

AGENDA
COMMITTEE OF THE WHOLE MEETING
Village Hall – Board Room
Monday, August 22, 2016
Immediately following Regular Village Board Meeting

Reasonable accommodations / auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings of the Board. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need special accommodations to attend.

The Committee of the Whole will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Trustees to do so. Citizens wishing to address the Board on agenda items may speak when the agenda item is open, prior to Board discussion.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

- 2.1 Acceptance of the August 8, 2016 Committee of the Whole Meeting Minutes

3.0 ITEMS OF GENERAL BUSINESS

3.1 Planning, Zoning and Land Use

- 3.11 Consideration of an Ordinance Approving a Preliminary Plat of Subdivision for a 15-Lot Manors of Whytegate Single-Family Residential Subdivision, 1700 Riverwoods Road (Arthur J. Greene Construction Co.)

3.2 Finance and Administration

3.3 Public Works

3.4 Public Safety

3.5 Parks and Recreation

3.6 Judiciary and Personnel

4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

6.0 EXECUTIVE SESSION

7.0 ADJOURNMENT



**MINUTES
COMMITTEE OF THE WHOLE MEETING
Monday, July 25, 2016**

Present:

Mayor Brandt	Trustee Feldman
Trustee Grujanac	Trustee Hancock
Trustee McDonough	Trustee Servi
Trustee Leider	Village Clerk Mastandrea
Village Attorney Simon	Village Manager Burke
Acting Chief of Police Price	Finance Director/Treasurer Peterson
Public Works Director Woodbury	Economic Development Coordinator Zozulya

ROLL CALL

Mayor Brandt called the meeting to order at 7:34 p.m. and Village Clerk Mastandrea called the Roll.

2.0 APPROVAL OF MINUTES

2.1 Acceptance of the July 25, 2016 Committee of the Whole Meeting Minutes

The minutes of the July 25, 2016 Committee of the Whole Meeting were approved as submitted.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Planning, Zoning and Land Use

3.11 Continued Consideration of Branding Initiative (Village of Lincolnshire)

Economic Development Coordinator Zozulya provided introductory comments and background regarding the continued consideration of the branding initiative. Economic Development Coordinator Zozulya introduced Erin Rice, resident in the Village of Lincolnshire who has taken on the project to come up with additional ideas towards the branding initiative.

Ms. Erin Rice provided information related to her schooling and background noting this is a school project for Notre Dame. Ms. Rice provided a presentation regarding her ideas for the continued consideration of the branding initiative.

Trustee Hancock stated he liked much of what was presented by Ms. Rice and noted he was in favor of the idea of highlighting our values as a Village and using "Find Your Space" as a way to promote the Village. Trustee Hancock stated his opinion was that this could bring diversity to

the branding. Trustee Hancock asked if there was a way to incorporate the logo design presented with some type of leaf element. Ms. Rice stated when coming up with the brand her idea was to highlight and simplify the Lincolnshire “L” while still being able to add to it. Ms. Rice stated she could underlay a leaf into the design.

Mayor Brandt identified the new website design which was distributed to the Board prior to the meeting. Mayor Brandt noted if everyone is in agreement with “Find Your Space” the next step would be deciding on a brand to build upon.

Trustee McDonough stated the presentation was well done and agreed that the current logo was worth keeping around.

Trustee Servi stated he liked the concept that included the shield but would like to have leaf included in the background. Trustee Servi asked if the leaf could work in conjunction with the shield. Ms. Rice noted her opinion was to keep the shield separate and thought the leaf is not significant to what is current.

Trustee Hancock stated he was in favor of one of the concepts with the circle and suggested possibly adding a leaf to help with transitioning of what is currently being used. Trustee Hancock noted his concern is how this would be implemented correctly. Ms. Rice suggested packaging all the information, colors and typefaces in a zip file so they cannot be altered.

Village Clerk Mastandrea noted agreement that the logo has been around for a long time and is what Lincolnshire is known for. Village Clerk Mastandrea noted if you look at the example of the Lincolnshire Arts & Eats promotion, it is difficult to associate it to Lincolnshire. Village Clerk Mastandrea stated it was her opinion the leaves in the current logo seem outdated but suggested using a different, more updated graphic for the leaf. Village Clerk Mastandrea appreciated the history in the presentation.

Mayor Brandt stated she would like to see a type face that is easy to read and more current. Mayor Brandt noted her opinion was that Lincolnshire lacks consistency.

Mayor Brandt asked for feedback from staff. Village Manager Burke stated staff would benefit and is looking forward to having an updated style, font and color to work with. Village Manager Burke noted some of the projects staff has brought forward have been put on hold in anticipation of a new brand. Village Manager Burke recognized that the Lincolnshire “L” is everywhere and has a strong presence so it would be beneficial to retain this. Village Manager Burke stated his opinion was that he was not sold on the shield and stated at first glance the V & L in the shield resembled a marijuana leaf and suggested putting a leaf in the shield to look more modern.

Trustee Hancock stated his opinion was the shields appeared more regal and did not think it necessary. Trustee Servi stated his opinion was the shield looked better than the circle. Mayor Brandt requested Ms. Rice present a different leaf in both the shield and the circle for the Board to view.

Economic Development Coordinator Zozulya noted concern with some of the ideas taking a step back in time; gravitating to the past and not moving into the present. Economic Development Coordinator Zozulya also noted concern regarding the shield because Bannockburn's current logo has a similar type of image.

Public Works Director Woodbury noted he was in favor of the shield but suggested using a different leaf.

Assistant Village Manager/Community & Economic Development Director Letendre noted his suggestion would be to stay away from a competitor and suggested changing the shape of the shield.

Mayor Brandt stated she would get feedback from the missing board members to Ms. Rice.

Trustee Hancock reiterated using the tag line since his opinion was Lincolnshire lacks identity.

Ms. Rice suggested using circles instead of shields noting her opinion is they are more timeless and similar to icons.

There was a consensus of the Board for Ms. Rice to provide additional designs using alternates to the shield, updates to the leaf, while keeping the Lincolnshire "L" and then follow up with staff.

3.2 Finance and Administration

3.21 Consideration of an Ordinance Amending Title 1, Chapter 8 (Village Finances) of the Lincolnshire Village Code (Village of Lincolnshire)

Finance Director/Treasurer Peterson provided a summary of the proposed Ordinance amending Title 1, Chapter 8 of the Village Code - Village Finances highlighting changes and additions staff recommends.

Village Manager Burke noted Village Finances is a section in the code which has not been revisited since approximately 1974. The changes recognize the combined role of Finance Director and Treasurer. Village Manger Burke noted the Bond Compliance Document would be incorporated into the Budget.

Trustee Hancock noted inconsistency in section 1.8A which refers to "Village Treasurer" and also "Treasurer" and suggested keeping this consistent.

There was a consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

3.22 Consideration of an Ordinance Authorizing the Disposal of Surplus Property (Village of Lincolnshire)

Village Manager Burke summarized the twice annual Ordinance authorizing the disposal of surplus property.

There was a consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

- 3.3 Public Works
- 3.3 Public Safety
- 3.4 Parks and Recreation
- 3.5 Judiciary and Personnel

4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

6.0 EXECUTIVE SESSION

Trustee McDonough moved and Trustee Servi seconded the motion to go into Executive Session for the purpose of discussing current litigation. The roll call vote was as follows: AYES: Trustees McDonough, Servi, and Hancock. NAYS: None. ABSENT: Trustees Feldman, Leider, and Grujanac. ABSTAIN: None. The Mayor declared the motion carried and the Board went into Executive Session at 9:35 p.m. and came out of Executive Session at 8:43 p.m.

7.0 ADJOURNMENT

Trustee McDonough moved and Trustee Hancock seconded the motion to adjourn. Upon a voice vote, the motion was approved unanimously and Mayor Brandt declared the meeting adjourned at 8:44p.m.

Respectfully submitted,

VILLAGE OF LINCOLNSHIRE

Barbara Mastandrea
Village Clerk

**REQUEST FOR BOARD ACTION
Committee of the Whole
August 22, 2016**

Subject:	Proposed 15-lot R2A Single-Family Subdivision – Technical Phase (Mons Property at 1700 Riverwoods Road)
Action Requested:	Consideration of an Ordinance Approving a Preliminary Plat of Subdivision for Manors of Whytegate
Originated By/Contact:	Tonya Zozulya, Economic Development Coordinator Department of Community & Economic Development
Referred To:	Zoning Board

Background:

- On August 9, 2016, the Zoning Board unanimously recommended approval of a proposed Preliminary Plat of Subdivision for the 15-lot, single-family residential Manors of Whytegate subdivision, incorporating an exception to allow a longer than permitted cul-de-sac length, as depicted in the attached plans prepared by Manhard Consulting, subject to the following conditions:
 1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.
 2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.
 3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.

Summary:

- Zoning Board Stipulations - The petitioner stated at the Zoning Board meeting they will comply with the above conditions.
- Subdivision Code Variation - The proposed cul-de-sac measures 1,100' long, in excess of the maximum permitted 800' length (Sec. 7-5-2(G)). Although cul-de-sacs of this length are relatively common along both sides of Riverwoods Road north of Half Day Road, a variation from the subdivision regulations is required. The petitioner stated in their cover letter the longer than allowable length maintains a subdivision design consistent with adjoining subdivisions to the north and south, and accommodates the Village's request of not providing a connection to Brampton Lane due to traffic concerns. This variance does not require a Public Hearing since cul-de-sac dimensions are a Subdivision Code requirement and not required by the Zoning Code.
- Street Name – The petitioner revised the name of the subdivision from Bromley Court to Briarwood Lane at the Zoning Board's and staff's request for consistency with an established street naming pattern between aligning subdivisions on both sides of Riverwoods Road (e.g., Brampton Ln, Surrey Ct, Pembroke Ln). "Bromley Court" was also eliminated due to the similar-sounding "Bramley Court" street name in the Camberley Club development off Milwaukee Avenue, causing potential emergency response and mail delivery issues.
- Zoning Requirements - The chart below depicts code-permitted and proposed lot size and density figures, demonstrating the proposed development complies with the R2A zoning requirements. During the first (Policy) Phase, the Village Board approved the proposed subdivision with a density of 1.03 units per acre. This is the density depicted on the current plans. This density is below the 1.25 units per acre permitted in the R2A District and is

consistent with previously approved subdivisions (see attached updated subdivision research which includes garage area).

	Smallest Lot Size (sq.ft.)	Average Lot Size (sq.ft.)	Maximum Density (units/acre)
R2A Zoning Code Required/Allowed	20,000	No less than 22,000	Up to 1.25
Proposed	24,001	28,704	1.00

- **Approvals** - Upon the Preliminary Plat approval, the developer will submit a Final Plat for the Zoning Board's review and recommendation, with final approval at the Village Board.

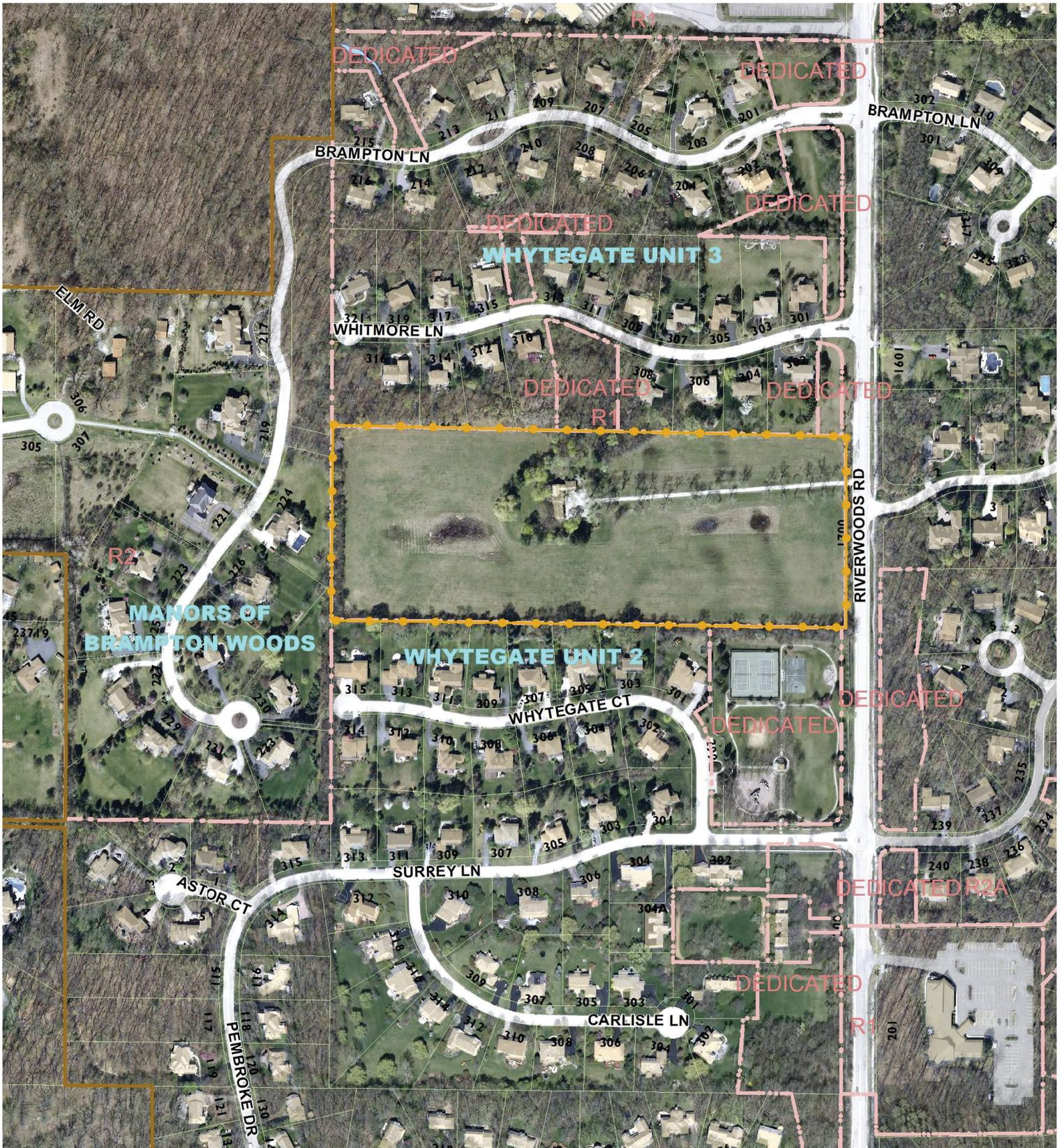
Recommendation:

Consideration of the proposed Ordinance approving the Preliminary Plat of Subdivision for a 15-Lot Manors of Whytegate Subdivision, with a Subdivision Code exception regarding the cul-de-sac length, and placement on the September 12, 2016 Consent Agenda for approval.

Reports and Documents Attached:

- Location map, prepared by staff.
- Draft Ordinance, prepared by staff.
- Cover letter, prepared by Jeffrey Greene of Arthur J. Greene Construction Co., dated August 15, 2016.
- Revised Preliminary Plat of Subdivision and development plans, prepared by Manhard Consulting, dated August 16, 2016.
- Updated subdivision research, prepared by staff.
- Unapproved August 9, 2016 Zoning Board meeting minutes.

Meeting History	
Referral at Village Board (COW):	February 24, 2014
Zoning Board (Public Hearing):	May 21, 2015
Previous Board Discussion (COW):	October 13, 2015
Board Discussion (COW)	March 14, 2016
Village Board	April 4, 2016
Village Board	May 9, 2016
Zoning Board	August 9, 2016
Board Discussion (COW)	August 22, 2016



VILLAGE OF LINCOLNSHIRE
LAKE COUNTY, ILLINOIS

ORDINANCE NO. _____

A ORDINANCE APPROVING A PRELIMINARY PLAT
OF SUBDIVISION FOR MANORS OF WHYTEGATE SUBDIVISION

BE IT ORDAINED by the Mayor and Village Board of the Village of Lincolnshire, Lake County, Illinois, as follows:

Section 1. BACKGROUND.

Arthur J. Greene Construction Company, on behalf of the owners of the subject property, J.A. Mons (the "**Applicant**"), has applied for approval of a preliminary plat for the property commonly known as Manors of Whytegate Subdivision ("**Property**") establishing a fifteen (15) lot single-family residential subdivision in conformance with the regulations of the R2A Residential Zoning District.

Section 2. LEGAL DESCRIPTION. The Property is legally described as follows:

THE SOUTH 15 ACRES OF THE NORTH 45 ACRES OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS (EXCEPT THAT PART THEREOF PREVIOUSLY ANNEXED LYING WITHIN RIVERWOODS ROAD).

PIN # 15-14-200-028

Section 3. PUBLIC MEETING.

The Zoning Board held a public meeting on Tuesday, August 9, 2016, at which date the Zoning Board voted in favor of approving the Applicant's preliminary plat of subdivision for the Property with a variation to permit the cul-de-sac length of 1,100' rather than the maximum permitted cul-de-sac length of 800' as required by Section 7-5-2(G) of the Subdivision Code.

Section 3. APPROVAL; AUTHORIZATION. The preliminary plat of subdivision for the Property, prepared by Manhard Consulting, consisting of 4 sheets, date stamped received on August 4, 2016 ("**Preliminary Plat**"), a copy of which is attached hereto as **Exhibit A**, shall be, and is hereby, accepted as to design and layout in accordance with Section 7-3-4 of the Village of Lincolnshire Municipal Code, Subdivision and Land Development, as amended, and the home rule powers of the Village of Lincolnshire.

Section 4. CONDITIONS OF APPROVAL:

1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.
2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.
3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.

Section 5. EFFECTIVE DATE.

This Ordinance shall be in full force and effect from and after its adoption and publication in the manner provided by law.

ADOPTED this _____ Day of _____, 2016.

AYES:

NAYS:

ABSENT:

APPROVED this _____ Day of _____, 2016.

Elizabeth J. Brandt, Mayor

ATTEST:

Barbara Mastandrea, Village Clerk

EXHIBIT A
PRELIMINARY PLAT OF SUBDIVISION

[SEE ATTACHED]



ARTHUR J. GREENE CONSTRUCTION CO.

August 15, 2016

Madame Mayor Elizabeth Brandt &
The Village of Lincolnshire Trustees
One Half Day Road
Lincolnshire, IL 60069

Dear Madame Mayor & Trustees:

Arthur J. Greene Construction Company is respectfully requesting Village board approval of the preliminary plat for Manors of Whytegate. We are also requesting variation on maximum cul-de-sac length from 800 to 1,100 feet, as they are common along both sides of Riverwoods Road, and as requested by the Village, not to tie in to existing subdivisions to the West.

The property was previously rezoned from R-1 to R-2A at the May 9, 2016 Village board meeting and has received unanimous approval of the preliminary plat at the August 9, 2016 Zoning board meeting.

Thanks you for your cooperation.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeffrey Greene', is written over a printed name and title. The signature is fluid and cursive.

Jeffrey Greene
President

175 E. HAWTHORN PARKWAY
SUITE 200
VERNON HILLS, ILLINOIS 60061

TELEPHONE (847) 367-4044
FAX (847) 367-4002
EMAIL: INFO@AJGCC.COM

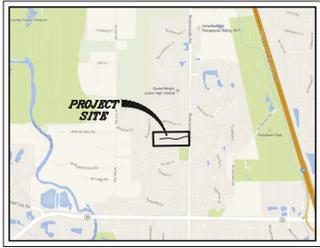
PRELIMINARY PLAT OF MANORS OF WHYTEGATE

BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP
43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, ALL IN LAKE COUNTY, ILLINOIS.

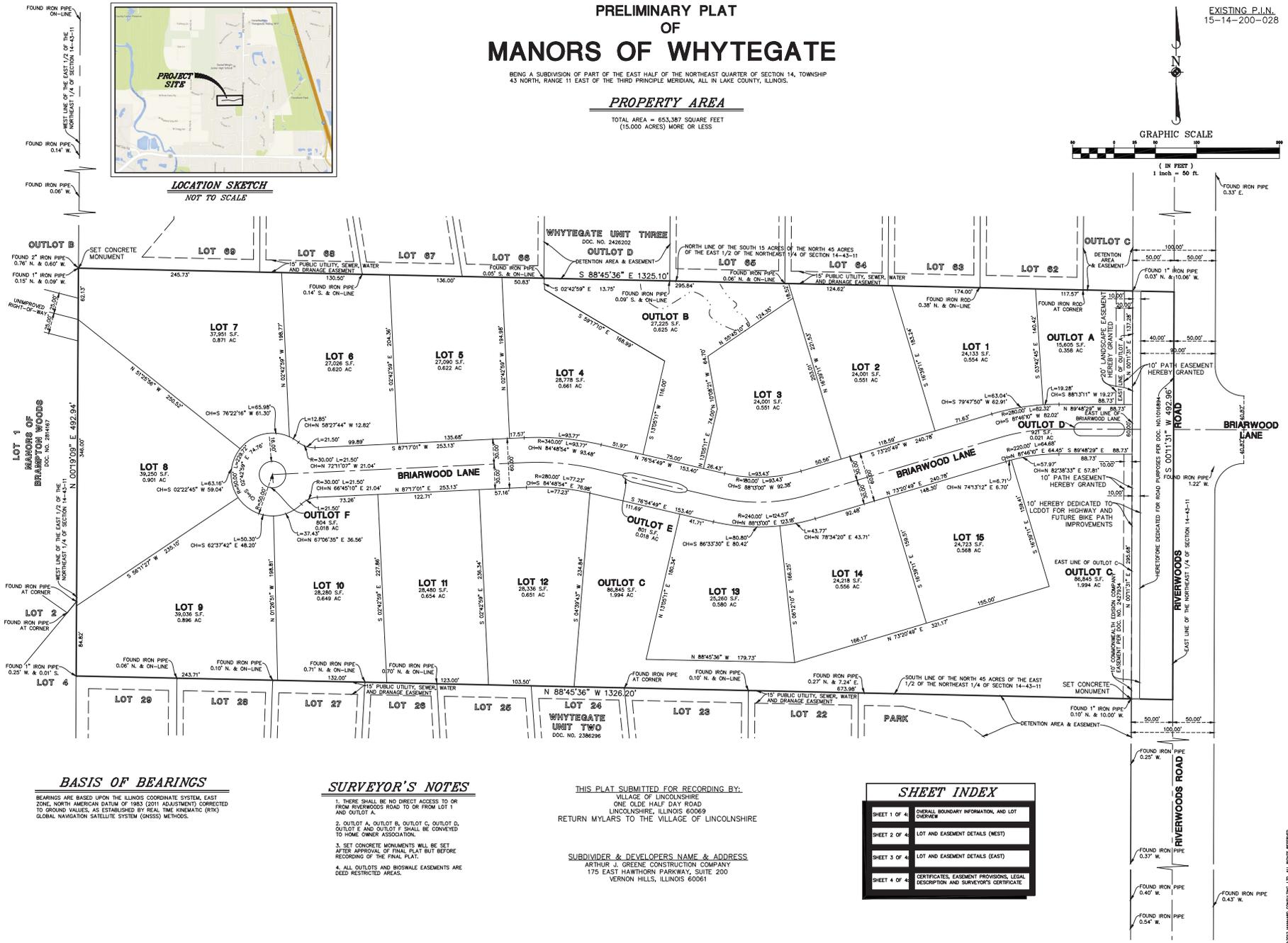
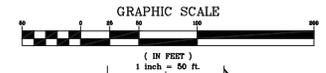
PROPERTY AREA

TOTAL AREA = 653,387 SQUARE FEET
(15,000 ACRES) MORE OR LESS

EXISTING P.L.N.
15-14-200-028



LOCATION SKETCH
NOT TO SCALE



BASIS OF BEARINGS
BEARINGS ARE BASED UPON THE ILLINOIS COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) CORRECTED TO GROUND VALUES, AS ESTABLISHED BY REAL TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) METHODS.

SURVEYOR'S NOTES

1. THERE SHALL BE NO DIRECT ACCESS TO OR FROM RIVERWOODS ROAD TO OR FROM LOT 1 AND OUTLOT A.
2. OUTLOT A, OUTLOT B, OUTLOT C, OUTLOT D, OUTLOT E AND OUTLOT F SHALL BE CONVEYED TO HOME OWNER ASSOCIATION.
3. SET CONCRETE MONUMENTS WILL BE SET AFTER APPROVAL OF FINAL PLAT BUT BEFORE RECORDING OF THE FINAL PLAT.
4. ALL OUTLOTS AND BROWLADE EASEMENTS ARE DEED RESTRICTED AREAS.

THIS PLAT SUBMITTED FOR RECORDING BY:
VILLAGE OF LINCOLNSHIRE
ONE OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS 60069
RETURN MYLARS TO THE VILLAGE OF LINCOLNSHIRE

SUBDIVIDER & DEVELOPERS NAME & ADDRESS
ARTHUR J. GRENE CONSTRUCTION COMPANY
175 EAST HAWTHORN PARKWAY, SUITE 200
VERNON HILLS, ILLINOIS 60061

SHEET INDEX	
SHEET 1 OF 4	OVERALL BOUNDARY INFORMATION, AND LOT OVERVIEW
SHEET 2 OF 4	LOT AND EASEMENT DETAILS (WEST)
SHEET 3 OF 4	LOT AND EASEMENT DETAILS (EAST)
SHEET 4 OF 4	CERTIFICATES, EASEMENT PROVISIONS, LEGAL DESCRIPTION AND SURVEYOR'S CERTIFICATE

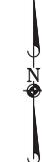
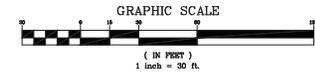


MANORS OF WHYTEGATE
 VILLAGE OF LINCOLNSHIRE, ILLINOIS
 PRELIMINARY PLAT OF SUBDIVISION

SHEET
1 OF **4**
 ACCL13

PRELIMINARY PLAT OF MANORS OF WHYTEGATE

BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP
43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, ALL IN LAKE COUNTY, ILLINOIS.



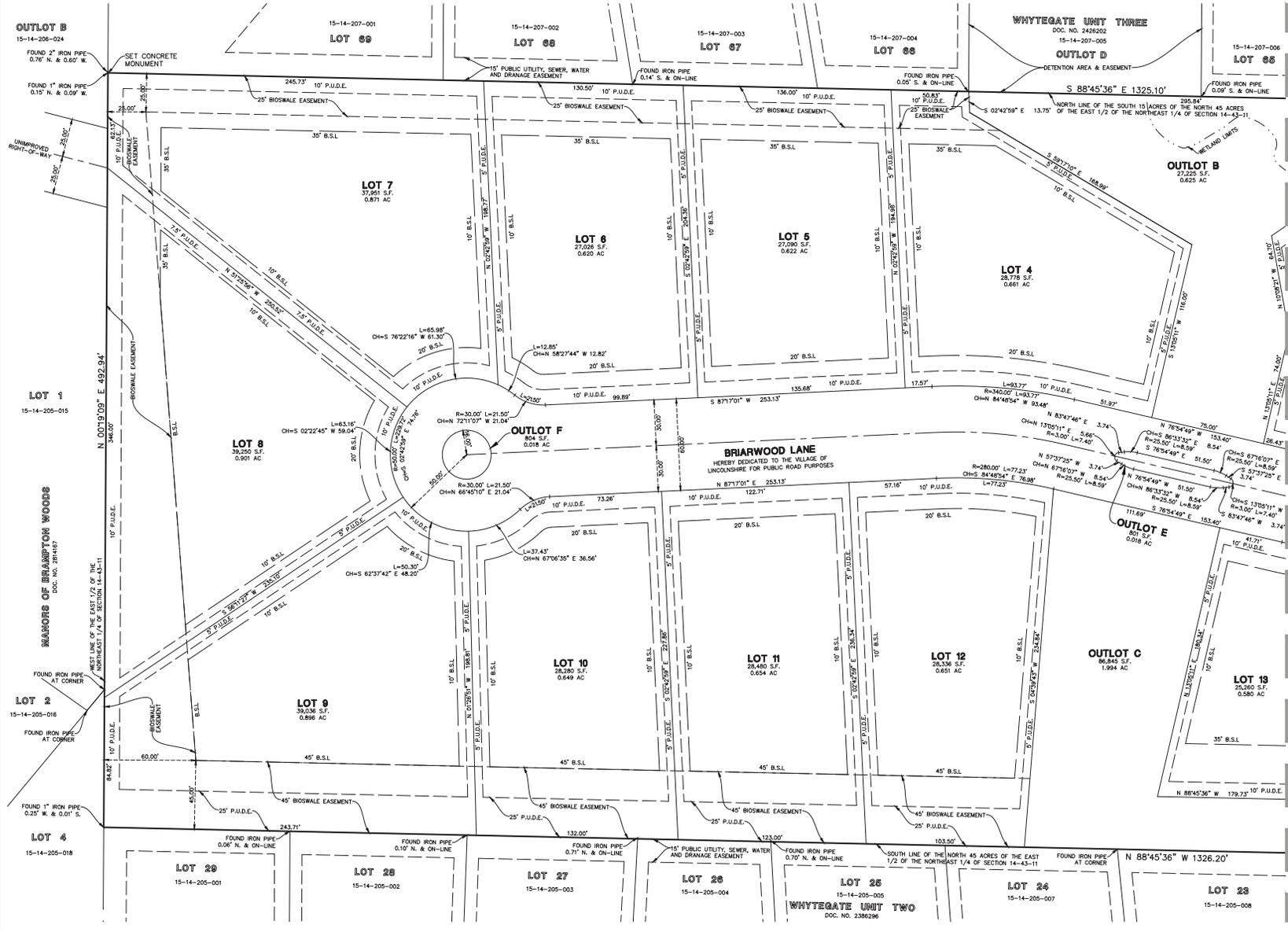
LEGEND

P.U.D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT HEREBY GRANTED
B.S.L. = BUILDING SETBACK LINE

NOTE:
1. THERE SHALL BE NO DIRECT ACCESS TO OR FROM RIVERWOODS ROAD TO OR FROM LOT 1.
2. OUTLOT A, OUTLOT B AND OUTLOT C SHALL BE CONVEYED TO THE VILLAGE OF LINCOLNSHIRE.

BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE ILLINOIS COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT) CONNECTED TO GROUND VALUES, AS ESTABLISHED BY REAL TIME KINEMATIC (RTK) GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) METHODS.



MATCH LINE (SEE SHEET 3)



MANORS OF WHYTEGATE
VILLAGE OF LINCOLNSHIRE, ILLINOIS
PRELIMINARY PLAT OF SUBDIVISION

PLAT NO. _____
DRAWN BY: LSM
DATE: 08/26/16
SHEET
2 OF **4**
ACCL33

Proposed Improvements for MANORS OF WHYTEGATE

1700 RIVERWOODS ROAD
VILLAGE OF LINCOLNSHIRE, ILLINOIS

ARTHUR J GREENE CONSTRUCTION COMPANY
175 EAST HAWTHORN PARKWAY, SUITE 200
VERNON HILLS, ILLINOIS 60061
CONTACT: TIM GOLOTA
(847) 822-0123

STANDARD SYMBOLS

EXISTING

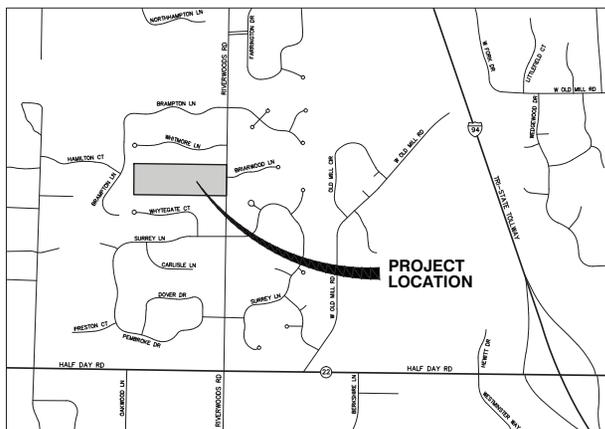
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	FOREMAN
	DRAINAGE
	WATER MAIN
	ELECTRIC
	GAS
	TELEPHONE
	OVERHEAD WIRES
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	STORM INLET
	CLEANOUT
	HAY BALES
	RIIP RAP
	VALVE IN VAULT
	VALVE IN BOX
	FIRE HYDRANT
	BUFFALO BOX
	FLARED END SECTION
	STREET LIGHT
	SUMMIT / LOW POINT
	BM ELEVATION
	INVERT ELEVATION
	DITCH OR SWALE
	DIRECTION OF FLOW
	OVERFLOW RELIEF SWALE
	1 FOOT CONTOURS
	CURB AND GUTTER
	DEPRESSED CURB AND GUTTER
	REVERSE CURB AND GUTTER
	SIDEWALK
	DETECTABLE WARNINGS
	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	MAIL BOX
	SIGN
	TRAFFIC SIGNAL
	POWER POLE
	GUY WIRE
	GAS VALVE
	HANDHOLE
	ELECTRICAL EQUIPMENT
	TELEPHONE EQUIPMENT
	CHAIN-LINK FENCE
	SPOT ELEVATION
	BRUSH/TREE LINE
	DECIDUOUS TREE WITH TRUNK DIA. IN INCHES (TRD)
	CONIFEROUS TREE WITH HEIGHT IN FEET (TFR)
	SILT FENCE
	RETAINING WALL
	WETLAND

PROPOSED

	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED COMBINED SEWER
	PROPOSED FOREMAN
	PROPOSED DRAINAGE
	PROPOSED WATER MAIN
	PROPOSED ELECTRIC
	PROPOSED GAS
	PROPOSED TELEPHONE
	PROPOSED OVERHEAD WIRES
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED STORM INLET
	PROPOSED CLEANOUT
	PROPOSED HAY BALES
	PROPOSED RIIP RAP
	PROPOSED VALVE IN VAULT
	PROPOSED VALVE IN BOX
	PROPOSED FIRE HYDRANT
	PROPOSED BUFFALO BOX
	PROPOSED FLARED END SECTION
	PROPOSED STREET LIGHT
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	PROPOSED BM ELEVATION
	PROPOSED INVERT ELEVATION
	PROPOSED DITCH OR SWALE
	PROPOSED DIRECTION OF FLOW
	PROPOSED OVERFLOW RELIEF SWALE
	PROPOSED 1 FOOT CONTOURS
	PROPOSED CURB AND GUTTER
	PROPOSED DEPRESSED CURB AND GUTTER
	PROPOSED REVERSE CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED DETECTABLE WARNINGS
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED SETBACK LINE
	PROPOSED MAIL BOX
	PROPOSED SIGN
	PROPOSED TRAFFIC SIGNAL
	PROPOSED POWER POLE
	PROPOSED GUY WIRE
	PROPOSED GAS VALVE
	PROPOSED HANDHOLE
	PROPOSED ELECTRICAL EQUIPMENT
	PROPOSED TELEPHONE EQUIPMENT
	PROPOSED CHAIN-LINK FENCE
	PROPOSED SPOT ELEVATION
	PROPOSED BRUSH/TREE LINE
	PROPOSED DECIDUOUS TREE WITH TRUNK DIA. IN INCHES (TRD)
	PROPOSED CONIFEROUS TREE WITH HEIGHT IN FEET (TFR)
	PROPOSED SILT FENCE
	PROPOSED RETAINING WALL
	PROPOSED WETLAND

ABBREVIATIONS

ADJ	ADJUST	F.L.	FLOW LINE	R	RADIUS
AGG	AGGREGATE	FM	FORCE MAIN	R.O.W.	RIGHT-OF-WAY
ARCH	ARCHITECT	G	GAS	RCF	REINFORCED CONCRETE PIPE
B.A.M.	BITUMINOUS AGGREGATE MIXTURE	GF	GRADE AT FOUNDATION	REM	REMOVAL
B-B	BACK TO BACK	GW	GUY WIRE	REV	REVERSE
B/C	BACK OF CURB	H	HEADWALL	RR	RAILROAD
B/P	BOTTOM OF PIPE	HW	HANDHOLE	RT	RIGHT
B/W	BACK OF WALK	HWL	HIGH WATER LEVEL	SAN	SANITARY
B-BOX	BUFFALO BOX	HYD	HYDRANT	SAN	SANITARY
BIT	BITUMINOUS	INL	INLET	SHLD.	SHOULDER
BM	BENCHMARK	INV.	INVERT	SLL	STREET LIGHT
B.O.	BACK OF OVERHEAD ENTRANCE	IP	IRON PIPE	SMH	SANITARY MANHOLE
B.Y.	BY OTHERS	L	LEFT	STL	STANDARD
C.E.	COMMERCIAL ENTRANCE	LT	LEFT	STL	STANDARD
CB	CATCH BASIN	LT	LEFT	STL	STANDARD
CL	CENTERLINE	MAX.	MAXIMUM	SY	SQUARE YARDS
CMF	CORRUGATED METAL PIPE	M/E	MEET EXISTING	TR	TO BE REMOVED
CNTR.	CONTROL	MH	MANHOLE	T	TYPE A
C	CONCRETE	MNL	MINIMUM	T-1	TOP OF CURB
CY	CUBIC YARD	NWL	NORMAL WATER LEVEL	T/C	TOP OF FOUNDATION
D	DITCH	P.E.	PRIVATE ENTRANCE	T/P	TOP OF PIPE
DIA.	DIAMETER	POL	POINT OF CURVATURE	T/W	TOP OF WALK
DIP	DUCTILE IRON PIPE	PCC	POINT OF COMING CURVE	T/WALL	TOP OF WALL
DWM	DUCTILE IRON WATER MAIN	PI	PROFILE GRADE LINE	TEMP	TEMPORARY
DS	DOWNSLOPE	PI	POINT OF INTERSECTION	TRANS	TRANSFORMER
DT	DRAIN TILE	PL	PROPERTY LINE	V.B.	VALVE BOX
E-E	ELEVATION	PROP.	PROPOSED	V.C.	VERTICAL CURVATURE
E-E	ELEVATION	P/T	POINT OF TANGENCY	W.C.	WATER LEVEL
E.P.	EDGE OF PAVEMENT	PVC	POLYVINYL CHLORIDE PIPE	V.V.	VALVE VAULT
E.C.	EXISTING	PVI	POINT OF VERTICAL INTERSECTION	WM	WATER MAIN
F.F.	FINISHED FLOOR	PVT	POINT OF VERTICAL TANGENCY		
FES	FLARED END SECTION	P	PALM		
		P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT		



LOCATION MAP
N.T.S.

REFERENCE BENCHMARK (NCS AJ3083):
METAL ROD LOCATED IN THE NORTHWEST CORNER OF
RIVERWOODS ROAD AND SURREY LANE INTERSECTION,
APPROXIMATELY 67.4 FEET WEST OF CENTERLINE OF
RIVERWOODS ROAD AND APPROXIMATELY 121.8 FEET NORTH OF
THE CENTERLINE OF SURREY LANE.

DATUM: NAVD'88 ELEVATION=690.05 (2011 & GEOD12A)

SITE BENCHMARK 1:
SOUTHWEST FLANGE BOLT OF THE FIRE HYDRANT LOCATED
APPROXIMATELY 38.0 FEET EAST OF CENTERLINE OF
RIVERWOODS ROAD AND APPROXIMATELY 284.3 FEET NORTH OF
CENTERLINE OF BRIARWOOD LANE.

ELEVATION=693.25 (NAVD'88)

SITE BENCHMARK 2:
NORTHEAST FLANGE BOLT OF THE FIRE HYDRANT LOCATED
APPROXIMATELY 35.7 FEET EAST OF CENTERLINE OF
RIVERWOODS ROAD AND APPROXIMATELY 113.2 FEET SOUTH OF
CENTERLINE OF BRIARWOOD LANE.

ELEVATION=690.78 (NAVD'88)

NOTES:

1. THE TOPOGRAPHIC SURVEY FOR THIS PROJECT IS BASED ON A FIELD SURVEY PREPARED BY MANHARD CONSULTING, LTD. AND WAS PERFORMED ON FEBRUARY 4, 2014. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

UTILITY CONTACTS

ELECTRIC COMMONWEALTH EDISON CO. 1500 FRANKLIN BLVD LIBERTYVILLE, IL 60048 (847) 816-5503 CONTACT:	WATER VILLAGE OF LINCOLNSHIRE 205 SHELTER ROAD LINCOLNSHIRE, IL 60069 (847) 883-8600 CONTACT:
GAS NORTH SHORE GAS 3001 GRAND AVENUE WAUKEGAN, IL 60085 (847) 263-4666 CONTACT:	TELEPHONE SBC 1200 N. ARLINGTON HEIGHTS RD ARLINGTON HEIGHTS, IL 60004 (847) 506-8700 CONTACT:
SEWER VILLAGE OF LINCOLNSHIRE 205 SHELTER ROAD LINCOLNSHIRE, IL 60069 (847) 883-8600 CONTACT:	



3000 Millennium Parkway, Vernon Hills, IL 60061 phone: 847.263.4666 fax: 847.263.4666
 200 E. Hampshire - Chicago - Water Treatment Division - 1 Water & Wastewater Division
 1000 West Lake - Chicago - Environmental Division - 1000 West Lake - Chicago - Environmental Division

MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SOIL EROSION AND SEDIMENT CONTROL PLAN
4	SOIL EROSION AND SEDIMENT CONTROL DETAILS
5	GRADING PLAN - EAST
6	GRADING PLAN - WEST
7	MEDIAN GRADING DETAIL
8	PLAN AND PROFILE - BROMLEY COURT (STA. 9+50 TO 16+00)
9	PLAN AND PROFILE - BROMLEY COURT (STA. 16+00 TO 22+00)
10	CONSTRUCTION DETAIL
11	CONSTRUCTION DETAIL
12	CONSTRUCTION DETAILS
13	CONSTRUCTION SPECIFICATIONS
ATTACHMENT	
H1	PRELIMINARY GEOMETRICS - RIVERWOODS ROAD

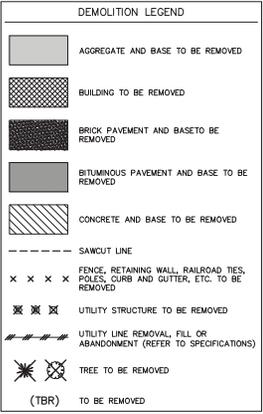


MANORS OF WHYTEGATE
VILLAGE OF LINCOLNSHIRE, ILLINOIS
TITLE SHEET

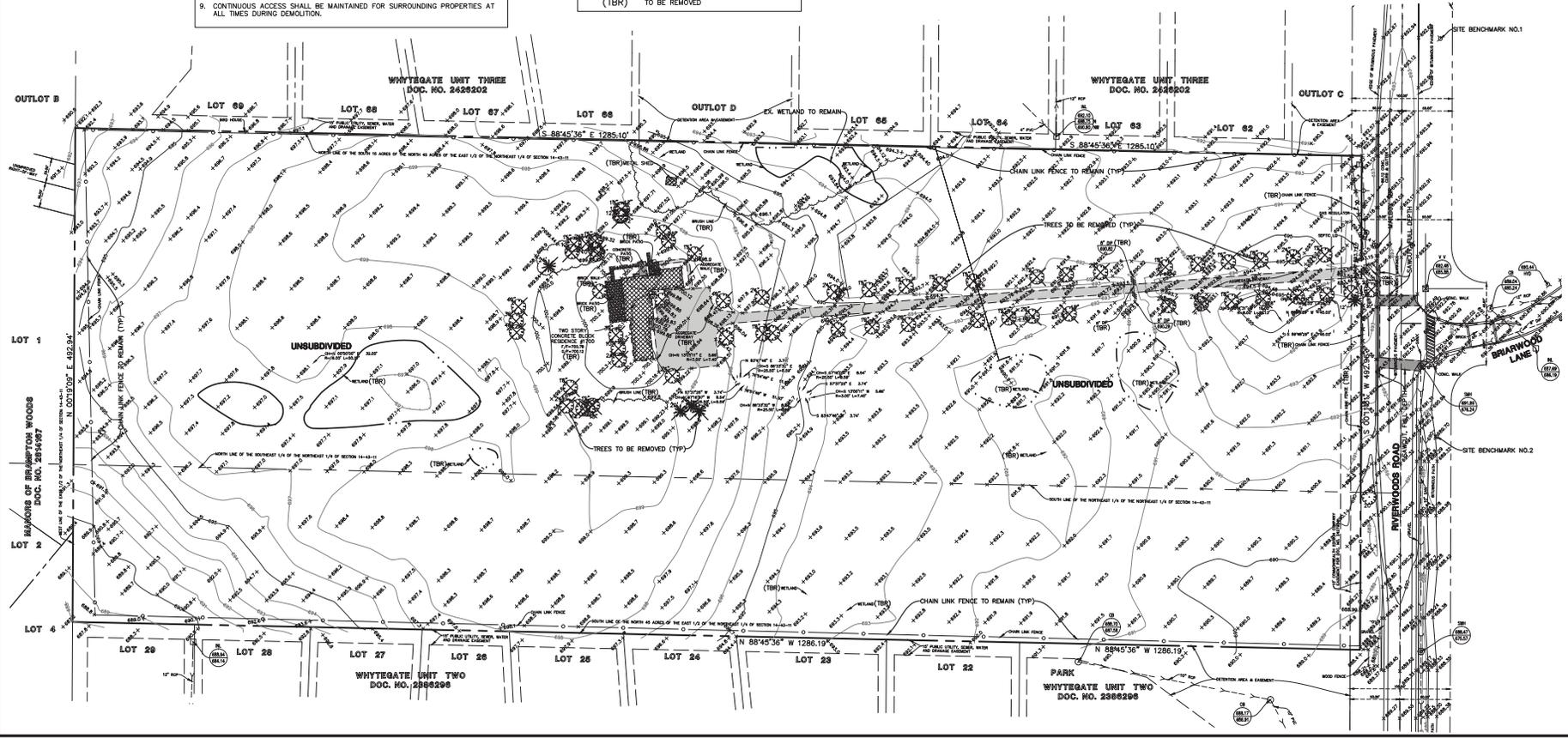
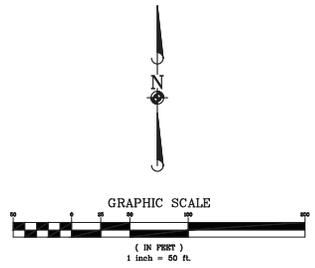
DATE: _____
 PROJ. NO.: JGC
 PROJ. ASSOC.: JSP
 DRAWN BY: JSP
 DATE: 7-3-15
 SCALE: N.T.S.
 SHEET
1 OF 13
 AGLN3

04/18/2016 10:09:11 AM C:\Users\jgarcia\OneDrive\Documents\Manhard\041015\Manors of Whytegate.dwg

- DEMOLITION NOTES:**
1. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THESE SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FOR ALL FEES AND CHARGES.
 2. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FEATURES INDICATED TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN. ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
 3. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 4. ALL EXISTING UTILITY LINES AND CONDUITS LOCATED UNDER PROPOSED BUILDINGS SHALL BE REMOVED AND PROPERLY BACKFILLED. ALL UTILITY LINES AND CONDUITS LOCATED UNDER DRIVES, ON-SITE ROADS, PARKING LOTS OR SIDEWALKS SHALL BE FILLED WITH A FLOWABLE BACKFILL AND END PLUGGED. ALL EXISTING STRUCTURES SHALL BE REMOVED. ALL EXISTING UTILITY LINES LOCATED UNDER LANDSCAPE AREAS SHALL BE LEFT IN PLACE AND PLUGGED AT ALL STRUCTURES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION, REMOVAL AND LAWFUL DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THESE PLANS CAN BE CONSTRUCTED. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
 6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
 7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE AFFECTED UTILITY COMPANY.
 8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES.
 9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION.



- EXISTING CONDITIONS NOTES:**
1. EXISTING CONDITIONS AND DEMOLITION PLAN REPRESENT SITE CONDITIONS AS OF MARCH 19, 2015. CONTRACTOR SHALL INSPECT SITE PRIOR TO BIDDING WORK TO VERIFY ACTUAL FIELD CONDITIONS AS PORTIONS OF THE DEMOLITION WORK MAY HAVE SINCE BEEN COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLETE ALL DEMOLITION WORK AS PER PLANS TO PREPARE THE SITE FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.



MANORS OF WHYTEGATE
 VILLAGE OF LINCOLNSHIRE, ILLINOIS
 EXISTING CONDITIONS AND DEMOLITION PLAN

Manhard CONSULTING
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PROJECT NO.: JSC
 PROJECT ASSOC.: SP
 DRAWING BY: BH
 DATE: 7-3-15
 SCALE: 1"=50'
 SHEET
2 OF 13
 AGLN3

SOIL PROTECTION CHART

STABILIZATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS												
TEMPORARY SEEDINGS												
SOILING												
MAINTENANCE												

A - BENTONITE BLENDAGE FOR USE IN WEDS WITH 50 LB/7.5' TUBS
B - BENTONITE BLENDAGE FOR USE IN WEDS WITH 100 LB/15' TUBS WITH 2" STRAW MULCH OVER GENERAL SURFACE
C - SPRING DATE
D - WEDS BY CORAL, PFC AND SEPTEMBER
E - 500 LBS/50' GROUND (TYPICAL BLENDAGE)
F - STRAW MULCH OVER TOP SOIL
G - BENTONITE BLENDAGE FOR 2" MULCH OVER TOP SOIL
H - BENTONITE BLENDAGE FOR 2" MULCH OVER TOP SOIL

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL HAVE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

- CONSTRUCTION SEQUENCE:**
1. INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
 2. PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
 3. CONSTRUCT TEMPORARY SEDIMENT TRAPS AND/OR BASINS.
 4. STRIP EXISTING TOPSOIL FROM PROPOSED STORMWATER MANAGEMENT AREAS AND STOCKPILE WHERE SHOWN ON PLANS.
 5. PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES.
 6. CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-GRADE AND INSTALL OUTLET PIPES.
 7. COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING AND SODDING OF STORMWATER MANAGEMENT FACILITIES.
 8. CUT AND FILL SITE TO PLAN SUB-GRADE.
 9. CONSTRUCT UNDERGROUND IMPROVEMENTS, I.E. SANITARY SEWER WATERMAIN AND STORM SEWER, ETC.
 10. CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
 11. COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
 12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
- ** INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.

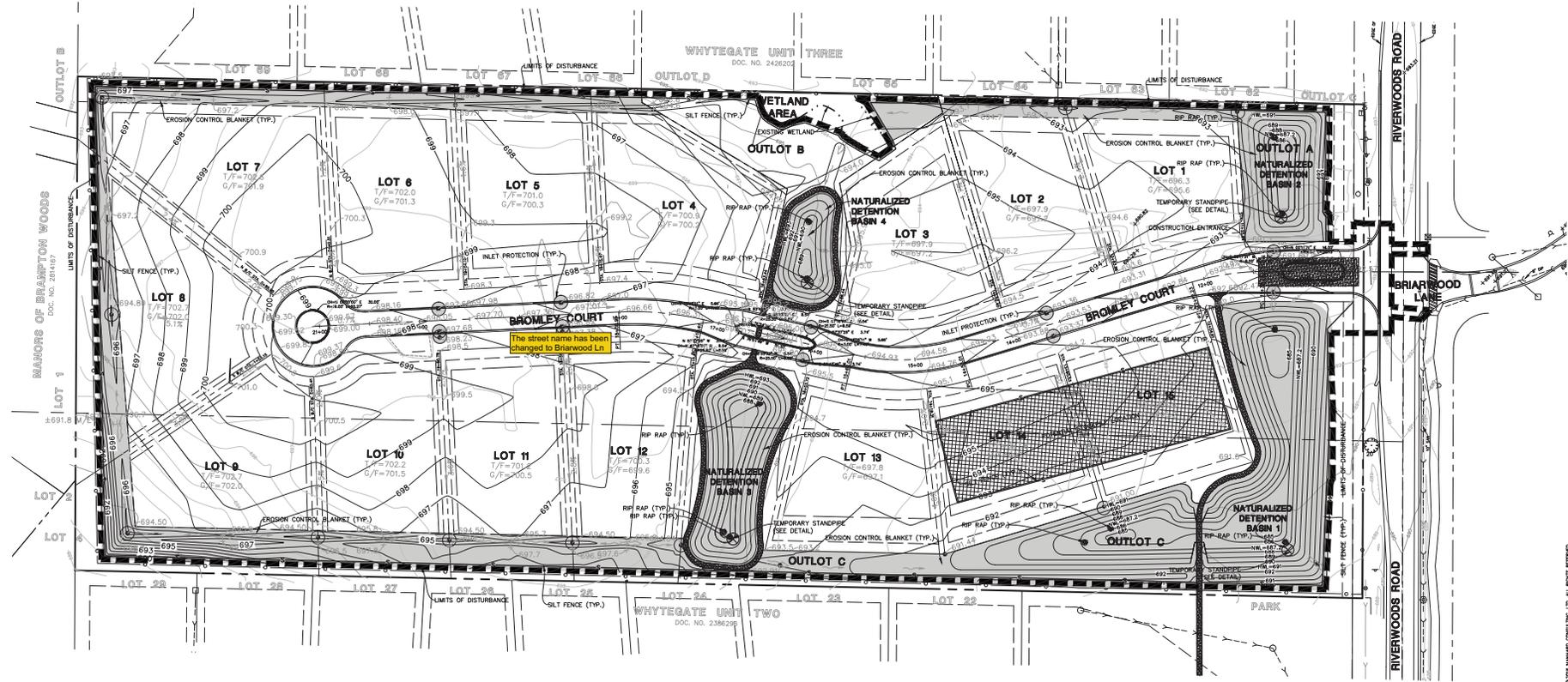
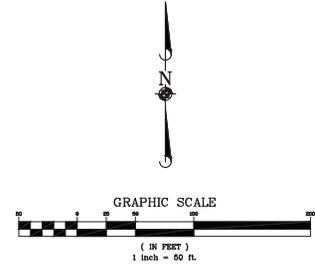
NOTE: ALL TREES ALONG THE OUTER EDGE OF THE LIMITS OF DISTURBANCE (CONSTRUCTION OUTSIDE OF THE EXISTING FENCE TO REMAIN) SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION AND EFFORTS SHALL BE TAKEN BY THE CONTRACTOR TO LIMIT AND PREVENT DAMAGE OR ADVERSE IMPACT ON EXISTING TREES TO REMAIN.

LEGEND

- S - S - TEMPORARY SILT FENCE (PERMETER EROSION BARRIER)
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN DS 75) (SEEDING PER LANDSCAPE PLAN)
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- POTENTIAL STOCKPILE LOCATION
- TEMPORARY STORM STRUCTURE PROTECTION
- PAVEMENT DRAINAGE FLOW
- SWALE DRAINAGE FLOW
- LIMITS OF DISTURBANCE/CONSTRUCTION
- TEMPORARY STANDPIPE

- SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:**
1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL".
 2. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
 3. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER OR EQUIVALENT. NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY.
 4. INSTALL ALL PERMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ON-SITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
 5. STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASINS, PRIOR TO BEGINNING MASS EXCAVATION. THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASINS.
 6. DISTURBED AREA SHALL BE STABILIZED BY SEEDING AT A MINIMUM, WITHIN SEVEN (7) DAYS OF COMPLETION OF DISTURBANCE UNLESS THE AREA WILL BE DISTURBED WITHIN FOURTEEN (14) DAYS AND GRASS SOWN AS NECESSARY TO RE-ESTABLISH VEGETATION FOR CONTROL OF SILTATION AND SOIL EROSION.
 7. INLET PROTECTION SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
 8. TOPSOIL STOCKPILES SHALL BE SEEDED WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETION FOR EROSION CONTROL UNLESS THEY WILL BE DISTURBED WITHIN FOURTEEN (14) CALENDAR DAYS. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
 9. DURING DEWATERING OPERATIONS, WATER WILL BE PUMPED INTO SEDIMENT BASINS OR SILT TRAPS. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER STRUCTURES IS PROHIBITED.
 10. WATER PUMPED DURING CONSTRUCTION OPERATION SHALL BE FILTERED.
 11. DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPENSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION FOR THE ENTIRE WORKING DAY.
 12. TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED, ADJUSTED OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
 13. ANY LOOSE MATERIAL THAT IS DEPOSITED IN THE FLOW LINE OF ANY GUTTER OR DRAINAGE STRUCTURE DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY.
 14. OVERLAND FLOW SHALL BE DIRECTED TO THE DETENTION BASINS PRIOR TO LEAVING THE SITE.
 15. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE CLIENT OR OTHER JURISDICTIONAL GOVERNMENTAL ENTITIES.
 16. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.

"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILL10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."

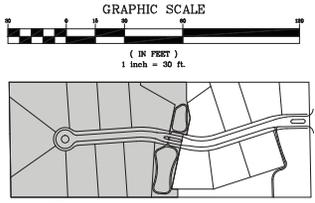
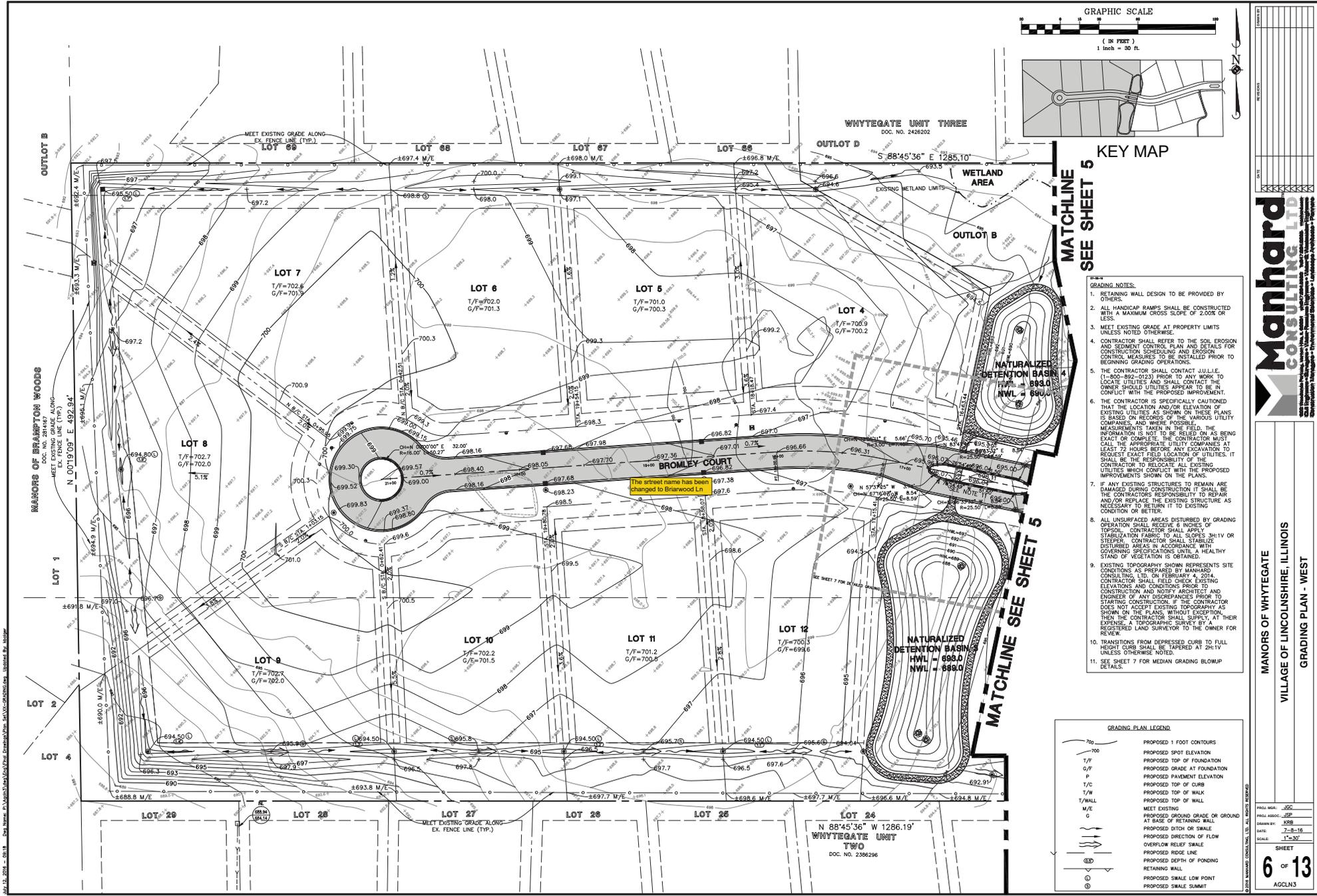


Manhard CONSULTING

MANORS OF WHYTEGATE
VILLAGE OF LINCOLNSHIRE, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE: _____
SCALE: 1"=50'

SHEET 3 OF 13
AGLNL3



KEY MAP

GRAADING NOTES:

1. RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
2. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
3. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
5. THE CONTRACTOR SHALL CONTACT J.U.L.I.E. (1-800-892-0123) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED TO BE AWARE OF THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS. MEASUREMENTS TAKEN IN THE FIELD, THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
8. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
9. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING, LTD. ON FEBRUARY 4, 2014. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
10. TRANSITIONS FROM DEPRESSED CURBS TO FULL HEIGHT CURBS SHALL BE TAPERED AT 20:1V UNLESS OTHERWISE NOTED.
11. SEE SHEET 7 FOR MEDIAN GRADING BLOWUP DETAILS.

GRAADING PLAN LEGEND

	PROPOSED 1 FOOT CONTOURS
	PROPOSED SPOT ELEVATION
	PROPOSED GRADE AT FOUNDATION
	PROPOSED PAVEMENT ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP OF WALK
	PROPOSED TOP OF WALL
	MEET EXISTING PROPOSED GROUND GRADE OR GROUND AT BASE OF RETAINING WALL
	PROPOSED DITCH OR SWALE
	PROPOSED DIRECTION OF FLOW
	OVERFLOW RELIEF SWALE
	PROPOSED RIDGE LINE
	PROPOSED DEPTH OF PONDING
	RETAINING WALL
	PROPOSED SWALE LOW POINT
	PROPOSED SWALE SUMMIT

MANHARD CONSULTING LTD. 1000 W. 10TH AVE. S. CALGARY, ALBERTA T2C 1L5 CANADA
 TEL: (403) 243-8888 FAX: (403) 243-8889
 WWW.MANHARDCONSULTING.COM

DRAWN BY: JSC

CHECKED BY: JSC

DATE: 7-2-2018

SCALE: 1"=30'

SHEET

6

OF

13

MANORS OF WHYTEGATE

VILLAGE OF LINCOLNSHIRE, ILLINOIS

GRADING PLAN - WEST

PROJECT NO. 281847

DATE: 7-2-2018

SCALE: 1"=30'

DRAWN BY: JSC

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DATE: 7-2-2018

SCALE: 1"=30'

SHEET

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MANORS OF WHYTEGATE

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VILLAGE OF LINCOLNSHIRE, ILLINOIS

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MANORS OF WHYTEGATE

VILLAGE OF LINCOLNSHIRE, ILLINOIS

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OF

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MANORS OF WHYTEGATE

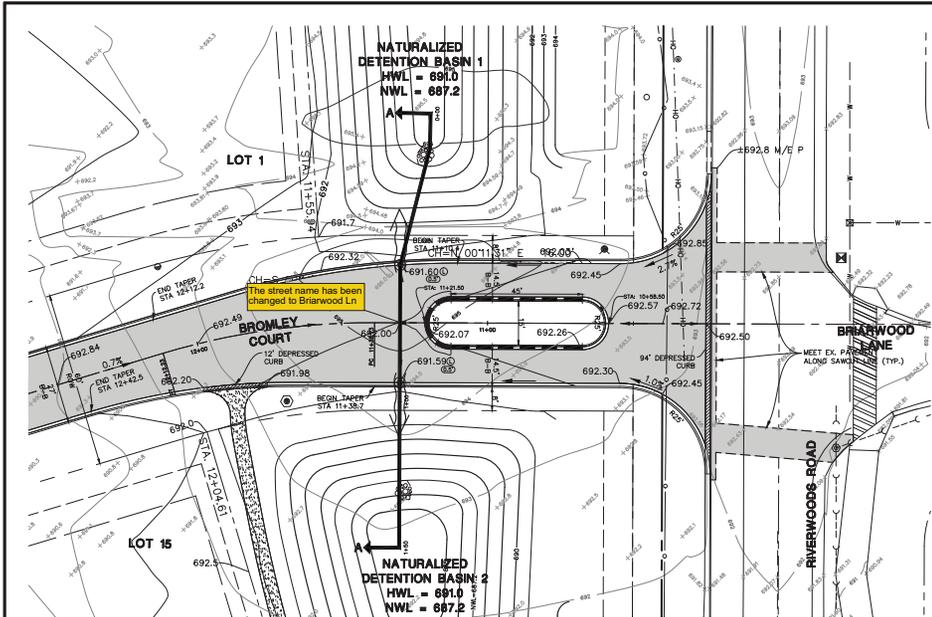
VILLAGE OF LINCOLNSHIRE, ILLINOIS

GRADING PLAN - WEST

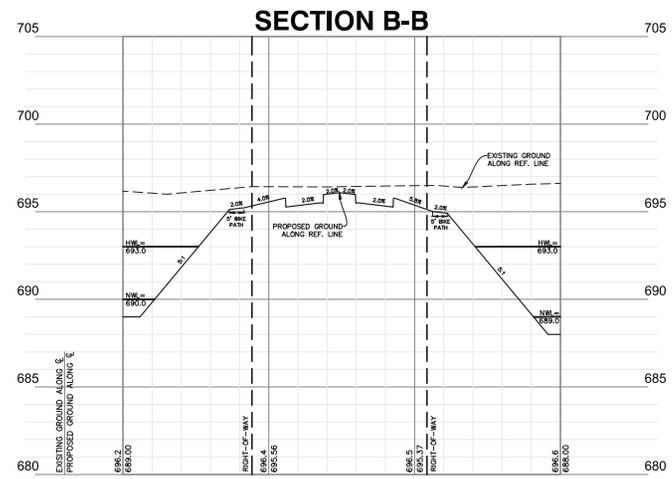
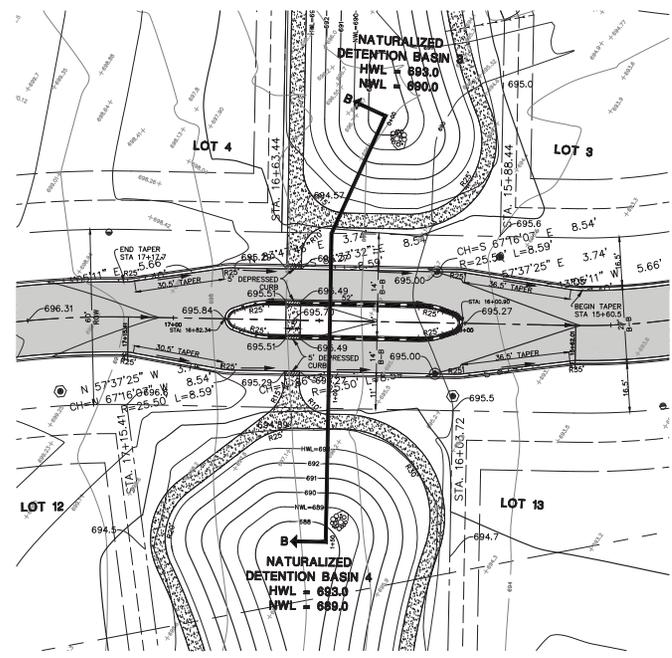
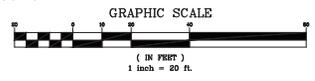
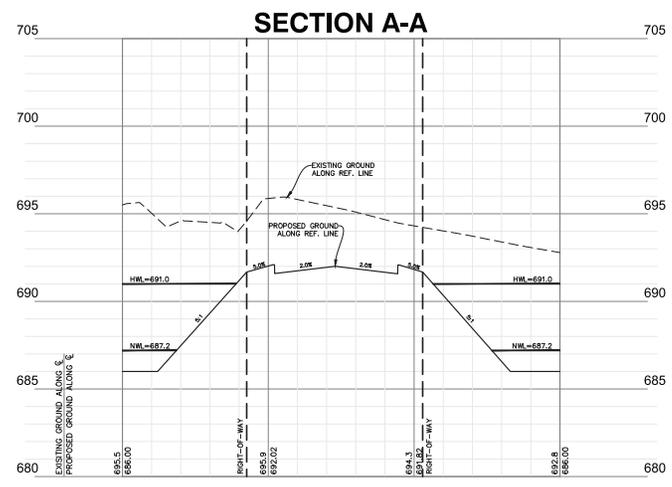
PROJECT NO. 281847

DATE: 7-2-2018

SCALE: 1"=



GRADING NOTES:
1. REFER TO SHEET 5 FOR GRADING NOTES AND LEGEND.



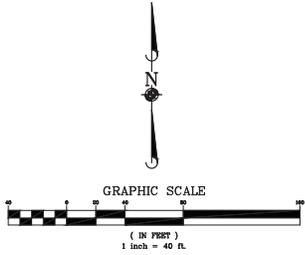
Manhard CONSULTING
Civil, Mechanical, Electrical, Plumbing, Fire, and Energy Engineers & Architects
1000 North Lincolnshire, Suite 100, Lincolnshire, IL 60468
Tel: 815.461.1111 Fax: 815.461.1112
www.manhardconsulting.com

MANORS OF WHYTEGATE
VILLAGE OF LINCOLNSHIRE, ILLINOIS
MEDIAN GRADING DETAIL

PROJECT NO.: J05
PROJECT ASSOC.: SP
DRAWN BY: JAC
DATE: 7-26-18
SCALE: 1"=30'

SHEET
7 OF 13
AGCLN3

July 19, 2018 - 0918 - City Name: Lincolnshire, IL - Drawing Name: Manors of Whytegate - Civil - 2018 - 0918 - 0918



Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA	PT STA
C1	250.00'	73.50'	16°50'42"	37.02'	11+38.73	12+12.23
C2	210.00'	109.00'	29°44'21"	55.76'	14+53.01	15+62.01

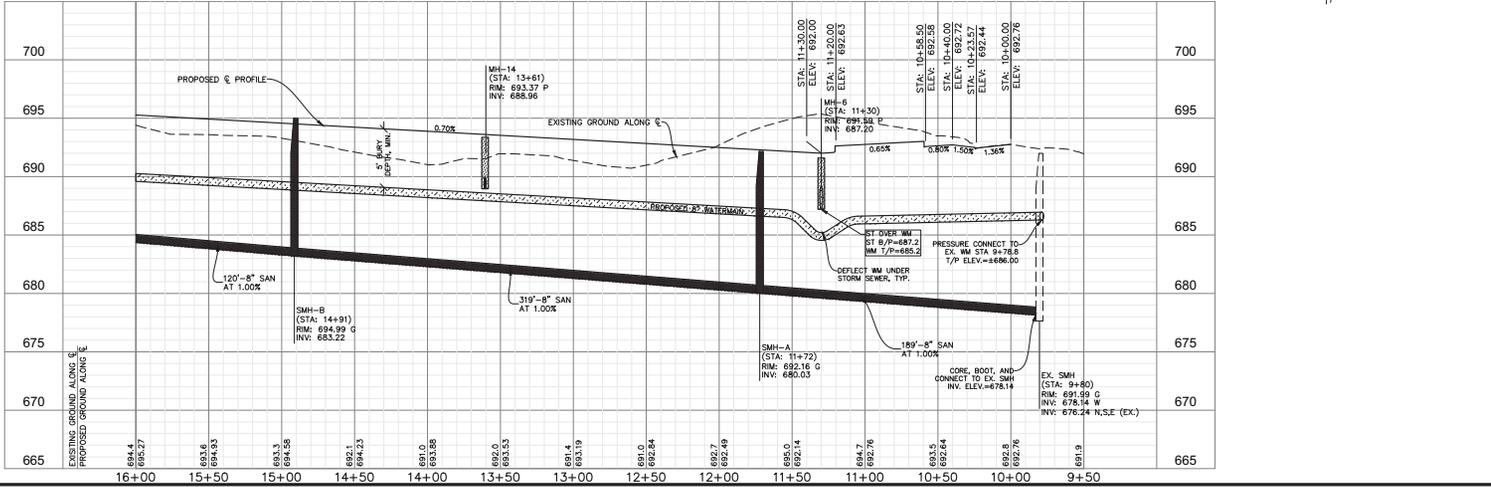
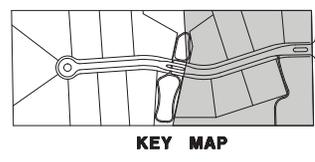
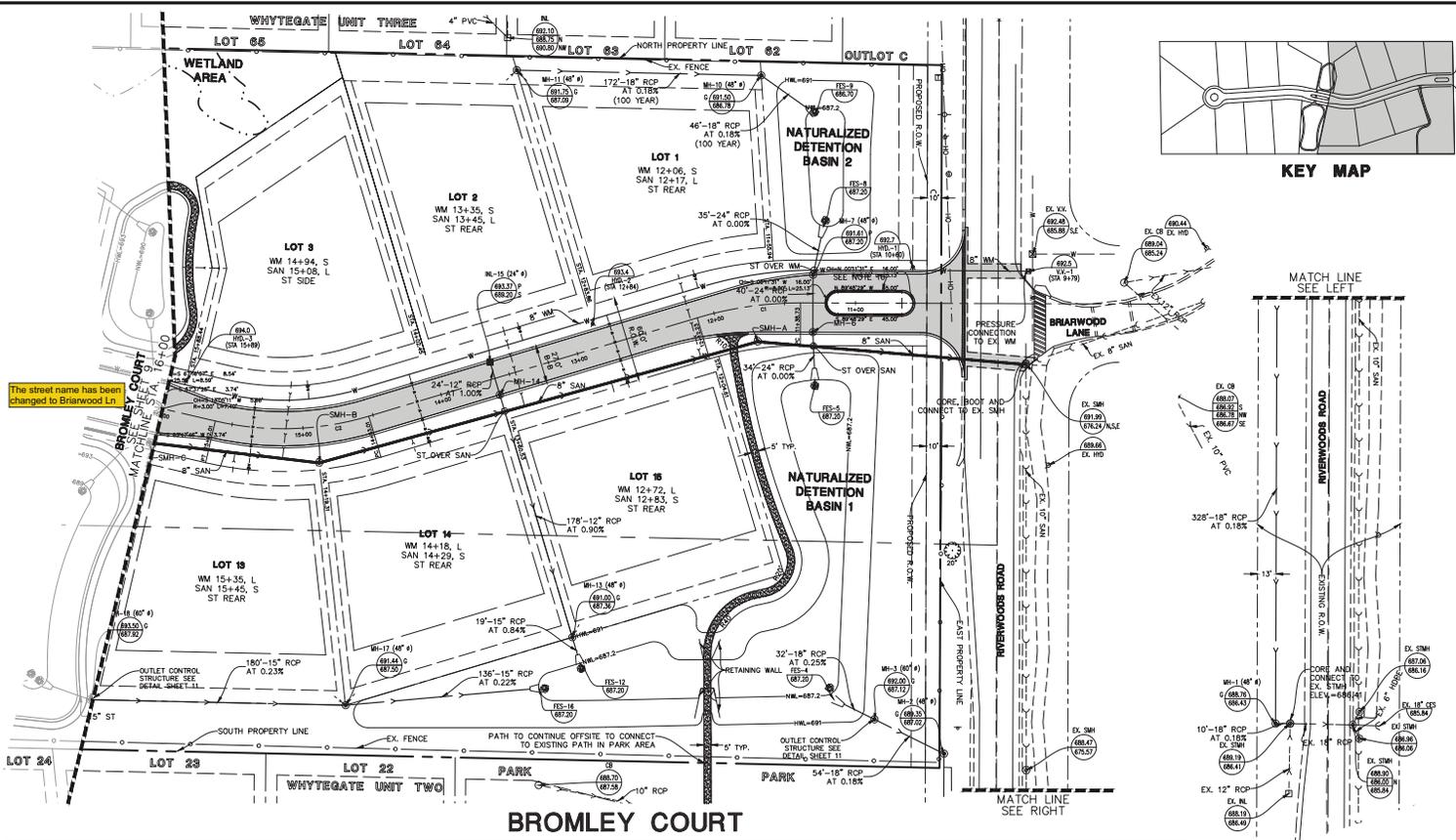
- ALL ROADWAY DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED CURB AND GUTTER SHALL BE 06.12 UNLESS OTHERWISE NOTED.
- DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
- TRANSITIONS FROM DEPRESS CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2R:1V UNLESS OTHERWISE NOTED.
- THE ALL PROPOSED CURB AND GUTTER TO EXISTING CURB AND GUTTER WITH 2-INCH BARS & 18" LONG DOVEILED INTO EXISTING CURB.
- ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
- CURB RETURN RADI SHALL BE 25' MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)
- CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED THE ALLOWABLE LIMITS ESTABLISHED BY THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" OR BY THE PIPE MANUFACTURER, IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, WELDS AND BOLTS BELOW NORMAL WATER MAIN DEPTH ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING.
- RM ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES IN CURB LINE ARE PAVEMENT ELEVATIONS. ALL STRUCTURES IN CURB LINE SHALL HAVE CURB TYPE FRAME & GRATE.
- ALL ROAD ELEVATIONS SHOWN ARE TOP OF CURB UNLESS NOTED.
- ALL STRUCTURES (MH, CR, INL, V.V., HYD, STREET LIGHTS) ARE TO BE LOCATED ON THE PROPERTY LINE EXTENDED AND ARE TO BE OFFSET FROM THE CENTERLINE AS SHOWN ON THE TYPICAL ROAD SECTION DETAIL UNLESS OTHERWISE NOTED.
- CONTRACTOR TO PROVIDE FITTINGS AS NECESSARY TO REFLECT WATER MAIN ALONG STREET CURVES WITHOUT EXCEEDING THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION AT PIPE JOINTS, AND IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER MAIN CONSTRUCTION IN ILLINOIS".
- ALL ROADWAY SIGNAGE, STRIPING, SYMBOLS, ETC. SHALL BE IN ACCORDANCE WITH LATEST JURISDICTIONAL GOVERNMENTAL ENTRY DETAILS.
- ALL ROADWAY IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION."
- SEE SHEET 7 FOR ROADWAY MEDIAN BLOWUP DETAILS AND DIMENSIONS.

SERVICE LEGEND

S 1+50, S R = 4" SANITARY SERVICE, LOCATION,
S = SHORT SERVICE, R = RISER REQUIRED

WM 1+60, L = 15" TYPE K WATER SERVICE, LOCATION,
L = LONG SERVICE

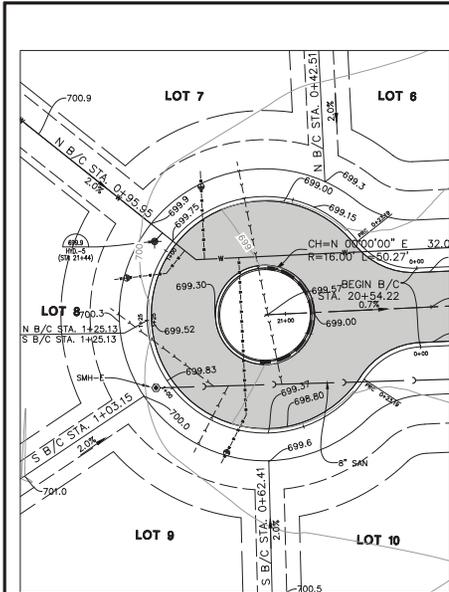
ST 1+48, S = 4" PVC STORM SERVICE, LOCATION,
S = SHORT SERVICE



Manhard CONSULTING

MANORS OF WHYTEGATE
VILLAGE OF LINCOLNSHIRE, ILLINOIS
PLAN AND PROFILE - BROMLEY COURT (STA. 9+50 TO 16+00)

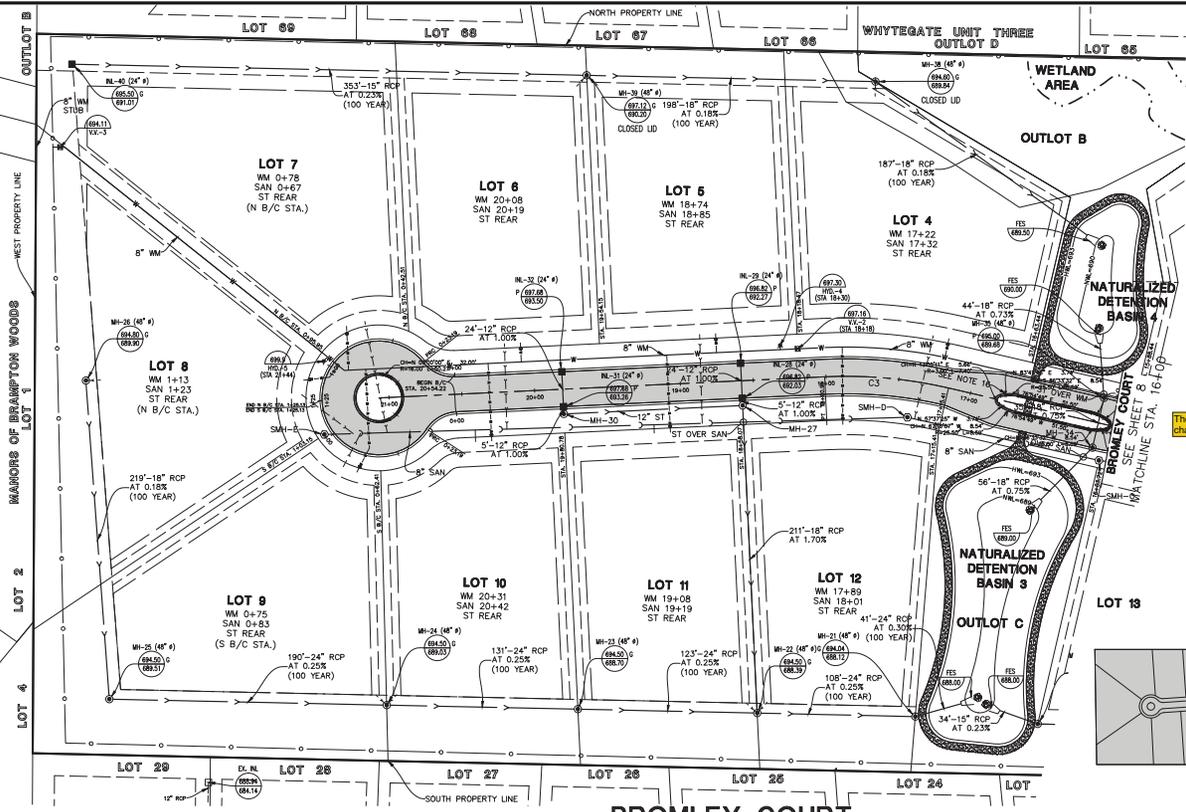
SHEET
8 OF 13
AGLNL3



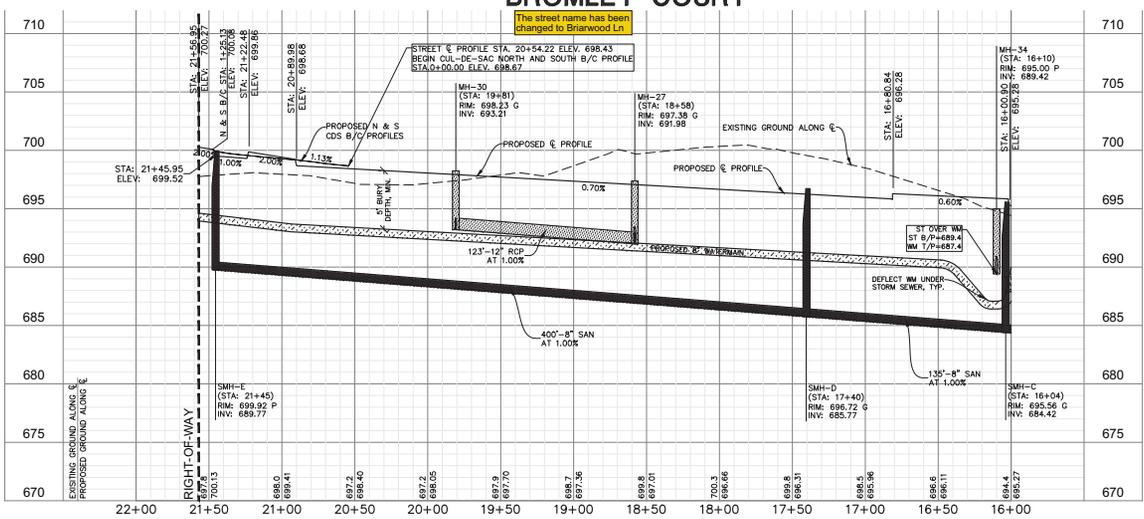
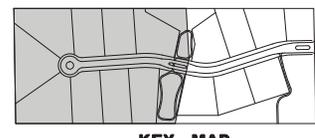
CURVE TABLE					
Curve #	RADIUS	LENGTH	DELTA	TANGENT	PC STA PT STA
C3	310.00'	85.50'	15°48'09"	43.02'	174.15+41 184+00.91

- ALL ROADWAY DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED CURB AND GUTTER SHALL BE 66.12 UNLESS OTHERWISE NOTED.
- DEPRESS CURB & GUTTER AT ALL SIDEWALK AND PATH LOCATIONS FOR HANDICAP ACCESS AS PER FEDERAL AND STATE STANDARDS.
- TRANSITIONS FROM DEPRESS CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2H:1V UNLESS OTHERWISE NOTED.
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- ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM GROSS SLOPE OF 2.00% OR LESS.
- CURB RETURN RADI SHALL BE 25' MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- WATER AND SEWER CROSSINGS SHALL MEET STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET)
- CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED THE ALLOWABLE LIMITS ESTABLISHED BY THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS" OR BY THE PIPE MANUFACTURER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATER MAIN DEPTH ARE REQUIRED, OR RETAINER CLAMPS MAY BE USED IN LIEU OF STRAPPING.
- MIN ELEVATIONS GIVEN FOR STORM SEWER STRUCTURES IN CURB LINE ARE PAVEMENT ELEVATIONS. ALL STRUCTURES IN CURB LINE SHALL HAVE CURB TYPE FRAME & GRATE.
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- ALL ROADWAY IMPROVEMENTS SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, LATEST EDITION.
- SEE SHEET 7 FOR ROADWAY MEDIAN BLOWUP DETAILS AND DIMENSIONS.

SERVICE LEGEND:
 S 1+00, S R = 4" SANITARY SERVICE, LOCATION.
 S = SHORT SERVICE, R = RISER REQUIRED
 W 1+60, L = 1.5" TYPE K WATER SERVICE, LOCATION.
 L = LONG SERVICE
 ST 1+48, S = 4" PVC STORM SERVICE, LOCATION.
 S = SHORT SERVICE



The street name has been changed to Briarwood Ln

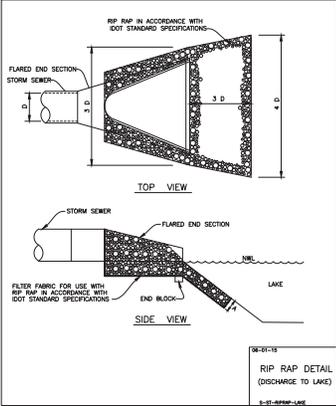
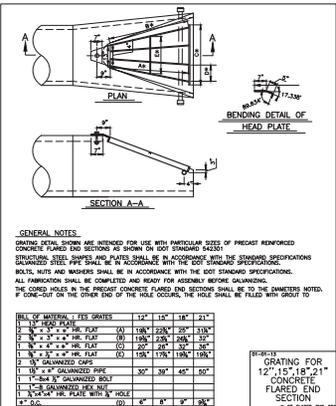
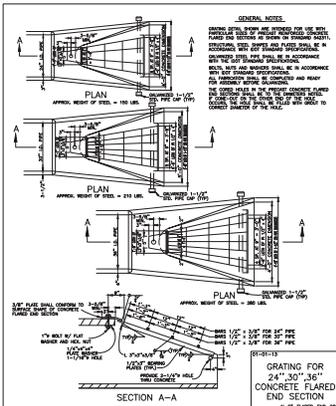
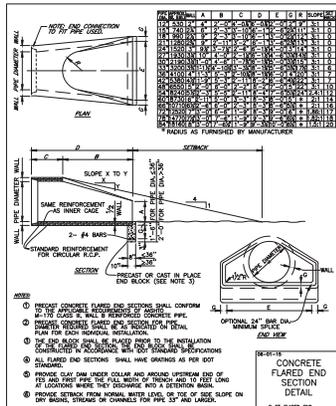
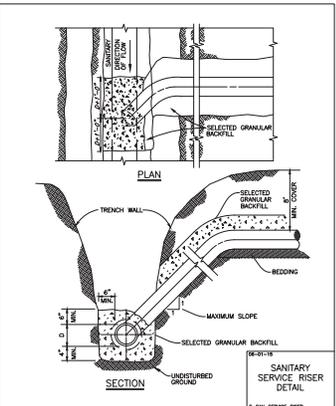
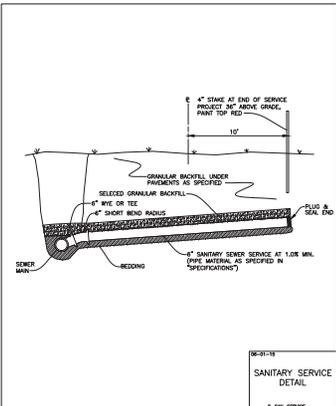


Manhard CONSULTING

MANORS OF WHYTEGATE
 VILLAGE OF LINCOLNSHIRE, ILLINOIS
 PLAN AND PROFILE - BROMLEY COURT (STA. 16+00 TO 22+00)

PROJECT NO.:	JGC
PROJECT NO.:	JSP
DRAWN BY:	SEF
DATE:	7-2-16
SCALE:	1"=40'

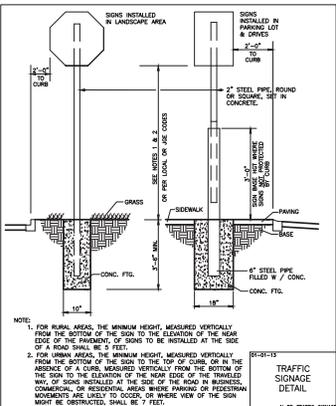
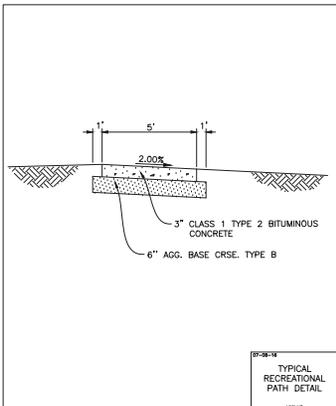
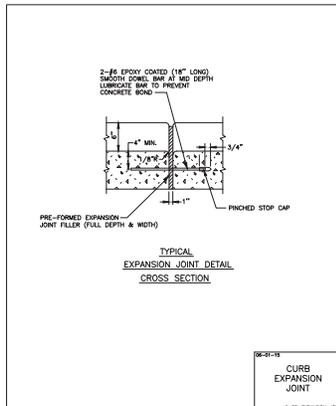
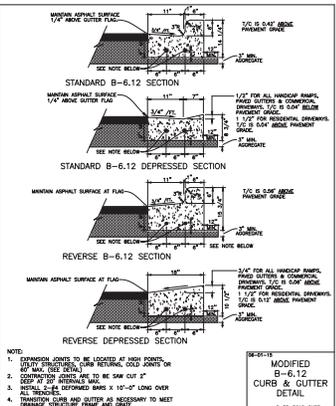
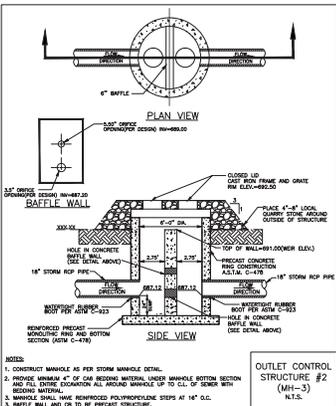
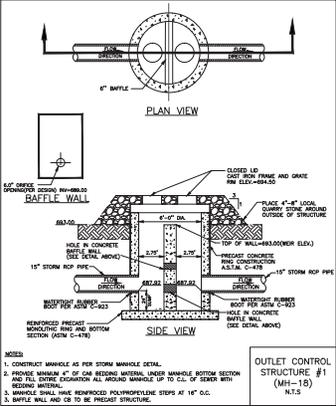
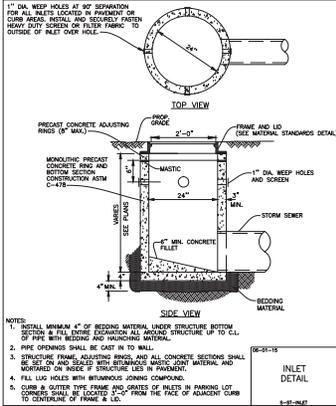
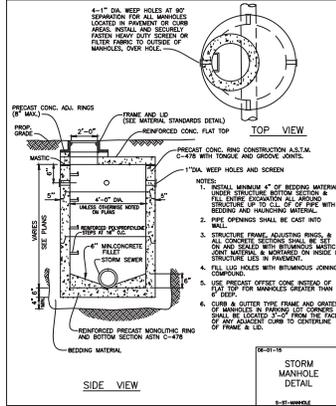
SHEET
9 OF 13
 AGLN13

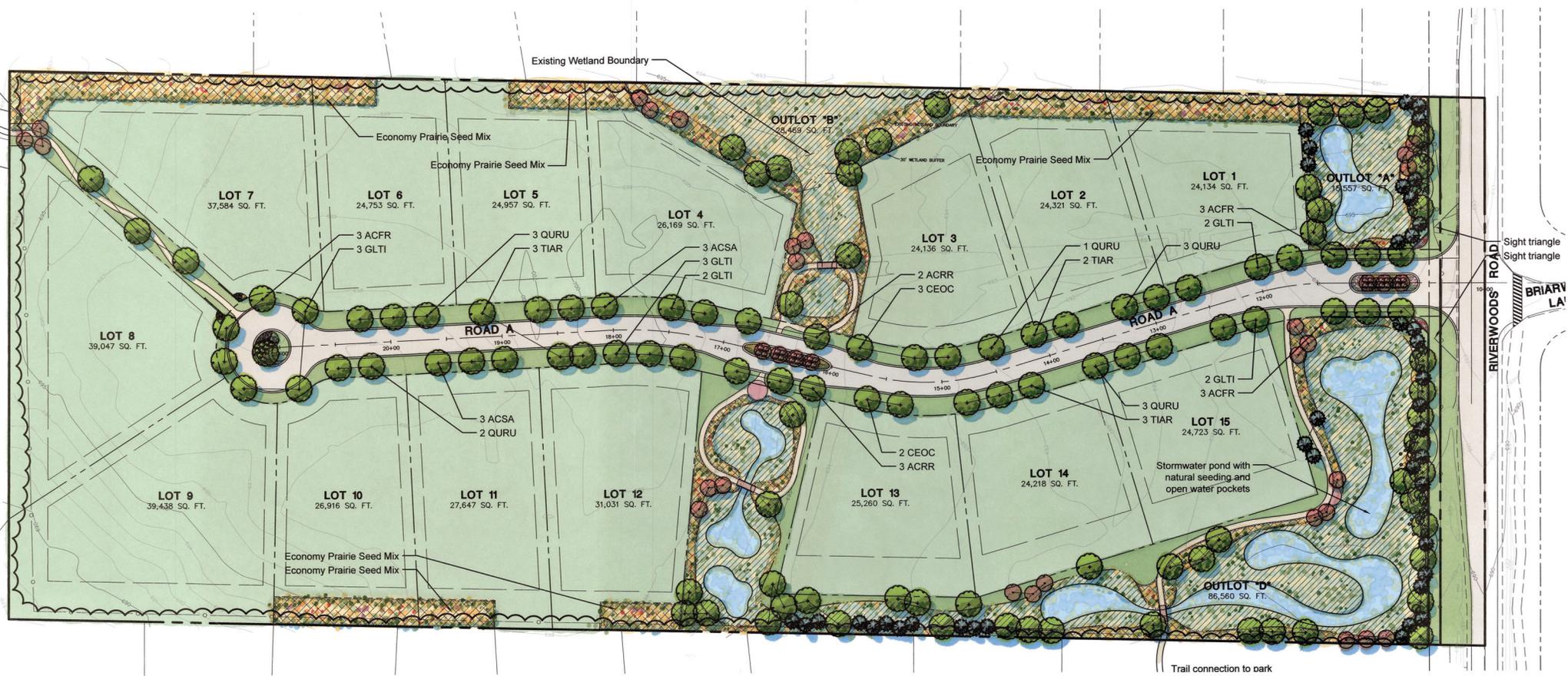


RIP-RAP									
PIPE DIAMETER (IN.)	QUALITY DESIGNATION	MINIMUM THICKNESS (IN.)	MINIMUM LENGTH (FT)	MINIMUM RANGE (FT)	WEIGHT (LBS)	SIZE (AVERAGE)	MINIMUM THICKNESS (IN.)	BEDDING	
12"	B	3	8'	4'	1-50	10	4.5"	N/A	
15"	B	3	8'	5'	1-50	10	4.5"	N/A	
18"	B	4	16"	6'	1-150	40	7"	6"	
21"	B	4	16"	7'	1-150	40	7"	6"	
24"	B	4	16"	8'	1-150	40	7"	6"	
27"	B	4	16"	9'	1-150	40	7"	6"	
30"	B	4	16"	10'	1-150	40	7"	6"	
36"	B	5	22"	12'	3-400	90	10"	8"	
42"	B	5	22"	14'	3-400	90	10"	8"	
48"	B	6	26"	16'	6-600	170	12"	10"	
54"	B	6	26"	18'	6-600	170	12"	10"	
60"	B	6	26"	20'	6-600	170	12"	10"	
72"	B	6	26"	24'	6-600	170	12"	10"	

NOTE:
1. FOR PIPE LARGER THAN 72" A SPECIAL DESIGN OF RIP-RAP OR ANCHOR IS REQUIRED.
2. REFER TO I.D.T. SPECIFICATIONS AND STANDARDS FOR BEDDING GRADATION.

STONE RIP-RAP DETAIL
S-11-RIP-RAP-STONE

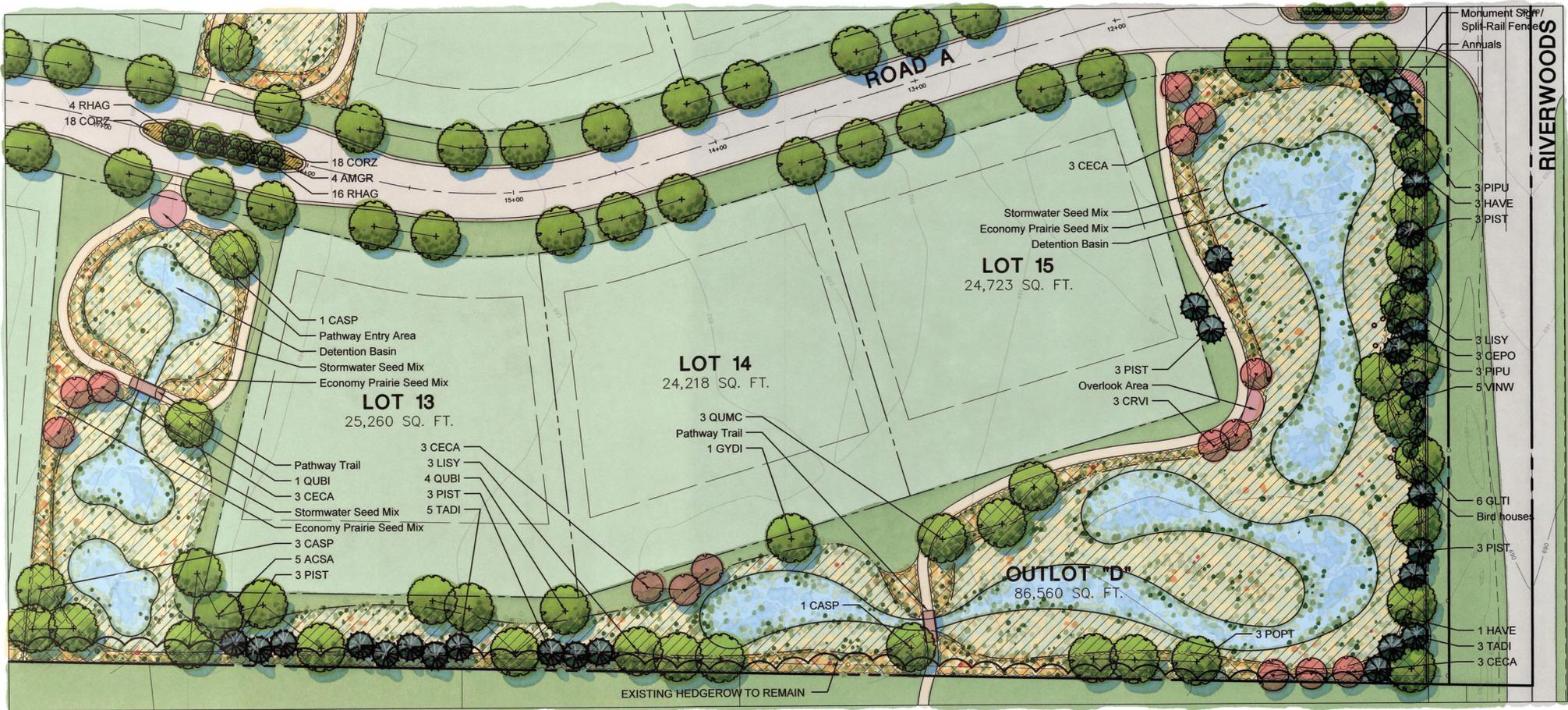


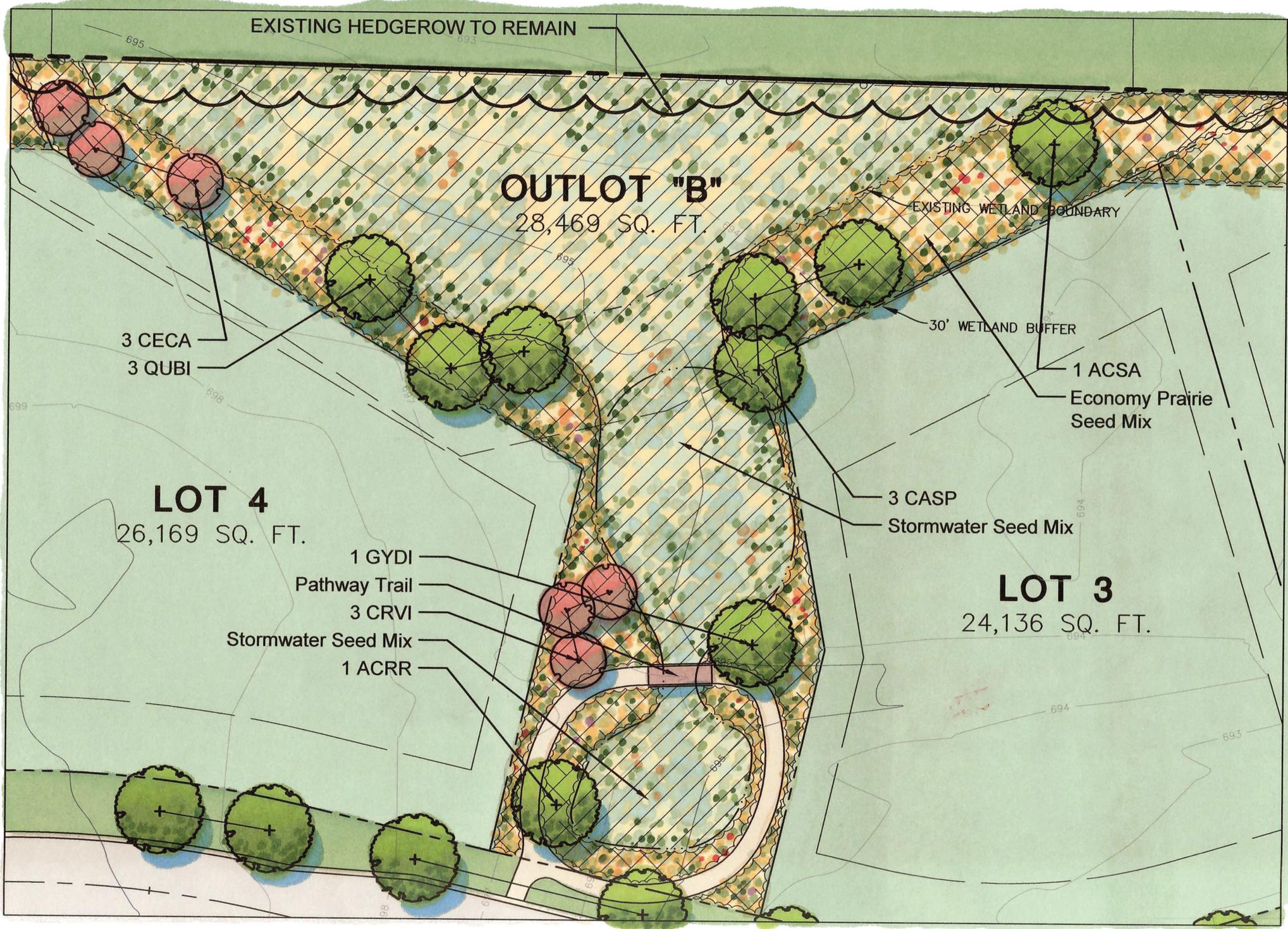


RIVERWOODS ROAD
BRIAR LA

Sight triangle
Sight triangle

Trail connection to park





EXISTING HEDGEROW TO REMAIN

OUTLOT "B"
28,469 SQ. FT.

EXISTING WETLAND BOUNDARY

3 CECA
3 QUBI

30' WETLAND BUFFER

1 ACSA
Economy Prairie
Seed Mix

LOT 4
26,169 SQ. FT.

3 CASP
Stormwater Seed Mix

1 GYDI
Pathway Trail
3 CRVI
Stormwater Seed Mix
1 ACRR

LOT 3
24,136 SQ. FT.

LOT 1
134 SQ. FT.

OUTLOT "A"
15,557⁹⁵ SQ. FT.

- 3 QUMC
- 3 PIST
- 3 TADI
- 4 VINW
- 3 CECA
- 3 GLTI
- 3 PIST
- 3 HAVE
- Detention Basin
- Stormwater Seed Mix
- 3 PIPU
- 3 LISY

Economy Prairie Seed Mix

Stormwater Seed Mix

144 ALGE

16 RHAG

3 AMGR

Annuals

27 CORZ

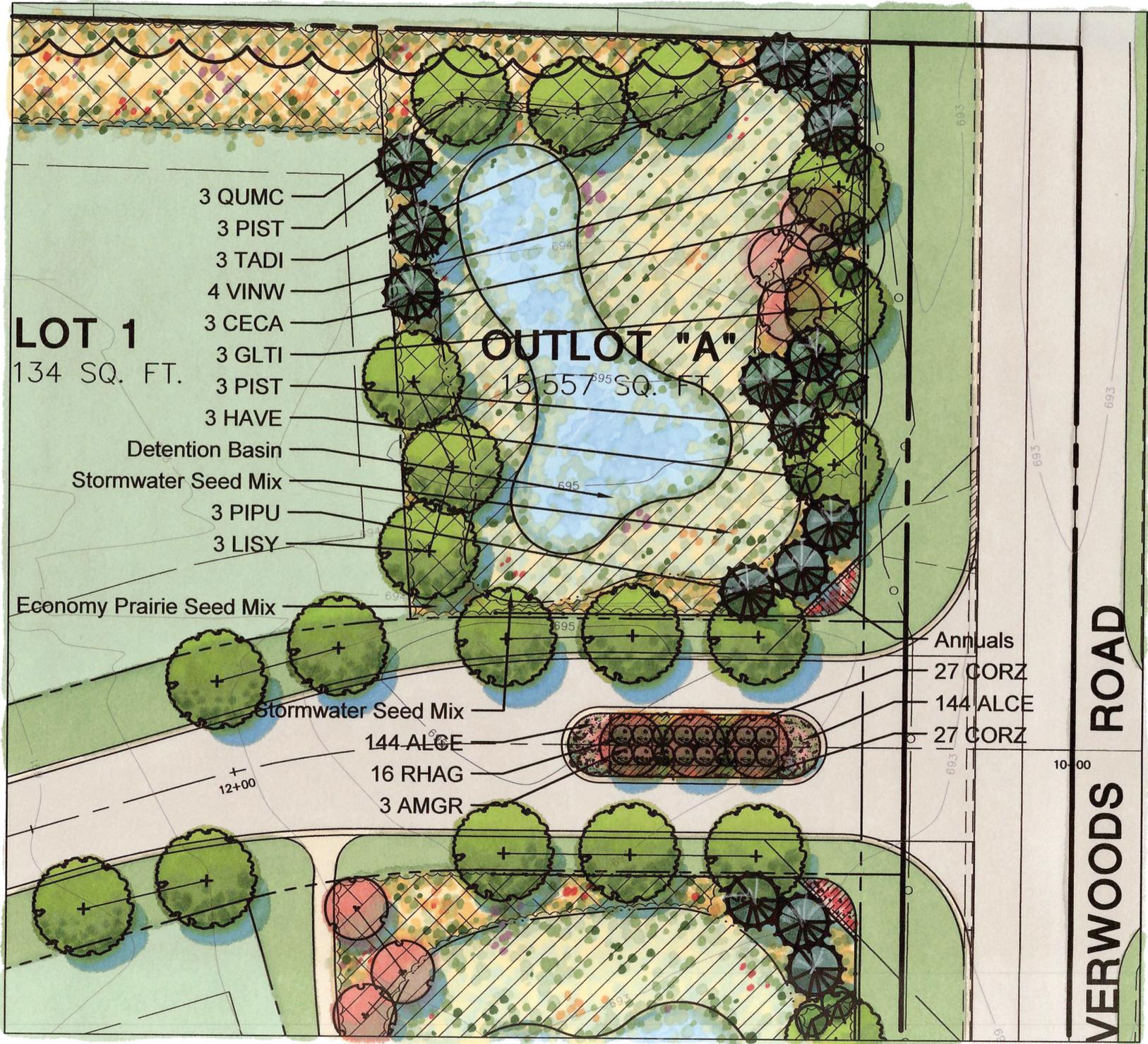
144 ALCE

27 CORZ

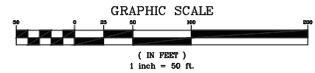
12+00

10+00

VERWOODS ROAD



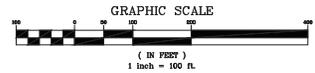
Note: For illustrative purposes only.



<p>Manhard CONSULTING LTD. 2250 Lakeshore Drive, Suite 100, Lincolnshire, IL 60069 Tel: 847.201.1000 Fax: 847.201.1001 www.manhardconsulting.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE</td> <td style="width: 50%;">REVISIONS</td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	DATE	REVISIONS								
DATE	REVISIONS										
<p>MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT LINCOLNSHIRE, ILLINOIS ILLUSTRATIVE FOOTPRINT EXHIBIT</p>											
<p>PROJ. NO.: JCC PROJ. ASSOC.: DEM3 DRAWN BY: JRO DATE: 1-28-16 SCALE: 1"=50' SHEET 1 OF 1 AGCLN3</p>											

April 27, 2016 - 09:32 - Data Name: P:\Projects\2016\Lincolnshire\Manors of Whytegate\Agcln3.dwg - Updated By: jrobert

Note: For illustrative purposes only.



DATE: 2/1/2016 11:53:31 AM DRAWN BY: JCC PROJECT: 15-001-16 SCALE: 1"=100'

<p style="text-align: center;">Manhard CONSULTING LTD.</p> <p style="font-size: small; text-align: center;">CORPORATE OFFICE: 1000 Lakeshore Blvd. West, Suite 1000, Oakville, ON L6L 1A5 BRAMPTON OFFICE: 1000 Lakeshore Blvd. West, Suite 1000, Oakville, ON L6L 1A5 MISSISSAUGA OFFICE: 1000 Lakeshore Blvd. West, Suite 1000, Oakville, ON L6L 1A5</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT</td> <td style="width: 50%;">LINCOLNSHIRE, ILLINOIS</td> </tr> <tr> <td colspan="2" style="text-align: center;">ILLUSTRATIVE FOOTPRINT EXHIBIT ON 2014 AERIAL PHOTOGRAPH</td> </tr> <tr> <td style="font-size: x-small;">PROJ. NO.: JCC</td> <td style="font-size: x-small;">PROJ. ASSOC.: DEM3</td> </tr> <tr> <td style="font-size: x-small;">DRAWN BY: JCC</td> <td style="font-size: x-small;">DATE: 1-28-16</td> </tr> <tr> <td style="font-size: x-small;">SCALE: 1"=100'</td> <td style="font-size: x-small;">SHEET</td> </tr> <tr> <td style="text-align: center; font-size: 2em;">1</td> <td style="text-align: center; font-size: 2em;">OF 1</td> </tr> <tr> <td style="font-size: x-small;">AGCLN3</td> <td></td> </tr> </table>	MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT	LINCOLNSHIRE, ILLINOIS	ILLUSTRATIVE FOOTPRINT EXHIBIT ON 2014 AERIAL PHOTOGRAPH		PROJ. NO.: JCC	PROJ. ASSOC.: DEM3	DRAWN BY: JCC	DATE: 1-28-16	SCALE: 1"=100'	SHEET	1	OF 1	AGCLN3	
MANORS OF WHYTEGATE RESIDENTIAL DEVELOPMENT	LINCOLNSHIRE, ILLINOIS														
ILLUSTRATIVE FOOTPRINT EXHIBIT ON 2014 AERIAL PHOTOGRAPH															
PROJ. NO.: JCC	PROJ. ASSOC.: DEM3														
DRAWN BY: JCC	DATE: 1-28-16														
SCALE: 1"=100'	SHEET														
1	OF 1														
AGCLN3															

Approved Single-Family Residential Subdivisions North of Route 22 *

Subdivision Name	Zoning	COW Referral	Proposed Lots	Final Lots	% Change	Acres	Average Lot Size (sq.ft.)	Actual Density (units/acre)	Maximum Code-Permitted Density	Average House Size with Garage (sq. ft.)	Maximum Code-Permitted House Size (sq.ft., based on average lot size & 25% FAR)	Code-Permitted Minimum Front Yard Setback	Code-Permitted Minimum Interior Side Yard Setback	2015 Average Sale Price **
Anvil Farms	R1	1/11/1988	7	7	0	16.00	84,506	0.44	1.0	5,773	21,127	50'	30'	\$830,000
Bishop's Gate	R1	1/25/1988	7	7	0	15.00	80,150	0.47	1.0	7,180	20,038	50'	30'	N/A
Brampton Woods	R2A	9/23/1986	18	16	-11	15.00	26,572	1.07	1.25	4,041	6,643	20'	10'	\$687,500
Briarwoods of Lincolnshire	R2A	2/6/1989	17	14	-17.6	14	33,106	1.00	1.25	6,015	8,276	20'	10'	\$1,052,500
Brookwood Farm	R1	12/13/2004	17	9	-47	19.5	67,954	0.46	1	7,132	16,988	50'	30'	N/A
Lincolnshire Forest (Preston Court)	R2A	7/8/2002	10	9	-10	12	30,492	0.75	1.25	5,833	7,623	20'	10'	\$1,125,000
Lincolnshire Woods - Units 1-4	R2A	10/5/1976	171	174	1.7	142	23,522	1.23	1.25	3,865	5,881	20'	10'	\$652,209
Manors of Brampton Woods	R2	3/30/1989	11	10	-9	15	47,230	0.67	2.0	4,886	11,808	40'	20'	\$765,000
Manors of Brampton Woods - Unit 2	R2	4/24/2006	11	12	9	17	57,499	0.71	2.0	6,445	14,375	40'	20'	\$1,502,760
Meadows of Birch Lake	R2A	7/24/1995	49	39	-20	40	30,056	0.98	1.25	5,668	7,514	20'	10'	\$998,333
Old Mill Woods	R2A	5/29/2001	45	27	-40	23	30,056	1.17	1.25	5,816	7,514	20'	10'	\$628,000
Whytegate - Unit 1	R2A	12/17/1984	29	29	0	23	23,522	1.26	1.25	3,904	5,881	20'	10'	\$774,500
Whytegate - Unit 2	R2A	12/17/1984	22	22	0	18	24,394	1.22	1.25	4,206	6,098	20'	10'	N/A
Whytegate - Unit 3	R2A	12/17/1984	19	19	0	15	25,700	1.27	1.25	3,902	6,425	20'	10'	\$607,500
Whytegate Woods	R2A	N/A	6	6	0	5	33,541	1.20	1.25	4,648	8,385	20'	10'	\$900,000
Proposed Manors of Whytegate- Subject to Change	R2A	2/24/2015	19	15	-21	15	28,704	1.00	1.25	5,425	7,176	20'	10'	N/A

*Sources: GIS; Lake County's Assessor's Office

** Some subdivisions had one or no sales in 2015

3.2 Consideration of a Preliminary Plat of Subdivision for a Proposed Manors of Whytegate Single-Family Residential Subdivision, 1700 Riverwoods Road (Arthur J. Greene Construction).

Economic Development Coordinator Zozulya noted Arthur J. Green Construction Company seeks approval of a Preliminary Plat of Subdivision for a 15-lot Manors of Whytegate single-family residential subdivision on approximately 15 acres located at 1700 Riverwoods Road and commonly known as the "Mon's Property". The property currently contains a vacant single-family residential home. At the May 21, 2015 meeting during the Policy Phase, the Zoning Board provided a recommendation on the proposed zoning change to the R2A District, based upon conceptual subdivisions plans for 17 lots. At the May 9, 2016 meeting, the Village Board approved an ordinance rezoning the property from R1 Single-Family Residential to R2A Single-Family Residential for 15 lots. Subsequent to the Zoning Board recommendations, the developer reduced the number of lots in response to the Village Board's density concerns. The proposed Technical Phase involves a Preliminary Plat of Subdivision and Final Plat of Subdivision reviews by the Zoning Board. The Petitioner/developer has prepared same along with engineering plans depicting 15 lots for review and recommendation to the Village Board. Staff has included a chart depicting the code-permitted and proposed lot size and density figures demonstrating the proposed development complies with the R2A zoning requirements. The plat shows a 10' bike path easement dedicated to the Village along Riverwoods Rd. for the entire frontage of the property, as well as an additional 10' easement dedicated along Riverwoods Rd. to the County for future road and bike path improvements at the County's discretion. The Plat also depicts a bioswale easement provided in the rear of the lots. **Economic Development Coordinator Zozulya** further noted the R2A Zoning District was established to encourage a creative approach to land planning through preserving natural vegetation, conserving forested areas, water bodies and natural vegetation. The developer has agreed to preserve the environmental features in this proposed subdivision. There is a single vehicular entrance from Riverwoods Rd., terminating in a cul-de-sac, as illustrated in the plans. This follows a similar development pattern as Whytegate Unit III (immediately north). In addition, a subdivision code variation has been requested to increase the maximum permitted 800' length to 1,100' long. Although cul-de-sacs of this length are relatively common along both sides of Riverwoods Rd. north of Half Day Rd., a variation from the subdivision regulations is required. The Petitioner stated in their cover letter the longer than allowable length maintains a subdivision design consistent with adjoining subdivisions to the north and south and accommodates the Village's request of not providing a connection to Brampton Lane due to traffic concerns. This variance does not require a Public Hearing since cul-de-sac dimensions are a Subdivision Code requirement and not required by the Zoning Code. Upon the Preliminary Plat approval, the developer will submit a Final Plat for the Zoning Board's review and recommendation, with approval at the Village Board.

Economic Development Coordinator Zozulya stated Staff is in support of the proposal with the following conditions:

1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.
2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.
3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.

Tim Golota, on behalf of the Petitioner, Arthur J. Green Construction Co., opened the presentation by noting the Preliminary Plat of Subdivision incorporated the reduction to a 15-lot subdivision and the application of enhancements as recommended by the Zoning Board. **Chairman Manion** noted the increase in lot size, and square footage of the proposed homes, to which **Mr. Golota** affirmed and added the distance has increased to 40' between the houses on the lots.

Glenn Christensen, Sr. Planner with Manhard Consulting LTD, whose firm has provided the land planning, engineering and landscape architecture for this project, presented an overview of the site/landscaping plan. He noted that at the request of the Village Board the pedestrian access to the northwest has been eliminated since there is a pedestrian connection along the roadway. They have been able to maintain the easements for the utilities, however, the trails have been shifted due to engineering considerations in the area. He pointed out the subdivision entrance is in alignment with Briarwood Ln. and they are in the process of obtaining the necessary permits from Lake County Stormwater Management Commission and Lake County Department of Transportation. The tree survey has been completed and will be provided to Staff. Also, the chain link fence will be retained as a construction fence and removed prior to Village acceptance of public improvements. **Mr. Golota** added they are hopeful to acquire all subdivision and the necessary permit approvals in order to break ground during the winter months.

There being no further comments, **Chairman Manion** sought a motion from the Zoning Board.

Member Kalina moved and Member Van de Kerckhove seconded a motion to recommend to the Village Board approval of a Preliminary Plat of Subdivision for the Manors of Whytegate single-family residential subdivision, with a subdivision code variation for a longer than permitted cul-de-sac length, as depicted in the petitioner's presentation packet, dated August 4, 2016, date stamped received August 4, 2016, subject to the conditions presented in Staff's memorandum, and further subject to the following conditions:

- 1. An existing tree survey shall be provided to staff prior to the Final Plat of Subdivision approval.**
- 2. The existing perimeter chain link fence shall be removed prior to Village acceptance of public improvements.**
- 3. A Lake County Stormwater Management permit shall be obtained prior to issuance of any Village permits for this development.**

The motion passed unanimously by voice vote.

4.0 UNFINISHED BUSINESS (None)

5.0 NEW BUSINESS (None)

6.0 CITIZENS COMMENTS (None)

7.0 ADJOURNMENT

There being no further business, **Chairman Manion** sought a motion for adjournment. **Member Van de Kerckhove** moved, and **Member Bichkoff** seconded the motion to adjourn. The meeting adjourned at 7:44 P.M.

Minutes submitted by Linda Jones, Administrative Assistant, Community & Economic Development Department