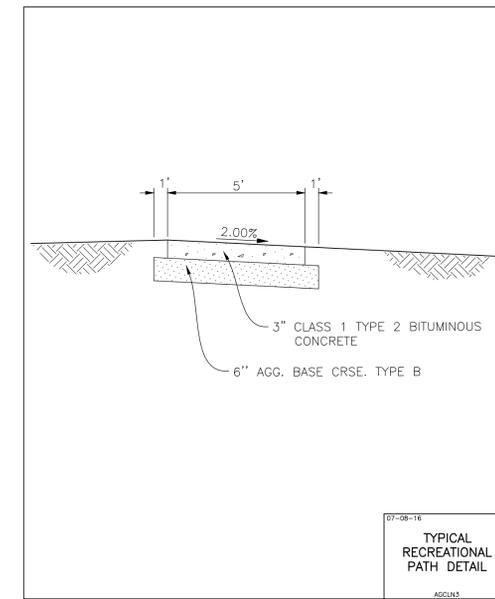
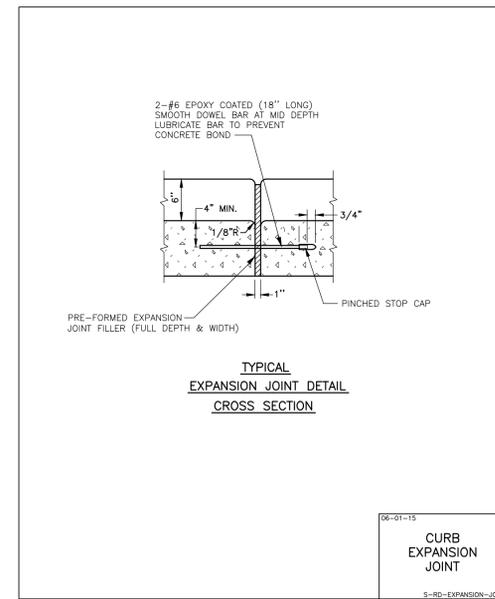
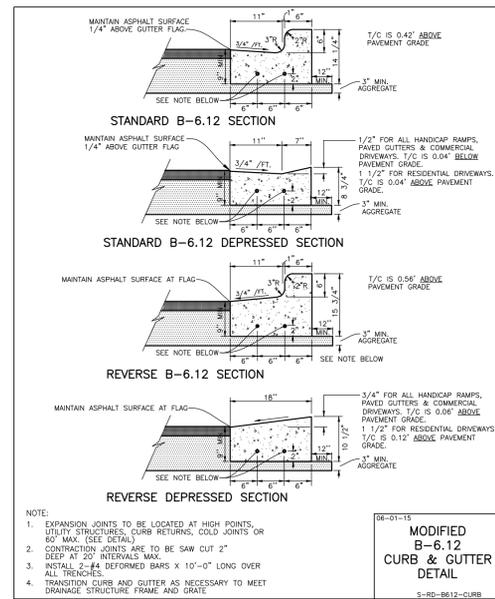
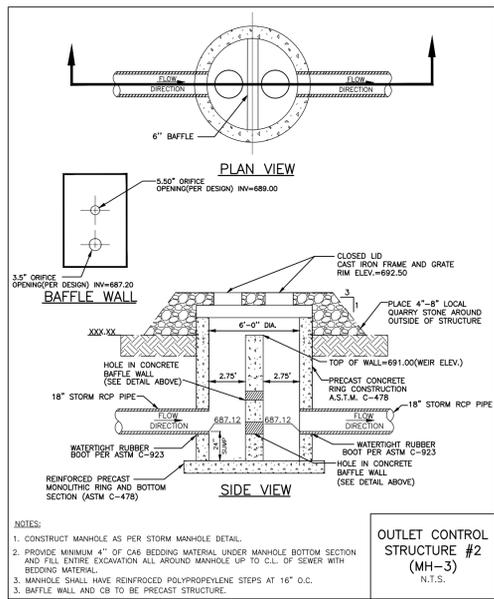
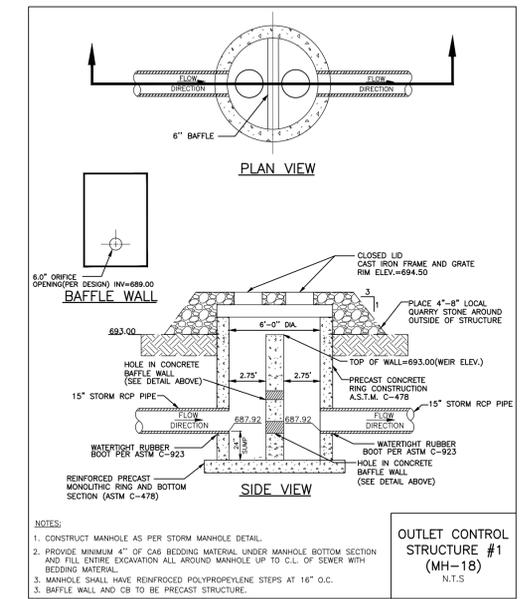
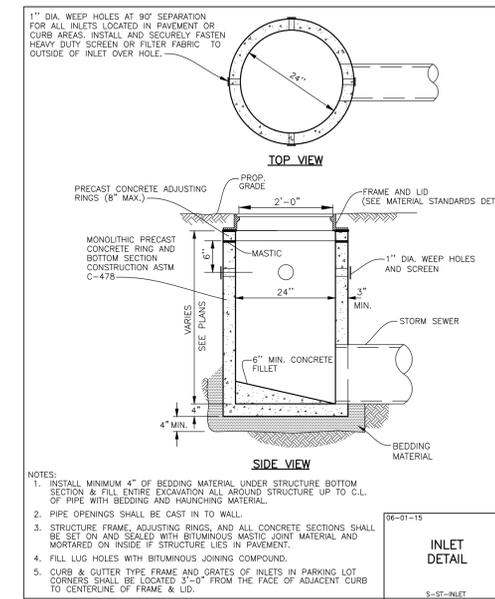
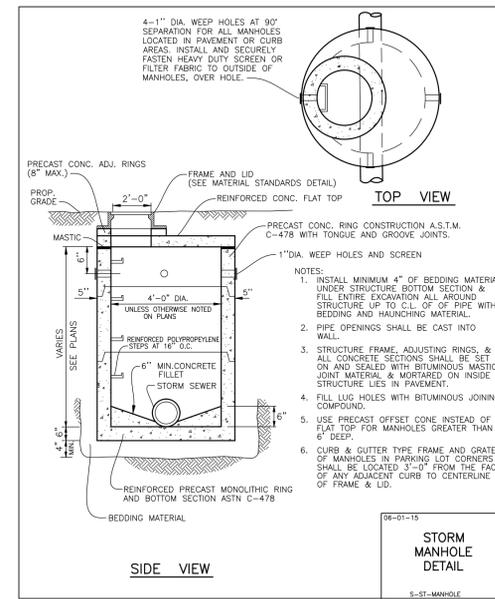
SHEET 10 OF 13  
AGECLN3



RIP-RAP								
PIPE DIAMETER (IN.)	STONE RIP-RAP			BEDDING				
	QUALITY DESIGNATION	GRADATION NUMBER	MINIMUM THICKNESS (IN.)	MINIMUM WEIGHT PER CUBIC FOOT (LB)	WEIGHT AVERAGE (LB)	SIZE AVERAGE (IN.)	MINIMUM THICKNESS (IN.)	
12"	B	3	8"	4"	1-50	10	4.5"	N/A
15"	B	3	8"	5"	1-50	10	4.5"	N/A
18"	B	4	16"	6"	1-150	40	7"	6"
21"	B	4	16"	7"	1-150	40	7"	6"
24"	B	4	16"	8"	1-150	40	7"	6"
27"	B	4	16"	9"	1-150	40	7"	6"
30"	B	4	16"	10"	1-150	40	7"	6"
36"	B	5	22"	12"	3-400	90	10"	8"
42"	B	5	22"	14"	3-400	90	10"	8"
48"	B	6	26"	16"	6-600	170	12"	10"
54"	B	6	26"	18"	6-600	170	12"	10"
60"	B	6	26"	20"	6-600	170	12"	10"
72"	B	6	26"	24"	6-600	170	12"	10"

**NOTE:**  
1. FOR PIPE LARGER THAN 72" A SPECIAL DESIGN OF RIP-RAP OR APRON IS REQUIRED.  
2. REFER TO I.D.O.T. SPECIFICATIONS AND STANDARDS FOR BEDDING GRADATION.

**STONE RIP RAP DETAIL**  
S-ST-RIPRAP-STONE



JULY 12, 2016 - 10:30 Day Name: P:\Asstn\Area\Envs\Final Drawings\Plan Set\11 CONSTRUCTION DETAILS.dwg - Updated Bx - Placed

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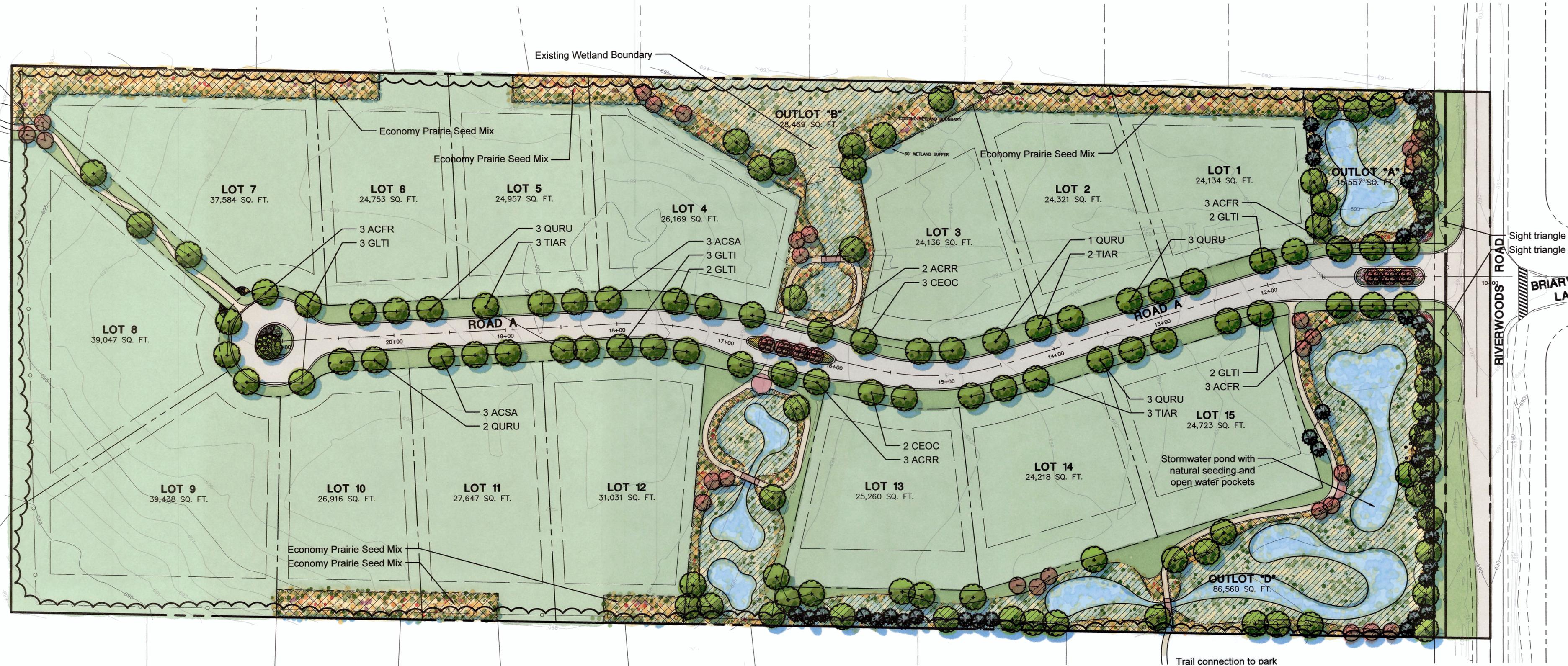
**MANORS OF WHYTEGATE**  
VILLAGE OF LINCOLNSHIRE, ILLINOIS  
CONSTRUCTION DETAIL

PROJ. MGR.: JGC  
PROJ. ASSOC.: JSP  
DRAWN BY: KGB  
DATE: 7-8-16  
SCALE: N.T.S.

SHEET  
**11 OF 13**  
AGCLN3







Monument Sign / Split-Rail Fence

Annuals

3 PIPU  
3 HAVE  
3 PIST

3 LISY  
3 CEPO  
3 PIPU  
5 VINW

6 GLTI  
Bird houses

3 PIST

1 HAVE  
3 TADI  
3 CECA

ROAD A

LOT 15  
24,723 SQ. FT.

LOT 14  
24,218 SQ. FT.

LOT 13  
25,260 SQ. FT.

OUTLOT "D"  
86,560 SQ. FT.

EXISTING HEDGEROW TO REMAIN

4 RHAG  
18 CORZ

18 CORZ  
4 AMGR  
16 RHAG

3 CECA

Stormwater Seed Mix  
Economy Prairie Seed Mix  
Detention Basin

1 CASP  
Pathway Entry Area  
Detention Basin  
Stormwater Seed Mix  
Economy Prairie Seed Mix

3 QUMC  
Pathway Trail  
1 GYDI

3 PIST  
Overlook Area  
3 CRVI

3 CECA  
3 LISY  
4 QUBI  
3 CECA  
Stormwater Seed Mix  
Economy Prairie Seed Mix  
3 CASP  
5 ACSA  
3 PIST

1 CASP

3 POPT

EXISTING HEDGEROW TO REMAIN

**OUTLOT "B"**  
28,469 SQ. FT.

EXISTING WETLAND BOUNDARY

3 CECA  
3 QUBI

30' WETLAND BUFFER

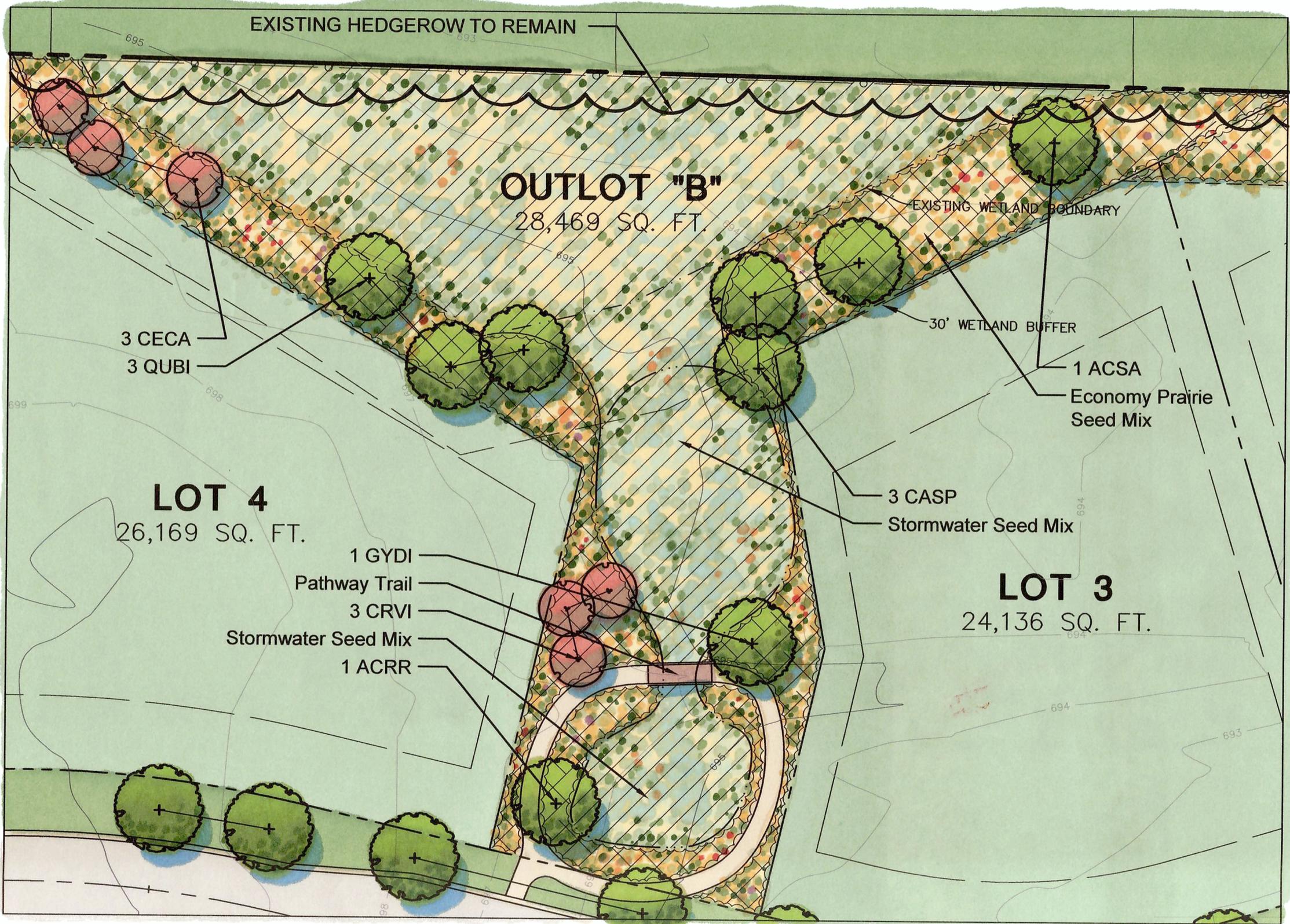
1 ACSA  
Economy Prairie  
Seed Mix

**LOT 4**  
26,169 SQ. FT.

3 CASP  
Stormwater Seed Mix

1 GYDI  
Pathway Trail  
3 CRVI  
Stormwater Seed Mix  
1 ACRR

**LOT 3**  
24,136 SQ. FT.



# LOT 1

134 SQ. FT.

# OUTLOT "A"

15,557<sup>95</sup> SQ. FT.

- 3 QUMC
- 3 PIST
- 3 TADI
- 4 VINW
- 3 CECA
- 3 GLTI
- 3 PIST
- 3 HAVE

Detention Basin

Stormwater Seed Mix

- 3 PIPU
- 3 LISY

Economy Prairie Seed Mix

Stormwater Seed Mix

144 ALGE

16 RHAG

3 AMGR

Annuals

27 CORZ

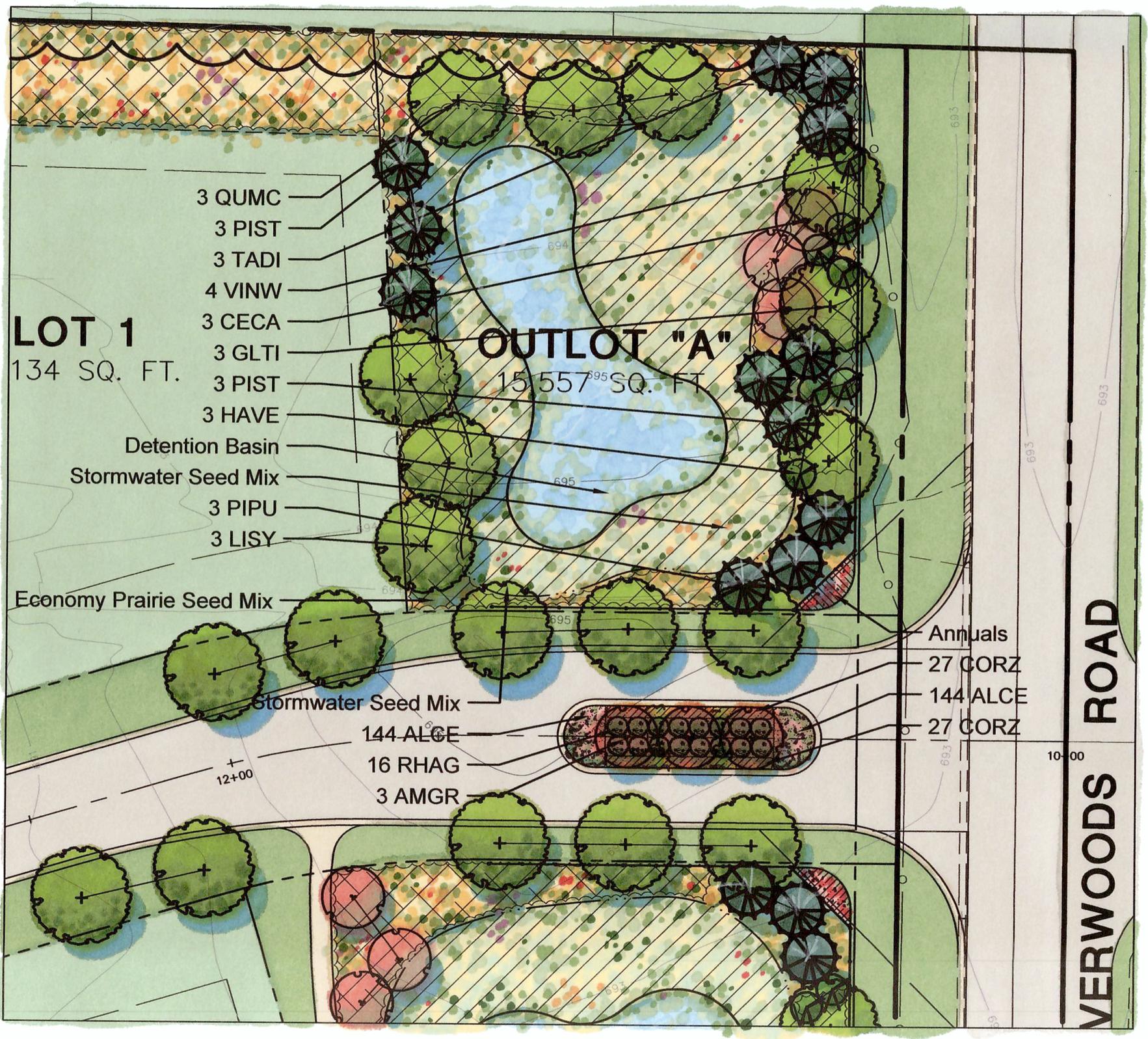
144 ALCE

27 CORZ

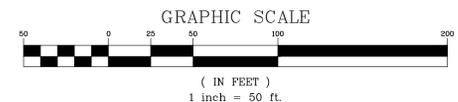
VERWOODS ROAD

12+00

10+00



Note: For illustrative purposes only.



April 27, 2016 - 09:32 - Draw Name: P:\Projects\Landplan\Preliminary\Illustrative Footprint Exhibit.dwg - Updated By: boholoff

NO.	DATE	REVISIONS

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**MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT**  
**LINCOLNSHIRE, ILLINOIS**  
**ILLUSTRATIVE FOOTPRINT EXHIBIT**

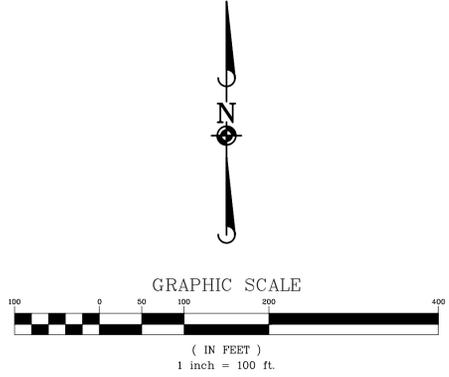
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 SCALE: 1"=50'

SHEET  
**1 OF 1**

ACCLN3

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Note: For illustrative purposes only.



April 27, 2016 - 09:31 Des Name: P:\agcln3\agcln3\Preliminary\Illustrative Footprint Exhibit - with Aerial.dwg Updated By: bseidhoff

DATE	REVISIONS



**MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT**  
**LINCOLNSHIRE, ILLINOIS**  
**ILLUSTRATIVE FOOTPRINT EXHIBIT ON 2014 AERIAL PHOTOGRAPH**

PROJ. MGR: JGC  
 PROJ. ASSOC: DEM3  
 DRAWN BY: JBD  
 DATE: 1-26-16  
 SCALE: 1"=100'  
 SHEET  
**1** OF **1**  
 AGCLN3

Approved Single-Family Residential Subdivisions North of Route 22 \*

Subdivision Name	Zoning	COW Referral	Proposed Lots	Final Lots	% Change	Acres	Average Lot Size (sq.ft.)	Actual Density (units/acre)	Maximum Code-Permitted Density	Average House Size with Garage (sq. ft.)	Maximum Code-Permitted House Size (sq.ft., based on average lot size & 25% FAR)	Code-Permitted Minimum Front Yard Setback	Code-Permitted Minimum Interior Side Yard Setback	2015 Average Sale Price **
Anvil Farms	R1	1/11/1988	7	7	0	16.00	84,506	0.44	1.0	5,773	21,127	50'	30'	\$830,000
Bishop's Gate	R1	1/25/1988	7	7	0	15.00	80,150	0.47	1.0	7,180	20,038	50'	30'	N/A
Brampton Woods	R2A	9/23/1986	18	16	-11	15.00	26,572	1.07	1.25	4,041	6,643	20'	10'	\$687,500
Briarwoods of Lincolnshire	R2A	2/6/1989	17	14	-17.6	14	33,106	1.00	1.25	6,015	8,276	20'	10'	\$1,052,500
Brookwood Farm	R1	12/13/2004	17	9	-47	19.5	67,954	0.46	1	7,132	16,988	50'	30'	N/A
Lincolnshire Forest (Preston Court)	R2A	7/8/2002	10	9	-10	12	30,492	0.75	1.25	5,833	7,623	20'	10'	\$1,125,000
Lincolnshire Woods - Units 1-4	R2A	10/5/1976	171	174	1.7	142	23,522	1.23	1.25	3,865	5,881	20'	10'	\$652,209
Manors of Brampton Woods	R2	3/30/1989	11	10	-9	15	47,230	0.67	2.0	4,886	11,808	40'	20'	\$765,000
Manors of Brampton Woods - Unit 2	R2	4/24/2006	11	12	9	17	57,499	0.71	2.0	6,445	14,375	40'	20'	\$1,502,760
Meadows of Birch Lake	R2A	7/24/1995	49	39	-20	40	30,056	0.98	1.25	5,668	7,514	20'	10'	\$998,333
Old Mill Woods	R2A	5/29/2001	45	27	-40	23	30,056	1.17	1.25	5,816	7,514	20'	10'	\$628,000
Whytegate - Unit 1	R2A	12/17/1984	29	29	0	23	23,522	1.26	1.25	3,904	5,881	20'	10'	\$774,500
Whytegate - Unit 2	R2A	12/17/1984	22	22	0	18	24,394	1.22	1.25	4,206	6,098	20'	10'	N/A
Whytegate - Unit 3	R2A	12/17/1984	19	19	0	15	25,700	1.27	1.25	3,902	6,425	20'	10'	\$607,500
Whytegate Woods	R2A	N/A	6	6	0	5	33,541	1.20	1.25	4,648	8,385	20'	10'	\$900,000
<b>Proposed Manors of Whytegate- Subject to Change</b>	<b>R2A</b>	<b>2/24/2015</b>	<b>19</b>	<b>15</b>	<b>-21</b>	<b>14.5</b>	<b>28,704</b>	<b>1.03</b>	<b>1.25</b>	<b>5,425</b>	<b>7,176</b>	<b>20'</b>	<b>10'</b>	<b>N/A</b>

\*Sources: GIS; Lake County's Assessor's Office

\*\* Some subdivisions had one or no sales in 2015